LARGE SCALE DEVELOPMENT
FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
BENTON COUNTY,
ROGERS, ARKANSAS
CityView Project Number: _____

GENERAL NOTES:
1. STATE CONTRACTOR'S LICENSE IS REQUIRED FOR PROJECT

2. ALL CONSTRUCTION ACTIVITIES AND MATERIALS SHALL FOLLOW/MEET LOCAL CODES AND SPECIFICATIONS.

3. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER BEFORE CONSTRUCTION BEGINS.

4. EXISTING UTILITIES HAVE BEEN SHOWN WITH INFORMATION AVAILABLE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING INSTALLATION OF NEW FACILITIES. CONTACT THE ENGINEER FOR INSTRUCTIONS WHEREVER ANY CONFLICTS ARE DISCOVERED.

5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CORRECT ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS WHICH IS DUE TO HIS OPERATION.

6. THE CONTRACTOR SHALL STRICTLY COMPLY WITH ALL OSHA SAFETY RULES AND REGULATIONS AND USE ONLY APPROVED EQUIPMENT REQUIRED FOR THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL ALSO STRICTLY COMPLY WITH ALL OSHA SAFETY RULES AND REGULATIONS AND USE ONLY APPROVED METHODS OF EXCAVATION, TRENCHING, AND SHORING METHODS AS DESCRIBED IN OSHA 29 CFR.1926.650 THE CONTRACTOR SHALL MAINTAIN AND CLOSELY SUPERVISE ALL SAFETY PRACTICES AND CODES. EXTREME CARE SHALL BE TAKEN TO SAFEGUARD THE PUBLIC AND THE EMPLOYEES OF THE CONTRACTOR.

7. EASEMENT PLAT IS REQUIRED FOR CERTIFICATE OF OCCUPANCY

8. ALL MECHANICAL AND HVAC EQUIPMENT MUST BE SCREENDED3D FORM PUBLIC VIEW

PROJECT INFORMATION
Adopted Codes
2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL FUEL GAS CODE
2012 ARKANSAS MECHANICAL CODE
2012 ARKANSAS PLUMBING CODE
2012 NATIONAL ELECTRICAL CODE

ZONE: I-2 HEAVY INDUSTRIAL DISTRICT

SQUARE FOOTAGE:
ADDITION 55,000 S.F. ±

ACTUAL AND ALLOWABLE BUILDING HEIGHTS AND AREAS:
MAXIMUM ALLOWABLE HEIGHT: 75'
FRONT YARD: 100'
INTERIOR SIDE YARD: 50'
EXTERIOR SIDE YARD: 100'
REAR YARD: 50'

GREEN SPACE: 46.5%
TOTAL LOT AREA 8.2 ACRES
TOTAL BUILDING AREA (NEW & EXISTING): 113,340 S.F.±
TOTAL PAVING/CONCRETE: 78,030 S.F. ±
TOTAL BUILDING AREA 4.4 ACRES.
TOTAL GREEN SPACE 3.8 ACRES.

PARKING
REQUIRED:
5 SPACES + 1 SPACE PER 2,000 S.F. (UP TO 50,000 S.F.) + 1 SPACE FOR EACH ADDITIONAL 10,000 S.F. ABOVE 50,000

ADDITION+EXISTING BUILDING:
5 + 50,000/2,000+ 58,000/10,000 = 5+25+5.8=35.8 = 36 SPACES

PROVIDED:37 SPACES PROVIDED
9 EXISTING SPACES (EXISTING NORTH PARKING LOT)
28 NEW PARKING SPACES (NEW PARKING LOT)
2 ACCESSIBLE PARKING SPACES PROVIDED

LEGAL DESCRIPTION EXHIBIT "A" - PER TITLE COMMITMENT 22-5078:
LOCATED IN A PART OF THE NW/4 OF THE SE/4 OF SECTION 24, TOWNSHIP 19 NORTH, RANGE 30 WEST, IN ROGERS, BENTON COUNTY, ARKANSAS, MORE PRECISELY DESCRIBED AS FOLLOWS: STARTING AT A FOUND 5/8" BUESCHER REBAR AT THE SE CORNER OF THE NW/4 OF THE SE/4 OF SECTION 24; THENCE ALONG THE EAST LINE OF THE NW/4 OF THE SE/4; NORTH 02°33'47" EAST, 645.20 FEET TO A FOUND 1/2" REBAR AND THE TRUE POINT OF BEGINNING; THENCE NORTH 86°32'15" WEST, 605.07 FEET TO A CHISELED "X" IN CONCRETE; THENCE NORTH 14°53'07" EAST, 667.04 FEET TO A FOUND 3" PIPE; THENCE SOUTH 86°44'44" EAST, 463.36 FEET TO A FOUND AXLE; THENCE ALONG THE EAST LINE OF THE NW/4 OF THE SE/4, SOUTH 02°37'16" WEST, 655.58 FEET TO A FOUND 1/2" REBAR AND THE TRUE POINT OF BEGINNING, SUBJECT TO THE RIGHTS-OF-WAY OF NURSERY ROAD AND SOUTH 7TH

LOCATION MAP
ROGERS, AR
S24 T19N R30W
N.T.S.

811 Know what's **below.** **Call** before you dig.

SHEET INDEX

SMALL ARROW ENGINEERING, LLC
1302 S. MAIN STREET
PO BOX 1538
JOPLIN, MISSOURI 64802
TEL: 417.624.2333
FAX: 417.624.2441
EMAIL: jbolte@smallarrow.com

SMALL ARROW ENGINEERING, LLC.
CERTIFICATES OF AUTHORIZATION:
MISSOURI: E-2010013647
KANSAS: E-1930
ARKANSAS: 2097
OKLAHOMA: 5937

REVISIONS

NO.	DATE	DESCRIPTION

FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
COVER SHEET

4/3/24
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14310
JOHN H BOLTE

JOHN H. BOLTE
PROFESSIONAL ENGINEER
MO LIC E22511 OK LIC 18035
KS LIC 14094 AR LIC 14310

SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=20'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: COVER
SHEET: 1 OF: 13

FIRE DEPT HOSE CONNECTION
LOCATED BETWEEN
140' AND 150' FEET FROM
NE CORNER OF BLDG

PAVEMENT MARKING NOTES:
1. TYPICAL LANE STRIPE 4 INCH WIDE YELLOW
2. TRUCK DOCK BAR 24 INCH WIDE YELLOW
3. HATCHED AREAS ARE 4 INCH STRIPE ON 48 INCH CENTERS ON 45 DEGREE ANGLE

ADEQ MAILBOX LOCATION

PATH OF PEDESTRIAN ACCESS

SMH

S 7TH ST

PP

R400' TO FIRE HYDRANT

PAVEMENT MARKING AT EXISTING DOCKS AT APPROVAL OF OWNER

R60.0'

R30.0'

PARKING BLOCK 4" HIGH, 6' LONG TYPICAL

WV

FH

TYPICAL PARKING SPACE 9.5' X 20'

DOWNSPOUTS & DRAIN

OFFICE 108

15" DIA ADS MEGA-GREEN PIPE UNDER CONCRETE RAMP APPROX. 28 LF (ENDS FORMED INTO WALL)

DOWNSPOUT (TYP. @ DOCK)

LOW DOCK 106

BIKE RACK

TYPICAL PARKING SPACE 9.5' X 20'

PARKING BLOCK 4" HIGH, 6' LONG TYPICAL

DOWNSPOUTS & DRAIN

EXISTING WAREHOUSE 001

FIRE DEPT HOSE CONNECTION LOCATED BETWEEN 290' AND 300' FEET

TYPICAL PARKING SPACE 9.0' X 20'

OFFICE 102

DOWNSPOUT & DRAIN

R150'

UNDER SLAB DRAINAGE PIPE

WAREHOUSE EXTENSION 100

DOWNSPOUT & DRAIN (TYP.)

100' BUILDING SETBACK LINE

R400' TO FIRE HYDRANT

NEW WAREHOUSE 107

48" WIDE x 24" HIGH CONCRETE BOX CULVERT APPROX. 140 LF (FORMED INTO WALL/FOOTING)

FIRE DEPT HOSE CONNECTION LOCATED BETWEEN 210' AND 220' FEET

FIRE DEPT HOSE CONNECTION LOCATED BETWEEN 65' AND 75' FEET

DOWNSPOUT & DRAIN (TYP.)

