



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

MEETING DATE
AUGUST 13, 2020

TO: BOARD OF ADJUSTMENT

RE: **STAFF SUMMARY REPORT**
VARIANCE – KUM & GO

STAFF: GLORIA GARCIA, PLANNING TECHNICIAN

REQUEST DETAILS

ADDRESS/LOCATION:	200 W. Hudson Rd.
SUBDIVISION:	N/A
CURRENT ZONING:	C-3 (Neighborhood Commercial), Overlay District
APPLICANT/REPRESENTATIVE:	Kum & Go / John Sewell & Dan Garneau
PROPERTY OWNER:	KG Store, LLC
NATURE OF REQUEST:	Approval of Variance
AUTHORITY:	Sec. 14-724, Rogers Code of Ordinances

SUMMARY

This request involves multiple variances to the maximum number and size of proposed wall, canopy, monument, and directional signage. While portions of the request (additional wall and canopy signs) are consistent with previously approved signage, the applicant has not demonstrated any circumstances unique to the individual property where strict enforcement of the zoning (sign) ordinance would cause undue hardship.

Community Development recommends the following actions for each request:

1. **Consider** variance from Sec. 44-9(1) to allow two additional wall signs.
2. **Consider** variance from Sec. 44-9(1) to allow two additional canopy signs on a single canopy face.
3. **Deny** variance from Sec. 44-9(1) to allow 187-sf of additional wall sign area.
4. **Deny** variance from Sec. 44-13 to allow a 14-ft increase in monument sign height.
5. **Deny** variance from Sec. 44-13 to allow 9.67-sf of additional monument sign area.
6. **Deny** variance from Sec. 44-7(7) to allow 1.5-sf of additional sign area per directional sign.

STAFF REVIEW

1. BOARD OF ADJUSTMENT DUTIES PER SEC. 14-724(e)(1):

- a) Hear appeals from the decision of the Department of Community Development in respect to the enforcement and application of the zoning ordinance and the sign permitting provisions contained in Chapter 44, and may affirm or reverse, in whole or in part, said decision of the Department of Community Development; and
- b) Hear requests for variance from the literal provisions of the zoning ordinance in instances where strict enforcement of the zoning ordinance would cause undue hardship due to circumstances unique to the individual property under consideration, and grant such variances only when it is demonstrated that such action will be in keeping with the spirit and intent of the provisions of the zoning ordinance.

2. SUBJECT REQUEST:

- a) A variance from Sec. 44-9(1) to allow two additional wall signs.
- b) A variance from Sec. 44-9(1) to allow two additional canopy signs on a single canopy face.
- c) A variance from Sec. 44-9(1) to allow 187-sf of additional wall sign area.
- d) A variance from Sec. 44-13 to allow a 14-ft increase in monument sign height.
- e) A variance from Sec. 44-13 to allow 9.67-sf of additional monument sign area.
- f) A variance from Sec. 44-7(7) to allow 1.5-sf of additional sign area per directional sign.

3. GENERAL FINDINGS:

- a) This location is allowed two wall signs at a maximum of 50-sf per sign, resulting in a total of 100-sf. The applicant proposes two 72-sf wall signs on the north and east elevations, plus two additional wall signs for customer direction on the north and south elevations at 45-sf and 8-sf, respectively.
- b) Canopy signs are limited to one 12-sf sign per canopy face. This location will feature two fuel canopies; the applicant proposes three 18-sf signs on the eastern face of one canopy, and three signs (two 18-sf, one 10-sf) on the eastern face of the other canopy. Canopy sign area is deducted from total wall sign area.
- c) This location is in the Overlay District which allows one 6-ft tall monument sign at 72-sf maximum area. The applicant requests a 20-ft tall monument sign totaling 81.67-sf.
- d) Directional signage is limited to 3-sf of sign area per sign. The applicant proposes 4.5-sf directional signs.
- e) The applicant has not presented, nor has staff identified, any circumstances unique to the individual property where strict enforcement of the zoning ordinance would cause undue hardship.