10" THICK RETAINING WALL VARIABLE HEIGHT APPROX. 920 LF

R150'

EXISTING DETENTION BASIN

SMH

PP

0 10 20 40
SCALE: 1" = 20'

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REVISIONS

NO.	DATE	DESCRIPTION

FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
SITE PLAN

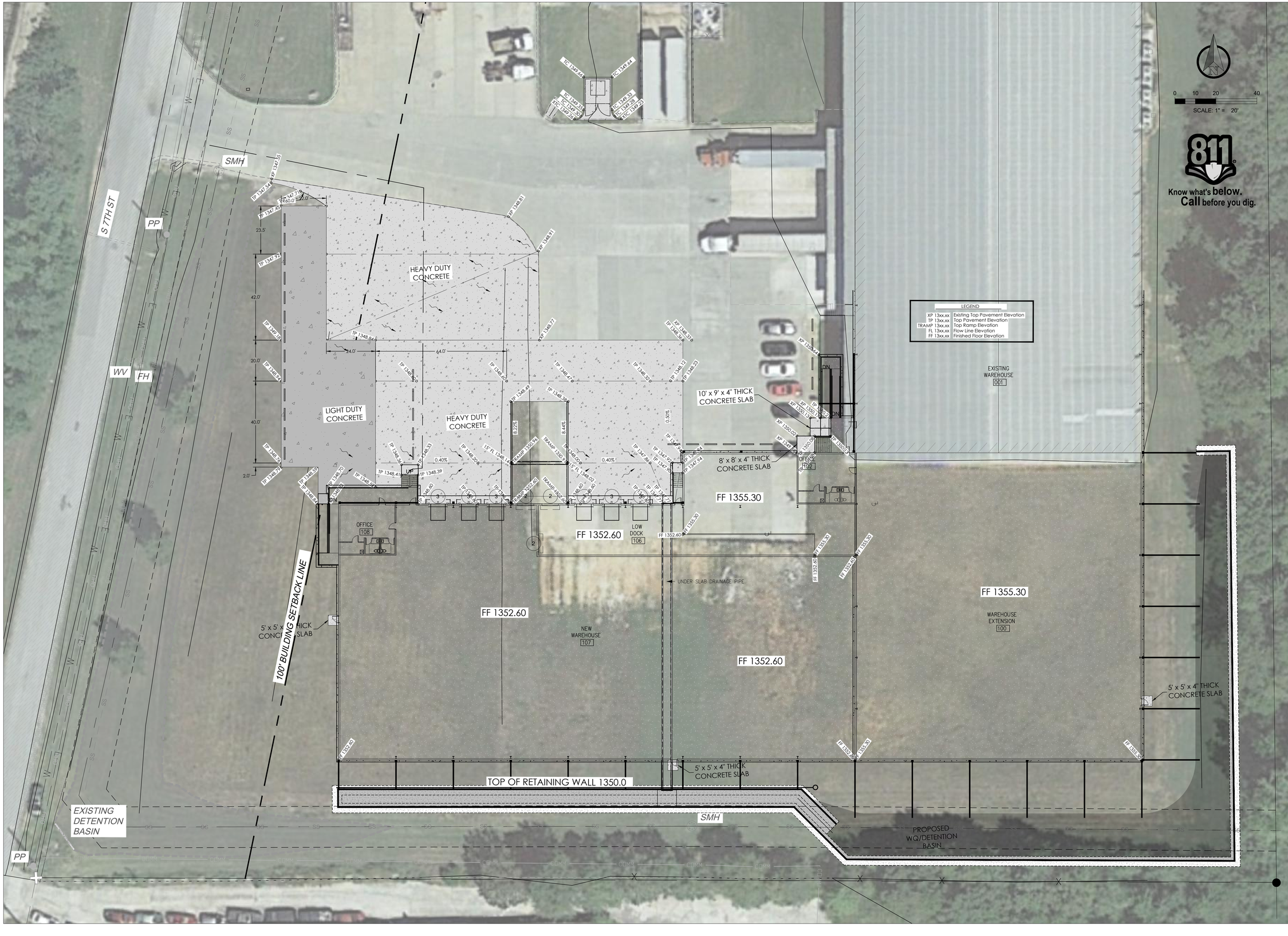
4/3/24

STATE OF ARKANSAS
REGISTERED
PROFESSIONAL
ENGINEER
No. 14310
JOHN H BOLTE

JOHN H. BOLTE
PROFESSIONAL ENGINEER
MO LIC E22511 OK LIC 18035
KS LIC 14094 AR LIC 14310

SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=20'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: SITE PLAN
SHEET: 2 OF: 13



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FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
SITE PAVING / GRADING PLAN

4/3/24
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14310
JOHN H BOLTE

JOHN H. BOLTE
PROFESSIONAL ENGINEER
MO LIC E22511 OK LIC 18035
KS LIC 14094 AR LIC 14310

SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=20'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: PAVING PLAN
SHEET: 3 OF: 13

SMALL ARROW ENGINEERING, LLC

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KANSAS: E-1930
ARKANSAS: 2097
OKLAHOMA: 5937

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FROUD WAREHOUSE EXPANSION
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2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
DEMOLITION PLAN

4/3/24

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14310
JOHN H BOLTE

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PROFESSIONAL ENGINEER
MO LIC E22511 OK LIC 18035
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SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=20'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: DEMO PLAN
SHEET: 4 OF: 13

SMALL ARROW ENGINEERING, LLC

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KANSAS: E-1930
ARKANSAS: 2097
OKLAHOMA: 5937

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NO.	DATE	DESCRIPTION

FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
STORM SEWER & DRAINAGE PLAN

4/3/24

STATE OF ARKANSAS
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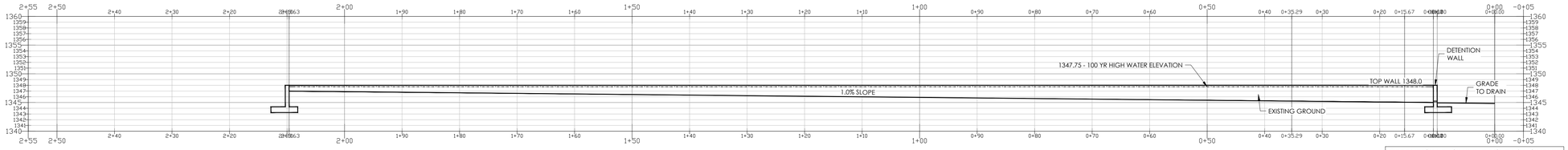
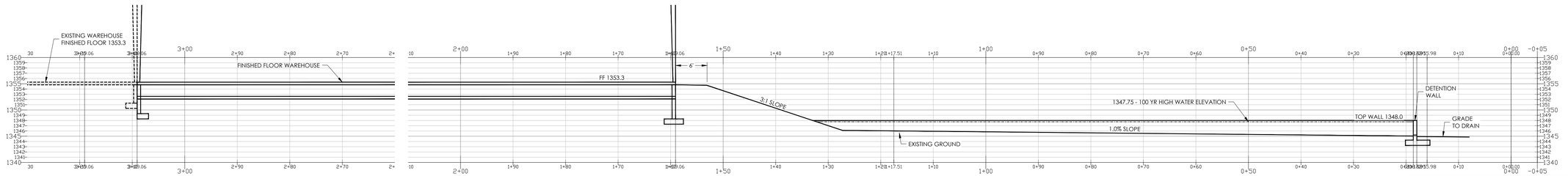
DRAWN: TED CHKD: JHB
SCALE: 1"=20'
PROJECT #: 22238
FILE:
DATE: 4/3/24

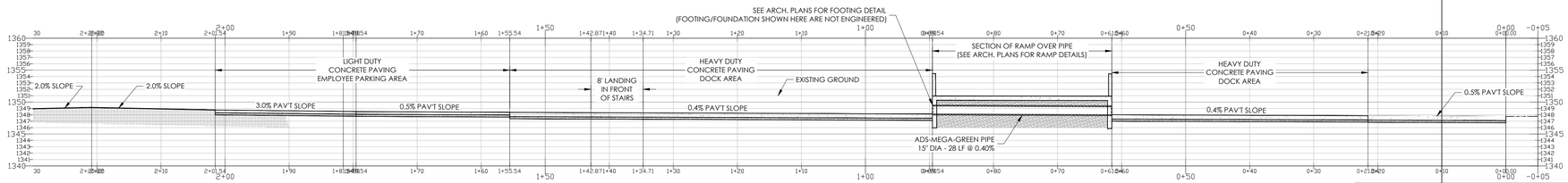
PROJECT: WAREHOUSE EXP.
SHEET DESC: STORM PLAN
SHEET: 5 OF: 13



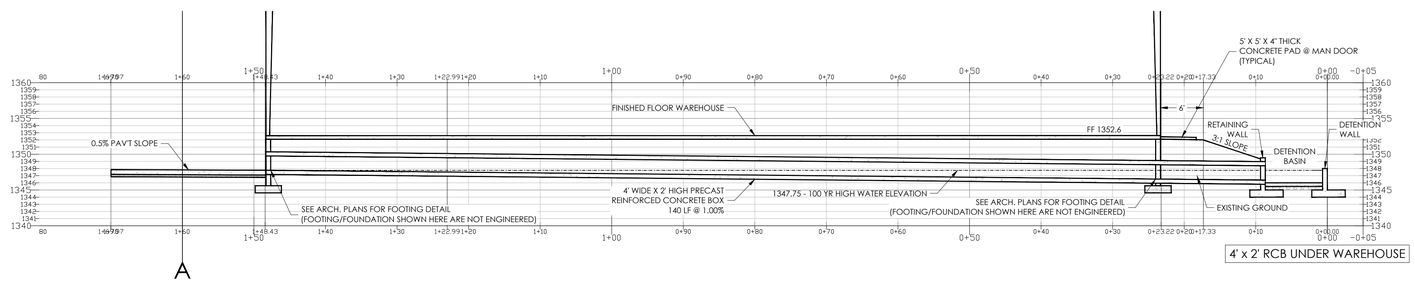
DETENTION FLOWLINE TO EAST OUTLET



DETENTION FLOW LINE TO WEST OUTLET



DOCK FLOWLINE & 15" PIPE UNDER RAMP



4' x 2' RCB UNDER WAREHOUSE

SMALL ARROW ENGINEERING

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FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
STORM SEWER & DRAINAGE PROFILES

4/3/24

STATE OF ARKANSAS
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MO LIC E22511 OK LIC 18035
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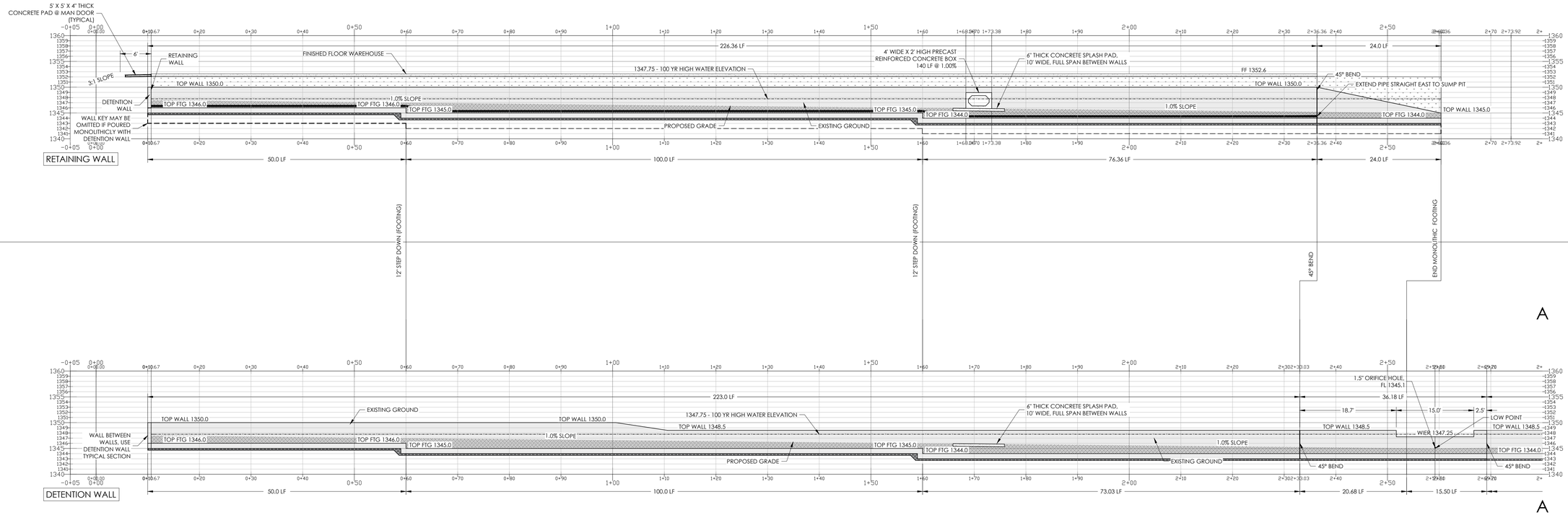
SURVEY BY: ESI
DRAWN: TED. CHKD: JHB.
SCALE: 1"=10'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.

SHEET DESC: STORM PROFILES

SHEET: 6 OF: 13



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FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
DETENTION WALL & RETAINING WALL PROFILES

4/3/24

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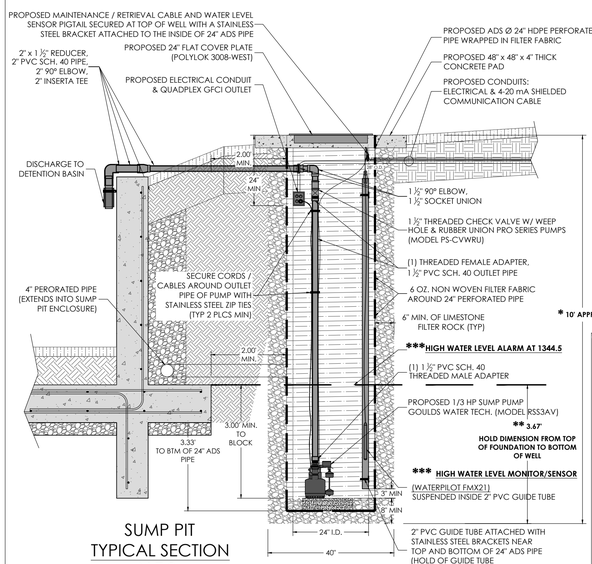
SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=10'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: WALL PROFILES
SHEET: 7 OF: 13

RETAINING FABRICATION / CONSTRUCTION NOTES

1. CONSTRUCTION DRAWINGS SHALL NOT BE SCALED. DIMENSIONS APPLY. SIZES NOTED ARE MINIMUM.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE CONSTRUCTION.
3. THE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR PROVIDING ALL MEASURES NECESSARY TO ENSURE THAT THE STRUCTURE IS PROTECTED DURING CONSTRUCTION. THESE MEASURES INCLUDE BUT NOT LIMITED TO SHORING AND BRACING FOR CONSTRUCTION LOADS AND WORKER SAFETY.
4. ALL CONCRETE SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. MATERIAL SHALL MEET THE REQUIREMENTS OF ACI 318. MAXIMUM WATER TO CEMENT RATIO SHALL BE .46 (NON-AIR ENTRAINED). SLUMP RANGE SHALL BE 5 TO 9 INCHES.
5. DIMENSIONS ARE APPROXIMATE.
6. INSTALL WALL BASE ON A MINIMUM OF 4 INCHES OF COMPACTED BASE MATERIAL CONSISTING OF CLASS 7 MATERIAL.
7. REINFORCING BAR DETAILING, FABRICATING, AND PLACING SHALL CONFORM TO THE "ACI STANDARD: DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" (ACI 315) AND THE "MANUAL OF ENGINEERING AND PLACING DRAWINGS FOR REINFORCED CONCRETE STRUCTURES" (ACI 315R) BY THE AMERICAN CONCRETE INSTITUTE. THE MOST CURRENT EDITIONS OF CONCRETE REINFORCING STEEL INSTITUTE'S "REINFORCING BAR DETAILING" AND "PLACING REINFORCING BARS" MAY ALSO BE USED.
8. REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A615. REINFORCING SHALL BE GRADE 60 (Fy=60 KSI) DEFORMED BARS FOR ALL BARS UNLESS NOTED OTHERWISE ON PLANS OR DETAILS.
9. ALL REINFORCING SHALL BE BENT COLD. BARS SHALL NOT BE STRAIGHTENED AND RE- BENT. FIELD BENDING OF REBAR SHALL NOT BE ALLOWED UNLESS SPECIFICALLY NOTED OTHERWISE.
10. REINFORCING BAR SPACING SHOWN ON PLANS ARE AT MAXIMUM ON CENTERS. ALL BARS SHALL BE DETAILED AND PLACED WITHIN 1/2" TOLERANCE IN ANY DIRECTION. SECURELY TIE ALL BARS IN LOCATION BEFORE PLACING CONCRETE.
11. REINFORCING BAR CLEAR COVER MINIMUM REQUIREMENTS (UNLESS OTHERWISE NOTED):
    a. CONCRETE PLACED AGAINST EARTH – 3"
    b. CONCRETE PLACED EXPOSED TO WEATHER – 1-1/2"
12. PROVIDE BAR SUPPORTS: BOLSTERS, CHAIRS, SPACERS, AND OTHER DEVICES FOR SPACING, SUPPORTING, AND FASTENING REINFORCING BARS AND WELDED WIRE REINFORCEMENT IN PLACE. MANUFACTURE BAR SUPPORTS FROM STEEL WIRE, PLASTIC, OR PRECAST CONCRETE ACCORDING TO CRSI's "MANUAL OF STANDARD PRACTICE".
13. PROVIDE SELECT BACKFILL BEHIND RETAINING WALLS AS NOTED CONSISTING OF SOIL TYP GC OR GM.
14. PROVIDE A NO 57 OR NO 67 CRUSHED STONE GRAVEL COURSE IMMEDIATELY BEHIND WALL AS NOTED FOR DRAINAGE
15. PROVIDE A 4" CORRUGATED, AND PERFORATED, DRAINAGE PIPE SYSTEM AS NOTED. PIPE SHALL INCLUDE A FILTER FABRIC. PIPE SHOULD BE INSTALLED TO GRAVITY DRAIN TO DAYLIGHT OR AS A OPTION THROUGH WALL.



SUMP PIT
TYPICAL SECTION
N.T.S.

GROUND WATER WELL (GWW) ELEVATION DETAIL

NOTES:
1) PROVIDE A DEDICATED 20 AMP CIRCUIT FOR SUMP PUMP.
2) PROVIDE EXTERIOR DISCONNECT SWITCH ADJACENT TO SUMP PIT AT WAREHOUSE WALL .

* ACTUAL DEPTH MAY VARY DEPENDING ON EXACT LOCATION & EXISTING FINISHED GRADE.

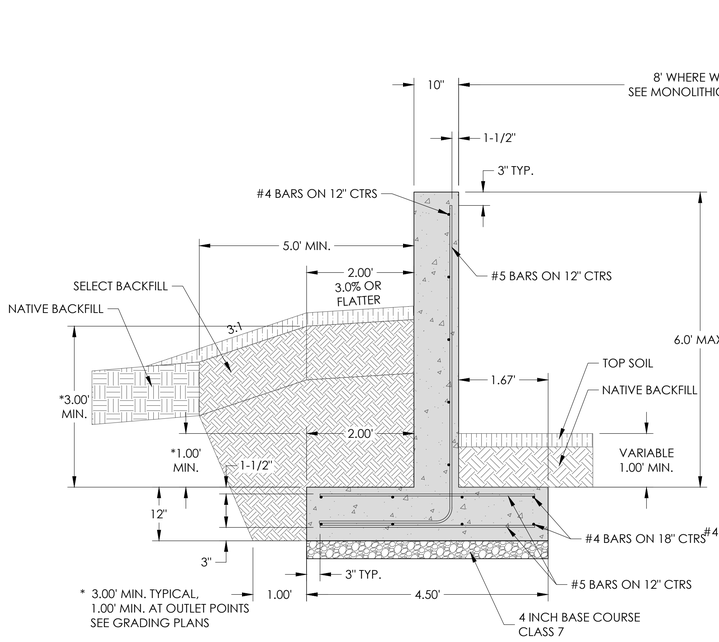
** FINAL DEPTH OF WELL TO BE DETERMINED BY DIMENSION FROM TOP OF RETAINING WALL FOUNDATION TO BOTTOM OF WELL.

*** TO MONITOR GWW'S, ADD HIGH WATER SENSORS

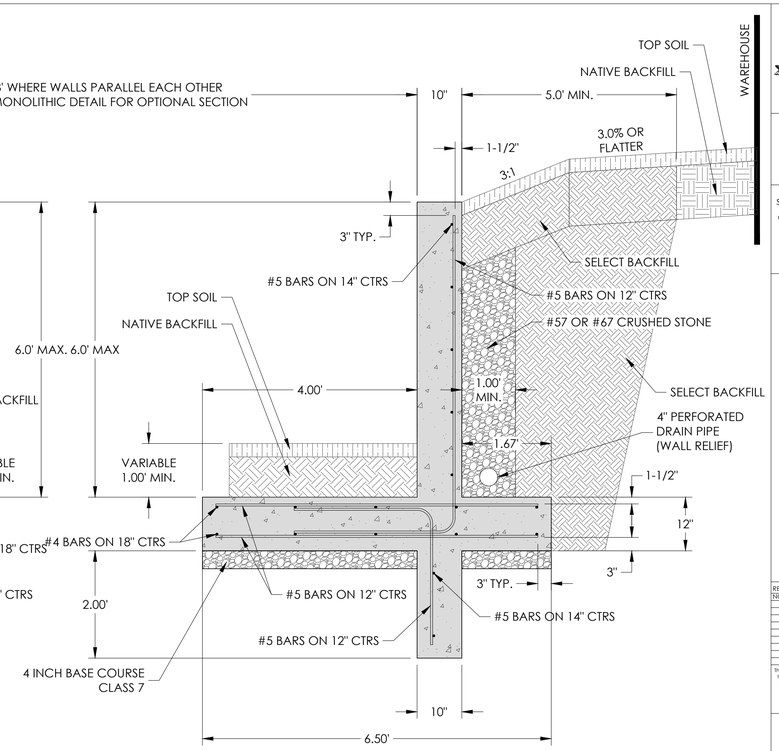
* 10' APPROX.

GWW COMPONENTS: (PER INSTALLATION)

1. (20 LF) 24" Ø ADS N12 DUAL WALL CLASS 2 PERFORATED HDPE PIPE
2. (75 SF) FILTER FABRIC
3. (2 CY) LIMESTONE FILTER ROCK
4. (1 EA) 24" Ø TOP COVER PLATE (POLYLOK #3008-WEST)
5. (1 EA) 1/3 HP SUMP PUMP GOULDS WATER TECHNOLOGY (MODEL RSS3AV)
6. (1 EA) WATERPILOT FMX21 HYDROSTATIC LEVEL MEASURING DEVICE
7. (1 EA) 2.00" PVC 2" x 1.50" REDUCER
8. (20 LF) 2.00" PVC PIPE SCH. 40
9. (1 EA) 2.00" PVC 90° ELBOW
10. (1 EA) 2.00" ADS INSERTA TEE (2" IPS/SCH 40 SOLVENT WELD BELL)
11. (20 LF) 1.50" PVC PIPE SCH. 40
12. (1 EA) 1.50" PVC THREADED MALE ADAPTER SCH. 40
6. (1 EA) 1.50" PVC THREADED FEMALE ADAPTER SCH. 40
7. (1 EA) 1.50" THREADED CHECK VALVE W/ WEEP HOLE & RUBBER UNION PRO SERIES PUMPS (MODEL PS-CVWRU)
8. (1 EA) 1.50" PVC 90° ELBOW SCH. 40
9. (1 EA) 1.50" PVC SOCKET UNION SCH. 40
10. (1 EA) 4" CONCRETE CAP BLOCK
11. (1 EA) EXTERIOR DISCONNECT SWITCH
12. (1 EA) QUADPLEX GFCI OUTLET
13. (VARIOUS LENGTH) ELECTRICAL CONDUIT
14. (1 EA) 20 AMP CIRCUIT BREAKER
15. (2 EA) STAINLESS STEEL ZIP TIES
16. (3 EA) STAINLESS STEEL BRACKETS
17. (15 LF) STAINLESS STEEL MAINT. / SERVICE CABLE

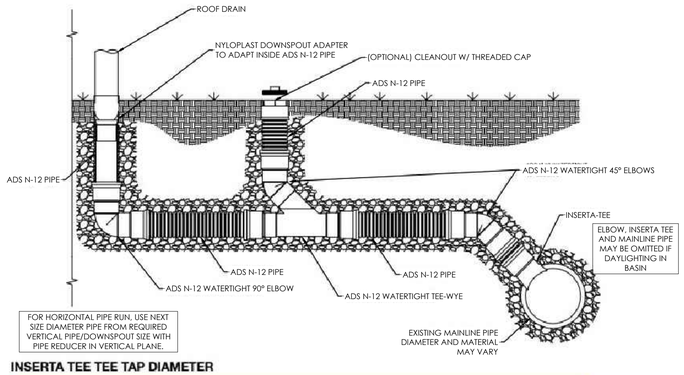


DETENTION WALL
TYPICAL SECTION
N.T.S.



RETAINING WALL
TYPICAL SECTION
N.T.S.

NYLOPLAST DOWNSPOUT ADAPTER WITH CLEAN OUT AND INSERTA TEE



INSERTA TEE TEE TAP DIAMETER

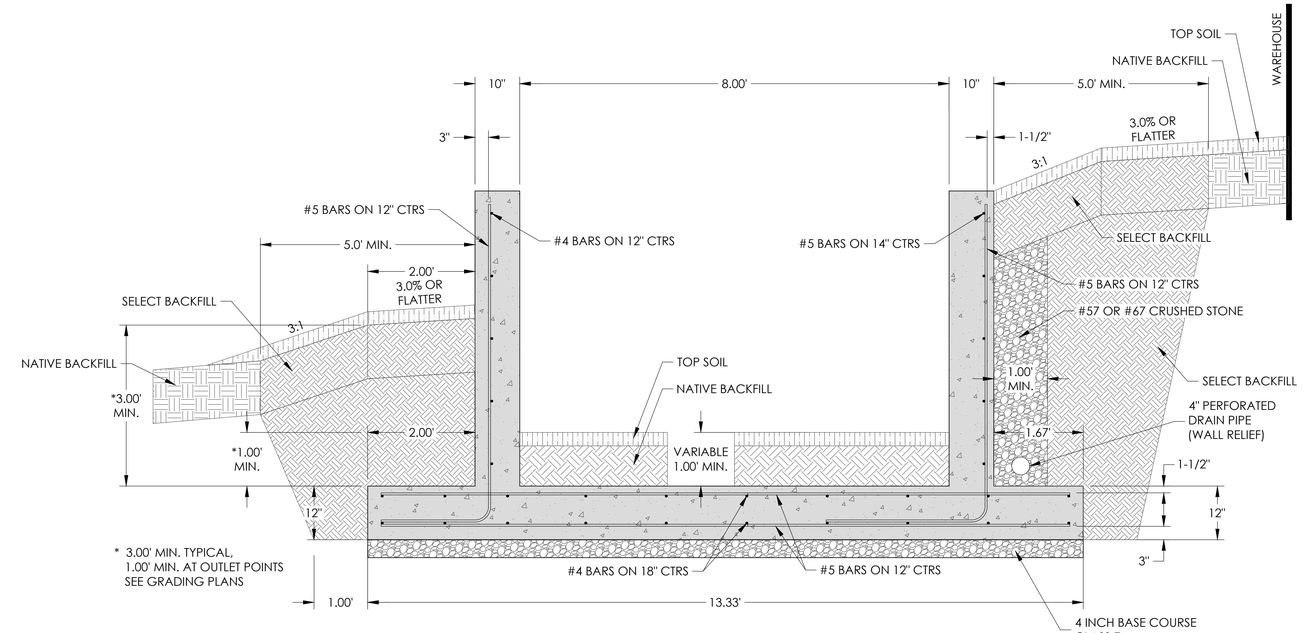
Mainline Pipe Diameter	4" (100 mm) INSERTA TEE Tap Diameter	6" (150 mm) INSERTA TEE Tap Diameter	8" (200 mm) INSERTA TEE Tap Diameter
12-15" (300-375 mm)	4N12MF12-15N12	6N12MF12-15N12	8N12MF12-15N12
18-24" (450-600 mm)	4N12MF18-24N12	6N12MF18-24N12	8N12MF18-24N12
30-48" (750-1200 mm)	4N12MF30-48N12	6N12MF30-48N12	8N12MF30-48N12
54-60" (1350-1500 mm)	4N12MF54-60N12	6N12MF54-60N12	8N12MF54-60N12

DOWNSPOUT ADAPTERS

Product Description	Part Number
4x4x4" (100x100x100 mm) Downspout Adapter	0444FH
4x6x6" (100x150x150 mm) Downspout Adapter	0466FH
6x6x6" (150x150x150 mm) Downspout Adapter	0666FH
6x6x8" (150x150x200 mm) Downspout Adapter	0668FH
8x8x8" (200x200x200 mm) Downspout Adapter	0888FH

CLEAN OUTS

Product Description	Part Number
4" (100 mm) Clean Out	0474AG
6" (150 mm) Clean Out	0674AG
8" (200 mm) Clean Out	0874AG
10" (250 mm) Clean Out	1074AG
12" (300 mm) Clean Out	1274AG



MONOLITHIC DETENTION WALL & RETAINING WALL
OPTIONAL TYPICAL SECTION
N.T.S.

SMALL ARROW ENGINEERING, LLC
1302 S. MAIN STREET
PO BOX 1538
JOPLIN, MISSOURI 64802
TEL: 417.624.2333
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SMALL ARROW ENGINEERING, LLC.
CERTIFICATES OF AUTHORIZATION:
MISSOURI: E-2010013647
KANSAS: E-1930
ARKANSAS: 2097
OKLAHOMA: 5937

REVISIONS

NO.	DATE	DESCRIPTION

FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
STORM CONSTRUCTION DETAILS

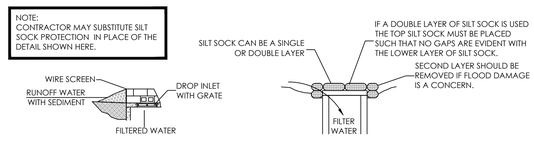
4/3/24
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14310
JOHN H BOLTE

JOHN H. BOLTE
PROFESSIONAL ENGINEER
MO LIC E22511 OK LIC 18035
KS LIC 14094 AR LIC 14310

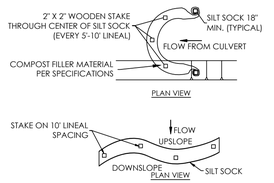
SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: N.T.S.
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: STORM DETAILS
SHEET: 8 OF: 13

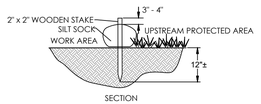
NOTE:
CONTRACTOR MAY SUBSTITUTE SILT SOCK PROTECTION IN PLACE OF THE DETAIL SHOWN HERE.



INLET PROTECTION DETAIL
N.T.S.



NOTES:
1. SILK SOCK TO MEET FILTREXX SPECIFICATIONS OR APPROVED EQUAL.
2. INSTALL ACCORDING TO MANUFACTURER SPECIFICATIONS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY INSPECTOR.



SILT SOCK DETAIL

NOTES:

1. PLACE SILT FENCE AT DOWNSLOPE LIMIT OF AREA TO BE GRADED.
2. SILT FENCE SHALL BE PLACED ALONG A LEVEL CONTOUR WITH AN ALLOWANCE OF ± 4 INCHES.
3. SEDIMENT TRAPPED BY THIS PRACTICE SHALL BE DISPOSED OF IN AN APPROVED SITE IN A MANNER THAT WILL NOT CONTRIBUTE TO ADDITIONAL SILTATION.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL FENCE POSTS.
5. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN IT HAS SERVED ITS USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6 INCHES.
8. AT EACH END OF SILT FENCE, TURN FENCE UPSLOPE AND EXTEND UNTIL GROUND SURFACE RISES 18 INCHES.

EROSION CONTROL NOTES:

1. THIS PLAN SHOWS THE LOCATION AND DETAILS FOR PRIMARY SEDIMENT CONTROLS TO BE CONSTRUCTED. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING EROSION AND DISCHARGE OF SEDIMENT FROM THE SITE AT ALL TIMES DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE NECESSARY MEASURES DURING ALL PHASES OF HIS OPERATIONS REGARDLESS OF WHETHER THEY ARE SPECIFICALLY NOTED ON THIS PLAN AND SHALL MAINTAIN AND REPLACE CONTROLS AS NECESSARY DURING THE CONTROLS OF HIS OPERATIONS.
2. TEMPORARY CONSTRUCTION ENTRANCE(S) AND SILT FENCES, STRAW BALE DIKES OR OTHER INITIAL SEDIMENT CONTROLS SHOWN ON THIS PLAN MUST BE INSTALLED PRIOR TO ANY OTHER WORK.
3. THE CONTRACTOR SHALL CLEAN STREETS BOTH INTERIOR AND ADJACENT TO THE SITE AS NEEDED AFTER EACH RAINFALL, AND AT THE END OF CONSTRUCTION.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST DURING CONSTRUCTION AND SHALL WATER CONSTRUCTION AREAS WHENEVER CONDITIONS WARRANT.
5. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ACCUMULATED SEDIMENT FROM STORM DRAINS PRIOR TO APPROVAL OF CONSTRUCTION.
6. ALL DISTURBED AREAS NOT RECEIVING OTHER PERMANENT STABILIZATION SUCH AS PAVEMENT, ROOFS, SOD, ETC., SHALL BE SEEDED AND MULCHED, AS SPECIFIED BY THE CITY OF JOPLIN.
7. TEMPORARY EROSION CONTROL ROCK DITCH CHECKS AND HAY BALE DIKES MAY BE STAGED IF USING 12" MINUS RIP RAP PROTECTION OPTION.
8. IF TURF REINFORCEMENT IS USED THEY SHALL REMAIN IN PLACE AFTER CONSTRUCTION.
9. CONTRACTOR TO PLACE EROSION CONTROL PER PLAN AND AS NEEDED

STORM WATER POLLUTION PREVENTION PLAN (SWPPP)

PRIOR TO CONSTRUCTION:

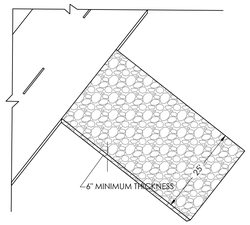
1. INSTALL TEMPORARY CONSTRUCTION ENTRANCE.
2. BEGIN AND CONTINUE A WEEKLY WRITTEN LOG OF INSPECTION AND WORK.

DURING CONSTRUCTION:

1. OWNER SHALL PROVIDE WEEKLY INSPECTION AND MAINTENANCE OF SWPPP MEASURES WITH WRITTEN LOG OF ACTIVITIES.
2. STRIP ALL TOPSOIL FROM PROPOSED GRADING AREAS AND STOCKPILE. STOCKPILE SLOPES SHALL NOT BE MORE THAN 3:1.
3. GRADE THE ENTIRE SITE AS SHOWN ON THE GRADING PLAN.
4. IF GRADING STOPS FOR A PERIOD OF 7 DAYS OR MORE ON SLOPES EQUAL TO OR GREATER THAN 3:1, SEED AND STRAW AREAS AFFECTED WITH RAPIDLY GROWING PLANTS. IF SLOPE IS LESS THAN 3:1, 7 DAYS SHALL APPLY.
5. PROVIDE TEMPORARY BLOCKING OF SEDIMENT TO ALL INLETS.
6. AFTER GRADING IS COMPLETE, PLACE TOPSOIL AT A MINIMUM DEPTH OF 4" IN ALL AREAS EXCEPT IMPERVIOUS AREAS. SEED AND STRAW ALL AREAS.

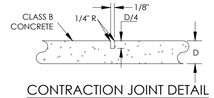
POST CONSTRUCTION:

1. RESEED AND MULCH AS REQUIRED UNTIL VEGETATION IS FIRMLY ESTABLISHED.
2. CONTINUE INSPECTION AND MAINTENANCE OF TEMPORARY SWPPP BMP MEASURES UNTIL VEGETATION IS THOROUGHLY ESTABLISHED.
3. REMOVE TEMPORARY SWPPP BMP MEASURES ONCE VEGETATION IS THOROUGHLY ESTABLISHED.



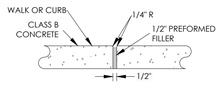
ROCK CONSTRUCTION ENTRANCE
N.T.S.

NOTES:
1. INSTALL PRIOR TO ANY OTHER WORK.
2. USE 3"-6" CLEAN CRUSHED LIMESTONE.
3. DRIVE MUST BE AT LEAST 25 FEET WIDE AND 50 FEET LONG.
4. REPLACE AS NEEDED TO MAINTAIN 6" TO 12" DEPTH.



CONTRACTION JOINT DETAIL
(N.T.S.)

1. CONTRACTION JOINTS MAY BE CONSTRUCTED WITH A GROOVING TOOL OR WITH A SAW AFTER THE CONCRETE IS SET.
2. PLACE CONTRACTION JOINTS AT 5' CENTERS IN WALKS AND 15' CENTERS ON CURB AND GUTTER.



EXPANSION JOINT DETAIL
(N.T.S.)

1. PREFORMED FIBER EXPANSION JOINT FILLER IN ACCORDANCE WITH AASHTO M 213.
2. SMOOTH DOWELS 24" LONG.
3. FIX DOWELS WITH BAR CHAIRS OR EQUAL.

GRADING / PAVING NOTES:
1. PAVEMENT TYPICAL SECTIONS ARE DERIVED FROM ENGINEERING EXPERIENCE AND GUIDANCE FROM GEOTECHNICAL INVESTIGATION REPORT PROVIDED BY MCE (McCLELLAND CONSULTING ENGINEERS, INC) DATED JANUARY 2024. CONTRACTOR SHALL READ AND UNDERSTAND ALL ASPECTS OF GRADING AND EARTHWORK PER THE REPORT AND HAVE COMPACTION TESTING COMPLETED BEFORE PAVING.

PAVEMENT TYPICAL SECTIONS:

HEAVY DUTY CONCRETE PAVING
- 8" REINFORCED PCCP W/DOWEL JOINTS
- 6" TYPE 1 OR 5 AGGR. BASE
- COMPACTED SUBGRADE

HEAVY DUTY ASPHALT PAVING
- 2" PLANT MIX BITUMINOUS SURFACE COURSE
- TACK COAT
- 6" PLANT MIX BITUMINOUS BASE COURSE
- PRIMER COAT
- 8" BASE ROCK (TYPE 1)
- COMPACTED SUBGRADE

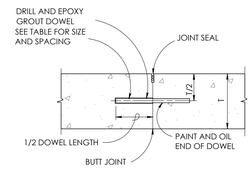
LIGHT DUTY CONCRETE PAVING
- 4" FIBER REINFORCED PCCP
- 6" TYPE 1 OR 5 AGGR. BASE
- COMPACTED SUBGRADE

LIGHT DUTY ASPHALT PAVING
- 2" PLANT MIX BITUMINOUS SURFACE COURSE
- TACK COAT
- 2" PLANT MIX BITUMINOUS BASE COURSE
- PRIMER COAT
- 6" BASE ROCK (TYPE 1)
- COMPACTED SUBGRADE

NOTE:
ASPHALT PRIMER SHALL CONSIST OF 0.25 GALLONS PER SQUARE YARD

CONCRETE GENERAL NOTES

A. COMPRESSIVE STRENGTH:	4,000 PSI @ 28 DAYS
B. MAXIMUM SLUMP:	3 INCHES
C. AIR ENTRAINMENT:	5–7 PERCENT
D. METHOD OF CURING:	7 DAY DAMP CURE, OR WHITE PIGMENTED RESIN BASED SPRAY ON CURING COMPOUND MEETING ASTM C–309, TYPE II, CLASS B. SCREED
E. FINISH:	
F. LONGITUDINAL CONTROL JOINTS:	1/8" SAWCUT, 1/4 SLAB THICKNESS. 8'–10' ON CENTER.
G. TRANSVERSE CONTROL JOINTS:	1/8" SAWCUT, 1/4 SLAB THICKNESS WITH A MAXIMUM OF 1.5 TIMES THE SPACING OF THE LONGITUDINAL JOINTS.
H. EXPANSION JOINTS:	120' MAXIMUM SPACING AND AT BUILDING CORNERS WHEN THE PAVEMENT ABUTS THE BUILDING OR DUMPSTER PAD.
I. CONSTRUCTION JOINTS:	32' TO 40' ON CENTER EACH WAY, 1/2" HOMASOTE EXPANSION MATERIAL WITH #4 BARS (16") 24" O.C. BETWEEN POURS.
J. JOINT SEALER:	BUTYL CAULK (LIGHT GRAY)
K. FINISH CURE & SEAL	DAYTON SUPERIOR CURE & SEAL 25% J22UV OR OTHER APPROVED AGENT



T = PAVEMENT THICKNESS

DOWELED JOINT BETWEEN PAVEMENT SLABS
N.T.S.

NOTES:
1. HOLES APPROXIMATELY 1/8 INCH GREATER IN DIAMETER THAN THE DOWELS SHALL BE DRILLED IN THE EXISTING CONCRETE AND THE DOWELS SHALL BE BONDED IN THE DRILLED HOLES USING AN EPOXY RESIN GROUT.

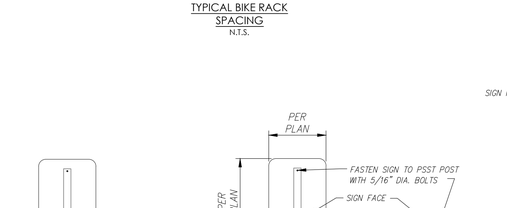
DOWEL AND TIE BAR TABLE

PCCP THICKNESS (P)	DOWEL		TIE BAR	
	SIZE	SPACING	SIZE	SPACING
6" TO 7½"	1" X 18"	18" CTRS.	#5X30"	30" CTRS.
7½" TO 10"	1¼" X18"	18" CTRS.	#5X30"	30" CTRS.
GREATER THAN 10"	1½" X18"	18" CTRS.	#6X40"	30" CTRS.

HEIGHT TO CENTER OF DOWEL / TIE BAR = ½ THICKNESS OF SLAB - ½"

CONTRACTOR SHALL PREPARE A JOINT LAYOUT PLAN TO THE ENGINEER AT LEAST 2 WEEKS PRIOR TO POURING CONCRETE FLATWORK. THE PLAN SHOULD INDICATE THE SPACING OF THE JOINTS AND SPECIFY THE TYPE OF JOINT, AND HOW THE JOINT WILL BE REINFORCED AND SEALED.

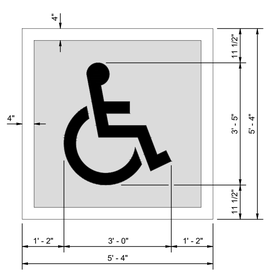
CONCRETE JOINTS INCLUDING COLD JOINTS, EXPANSION JOINTS, CONTRACTION JOINTS
N.T.S.



TYPICAL BIKE RACK SPACING
N.T.S.

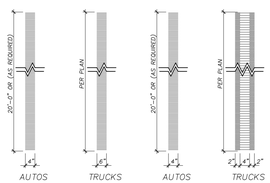
GRID IS 4" (IN) SQUARE MARKING AREA = 3.09 SQ.FT.

ACCESS PARKING SPACE SYMBOL (STANDARD)
(TYPICAL FOR ASPHALT SURFACES)



TOTAL MARKING AREA = 28.44 SQ.FT.
WHITE = 9.76 SQ.FT. BLUE = 18.69 SQ.FT.

ACCESS PARKING SPACE SYMBOL (STANDARD)
WITH BLUE BACKGROUND AND WHITE BORDER
(REQUIRED FOR CEMENT CONCRETE SURFACES)

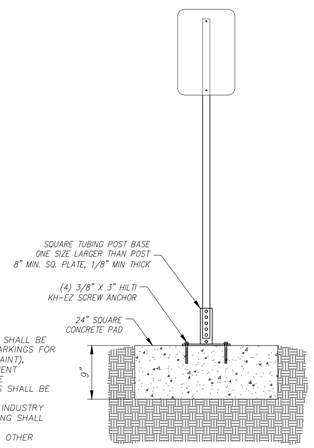


ASPHALT PAVEMENT STRIPING N.T.S.

CONCRETE PAVEMENT STRIPING N.T.S.

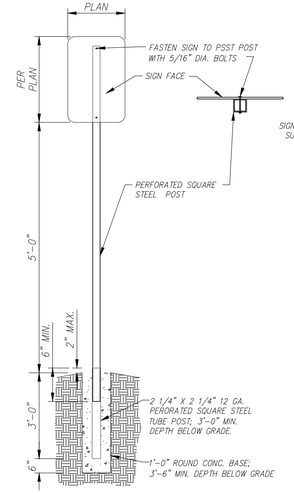
GENERAL NOTES:
- *ALL PAVEMENT MARKINGS FOR THE PARKING LOT SPACES AND DRIVES SHALL BE STRIPED AS SHOWN ON THE SITE CONSTRUCTION PLAN. PAVEMENT MARKINGS FOR PARKING SPACES SHALL BE YELLOW STRIPING (HIGH GRADE TRAFFIC PAINT), EXCEPT FOR THE ADA STALL SYMBOL, WHICH SHALL BE BLUE. PAVEMENT MARKINGS FOR CROSSWALK, ARROWS AND STOP LINES SHALL BE WHITE THERMOPLASTIC STRIPING. PAVEMENT MARKINGS FOR CROSSING ZONES SHALL BE YELLOW THERMOPLASTIC STRIPING.*
- *STENCILS AND TEMPLATES USED SHALL BE PROFESSIONALLY MADE TO INDUSTRY STANDARDS. "FREE HAND" PAINTING OF ARROWS, SYMBOLS OR WORDING SHALL NOT BE ALLOWED.*
- *PAVEMENT SURFACE SHALL BE FREE OF DIRT, SAND, GRAVEL, OIL AND OTHER FOREIGN MATTER.*
- *CONTRACTOR SHALL PROTECT ADJACENT CURBS, WALKS, FENCES AND OTHER ITEMS FROM RECEIVING PAINT.*
- *PAVEMENT MARKINGS SHALL BE STRAIGHT AND EVEN IN ACCORDANCE WITH PLAN.*
- *PAVEMENT MARKINGS SHALL BE APPLIED TO THE WIDTHS AND COLORS AS DETAILED IN PLANS.*
- *ANY DEVIATIONS FROM PLANS SHOULD BE SUBMITTED & APPROVED BY ENGINEER PRIOR TO INSTALLATION.*

PAVEMENT MARKING DETAILS



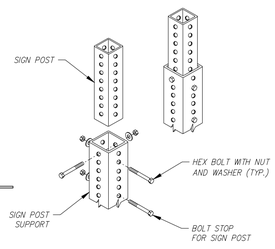
NOTE:
MAY BE USED IN UTILITY EASEMENTS OR OTHER LOCATIONS WHERE DEPTH OF POST BASE MAY BE IN CONFLICT WITH BURIED INFRASTRUCTURE.

ALTERNATE POST MOUNTED SIGN DETAIL
N.T.S.



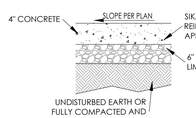
NOTE:
STEEL POSTS SHALL BE GALVANIZED ACCORDING TO AASHTO M–111 OR BE ALUMINUM POSTS FABRICATED FROM ALUMINUM ALLOY MEETING ASTM B–308, ALLOY 6061–T6.

POST MOUNTED SIGN DETAIL
N.T.S.

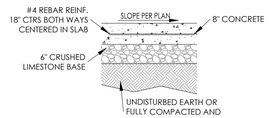


NOTE:
THE SIGNPOST IS ATTACHED TO THE ANCHOR SLEEVE AS SHOWN ABOVE OR WITH CORNER BOLT PER MANUFACTURER'S SPECIFICATIONS

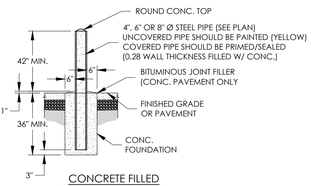
POST MOUNTED SIGN DETAIL
N.T.S.



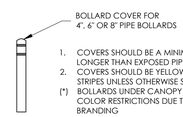
LIGHT DUTY CONCRETE PAVEMENT SECTION DETAIL
(N.T.S.)



HEAVY DUTY W/ REBAR CONCRETE PAVEMENT SECTION DETAIL
(N.T.S.)



CONCRETE FILLED STEEL BOLLARD DETAIL
N.T.S.



1. COVERS SHOULD BE A MINIMUM OF 2" LONGER THAN EXPOSED PIPE LENGTH
2. COVERS SHOULD BE YELLOW WITH RED STRIPES UNLESS OTHERWISE SPECIFIED (*)

(*) BOLLARDS UNDER CANOPY MAY HAVE COLOR RESTRICTIONS DUE TO FUEL BRANDING

BOLLARD COVER DETAIL
N.T.S.

CONCRETE CONTRACTION JOINT SPACING

PCCP THICKNESS (P)	JOINT SPACING	
	RECOMMENDED	MAXIMUM
4"	8'	10'
5"	10'	12.5'
6"	12'	15'
7"	14'	17.5'
8"	16'	20'
9"	18'	22.5'
10"	20'	25'

SMALL ARROW ENGINEERING, LLC

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CERTIFICATES OF AUTHORIZATION:
MISSOURI: E-2010013647
KANSAS: E-1930
ARKANSAS: 2097
OKLAHOMA: 5937

REVISIONS

NO.	DATE	DESCRIPTION

FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
CONSTRUCTION DETAILS

4/3/24

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14310
JOHN H BOLTE

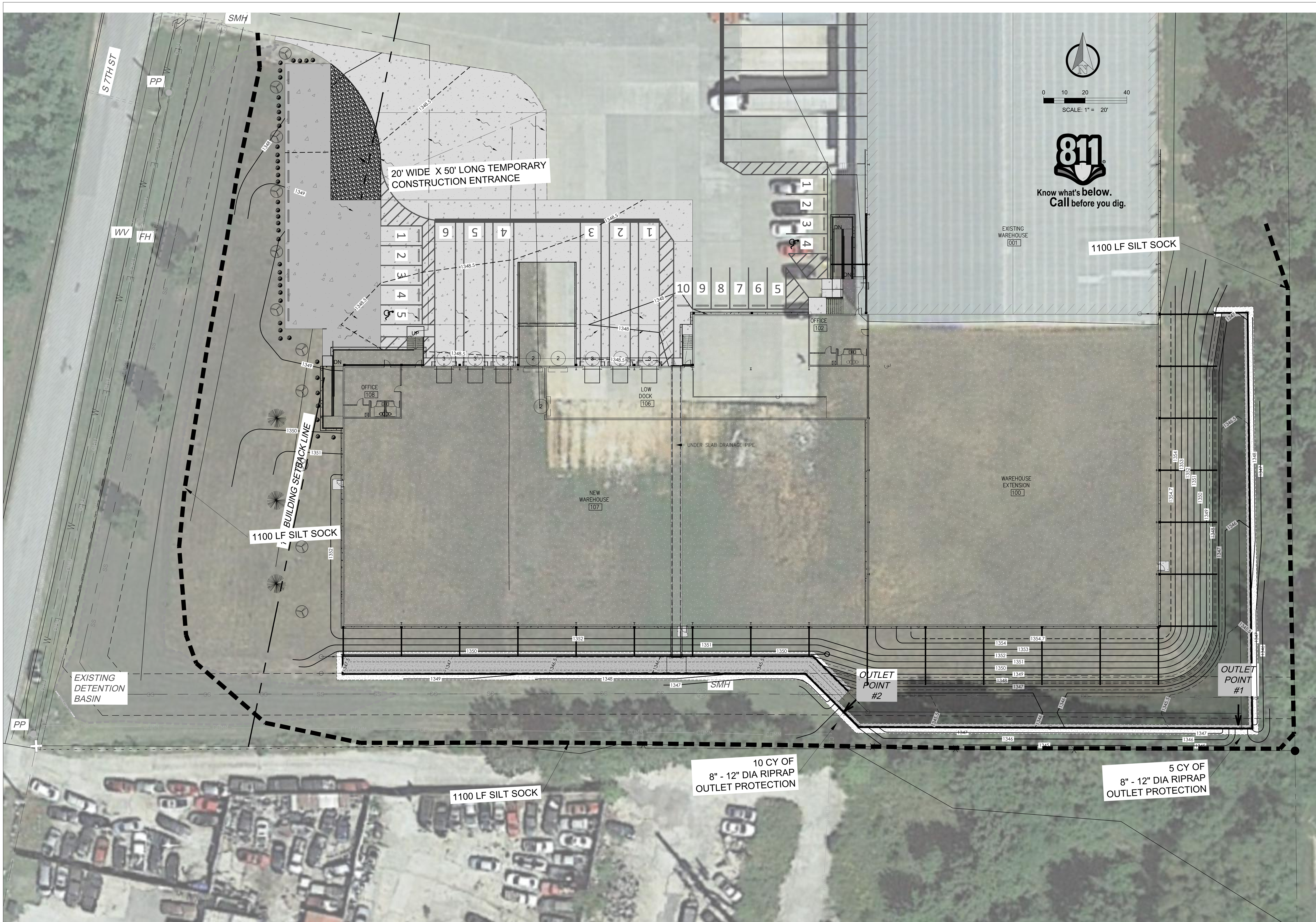
JOHN H. BOLTE
PROFESSIONAL ENGINEER
MO LIC E22511 OK LIC 18035
KS LIC 14094 AR LIC 14310

SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: N.T.S.
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.

SHEET DESC: CONST. DETAILS

SHEET: 9 OF: 13



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FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
EROSION CONTROL PLAN

4/3/24
STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER No. 14310 JOHN H BOLTE

JOHN H. BOLTE
PROFESSIONAL ENGINEER
MO LIC E22511 OK LIC 18035
KS LIC 14094 AR LIC 14310

SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=20'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: EROSION CTRL PLAN

PERVIOUS AREA

IMPERVIOUS AREA

PREDEVELOPED CONDITIONS

DRAINAGE AREA

0 20 40 80

SCALE: 1" = 40'

Know what's **below.**
Call before you dig.

SMALL ARROW ENGINEERING, LLC

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REVISIONS

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FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
EXISTING DRAINAGE AREA EXHIBIT

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14310
JOHN H BOLTE
4/3/24

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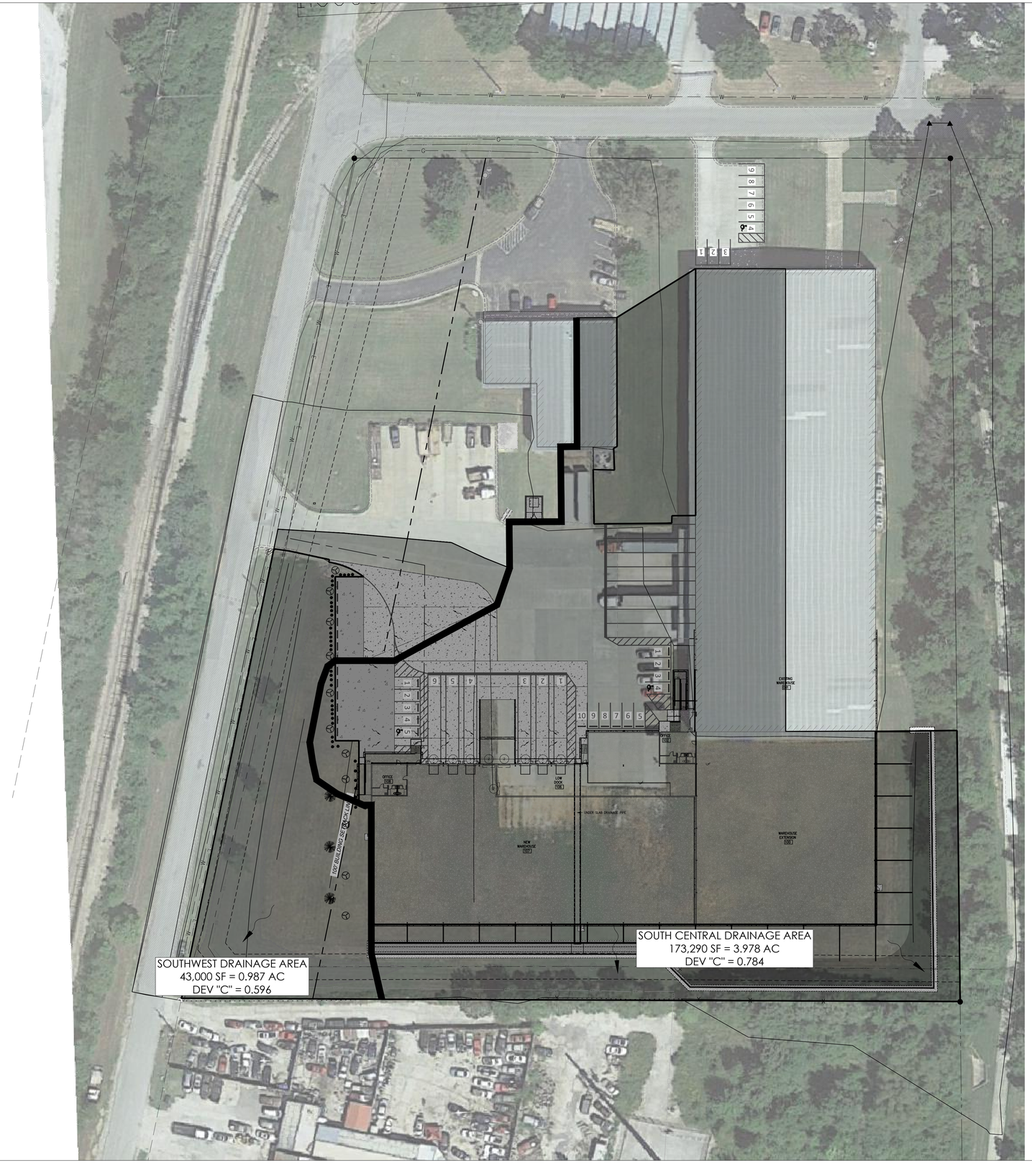
KS LIC 14094 AR LIC 14310

SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=40'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: EXIST DRAIN AREA
SHEET: 11 OF: 13



0 20 40 80

SCALE: 1" = 40'

Know what's **below.**
Call before you dig.

PERVIOUS AREA

IMPERVIOUS AREA

DEVELOPED CONDITIONS

DRAINAGE AREA

SMALL ARROW ENGINEERING, LLC

1302 S. MAIN STREET
PO BOX 1538
JOPLIN, MISSOURI 64802
TEL: 417.624.2333
FAX: 417.624.2441
EMAIL: jbolte@smallarrow.com

SMALL ARROW ENGINEERING, LLC.
CERTIFICATES OF AUTHORIZATION:
MISSOURI: E-2010013647
KANSAS: E-1930
ARKANSAS: 2097
OKLAHOMA: 5937

REVISIONS

NO.	DATE	DESCRIPTION

FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
DEVELOPED DRAINAGE AREA EXHIBIT

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14310
JOHN H. BOLTE
4/3/24

JOHN H. BOLTE
PROFESSIONAL ENGINEER
MO LIC E22511 OK LIC 18035
KS LIC 14094 AR LIC 14310

SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=40'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: PROP DRAIN AREA

SHEET: 12 OF: 13

LANDSCAPING LEGEND

SYMBOL	DESCRIPTION
	REDBUD
	NELLIE STEVENS HOLLY
	BOXWOOD

NOTE: ALL TREE AND SHRUB PLANTINGS SHALL CONFORM TO LOCAL REQUIREMENTS.
MINIMUM 25% OF PLANTINGS SHALL BE TREES (TREES MUST NOT BE OF THE ORNAMENTAL VARIETY.)
MINIMUM 10% OF TREE PLANTINGS SHALL BE EVERGREENS
TREES PLANTED IN THE RIGHT OF WAY MUST BE SELECTED FROM THE CITY OF ROGERS' APPROVED STREET TREE LIST.

N

0 10 20 40

SCALE: 1" = 20'

811 Know what's **below.** **Call** before you dig.

EXISTING WAREHOUSE 001

OFFICE 102

OFFICE 108

LOW DOCK 106

NEW WAREHOUSE 107

WAREHOUSE EXTENSION 100

UNDER SLAB DRAINAGE PIPE

100' BUILDING SETBACK LINE

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REVISIONS

NO.	DATE	DESCRIPTION

FROUD WAREHOUSE EXPANSION
E&S PROPERTIES
2095 & 2097 S 7TH ST
ROGERS, BENTON COUNTY, ARKANSAS 72758
SITE PLAN

4/3/24

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 14310

JOHN H. BOLTE
PROFESSIONAL ENGINEER
MO LIC: E22511 OK LIC: 18035
KS LIC: 14094 AR LIC: 14310

SURVEY BY: ESI
DRAWN: TED CHKD: JHB
SCALE: 1"=20'
PROJECT #: 22238
FILE:
DATE: 4/3/24

PROJECT: WAREHOUSE EXP.
SHEET DESC: SITE PLAN
SHEET: 13 OF: 13