4. ZONING:

a) C-3 (Neighborhood Commercial District):

The purpose and intent of the C-3 zoning district is for “areas designated as Neighborhood Centers on the city’s Comprehensive Growth Map. The ideal application of this district is the development of a compact, mixed-use, neighborhood-oriented environment that transitions into lower density residential near Neighborhood Center boundaries. This district allows uses that provide essential goods and services to surrounding neighborhoods in a way that promotes placemaking and pedestrian accessibility. It is also intended to encourage medium-density residential development such as townhomes, bungalow courts, and other multi-unit or attached single-family housing types. Because the permitted non-residential uses are intended to be integral to the functions of a neighborhood, emphasis is placed on design and neighborhood compatibility.

5. PUBLIC INPUT RECEIVED:

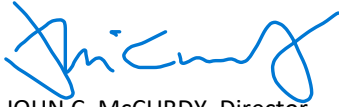
Staff has not received any comments from the public regarding this request.

6. RECOMMENDATIONS:

- a) **Consider** variance from Sec. 44-9(1) to allow two additional wall signs.
- b) **Consider** variance from Sec. 44-9(1) to allow two additional canopy signs on a single canopy face.
- c) **Deny** variance from Sec. 44-9(1) to allow 187-sf of additional wall sign area.
- d) **Deny** variance from Sec. 44-13 to allow a 14-ft increase in monument sign height.
- e) **Deny** variance from Sec. 44-13 to allow 9.67-sf of additional monument sign area.
- f) **Deny** variance from Sec. 44-7(7) to allow 1.5-sf of additional sign area per directional sign.

DIRECTOR'S COMMENTS

1. Agree with recommendations.



JOHN C. McCURDY, Director
Community Development

SUGGESTED MOTIONS

1. IF APPROVING AS PRESENTED:
Move to approve the request as presented.
2. IF APPROVING SUBJECT TO OTHER ACTIONS:
Move to approve the request subject to [conditions or contingencies].
3. IF DENYING:
Move to deny the request as presented.
4. IF TABLING:
Move to table the request as presented [indefinite or date certain].

TABS

1. Vicinity map (aerial)
2. Variance application with required supplements

AERIAL VICINITY MAP





DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

OFFICE USE ONLY

Permit Fee: _____ (\$100)

Zoning: _____

App Number: _____

CityView Application: _____

Date: _____

VARIANCE APPLICATION

APPLICANT: KG Store, LLC.

ADDRESS: 1459 Grand Ave., Des Moines, IA 50309 SUITE #: _____

GENERAL LOCATION OF PROPERTY: 200 W. Hudson Road, Rogers, AR 72756

PHONE #: 515-457-6392 EMAIL: Dan.Garneau@kumandgo.com

PROPERTY OWNER: KG Store, LLC. PHONE #: 515-457-6392

NATURE OF APPEAL:

- ☐ Appeal from decision of enforcement officer
- ☒ Variance from zoning ordinance

EXPLAIN REQUEST: Request for additional building/canopy signs, increase in allowable signage area and increase in maximum allowable height of monument sign. See attached letter for variance requests.

July 23, 2020

Applicant Signature

Date

Attachment Checklist:

- ☒ Letter explaining hardship or reason for request
- ☒ Legal description of property
- ☒ Relevant supporting documents
- ☒ Survey or sign proofs as needed

PLANNING STAFF PROVIDES:

DATE FILED: _____ PUBLIC HEARING DATE: _____

BOARD OF ADJUSTMENT DECISION: _____

SECRETARY, BOARD OF ADJUSTMENT

DATE



**SEWELL INSPECTIONS,
TESTING & ENGINEERING**

PO Box 22651
Nashville, TN 37202
270-779-3161

Application for Signage Variance
Kum & Go Store #429
200 W. Hudson Road
Rogers, AR 72756

July 27, 2020

This letter is to provide a statement as to the nature and intent of the variance that is being requested by Sewell Inspections, Testing & Engineering (SITE) on behalf of the owner, Kum & Go, for the Kum & Go Store #429 located at 200 W. Hudson Road, Rogers, AR 72756 (Kum & Go). John Sewell will represent SITE and Kum & Go for all purposes relative to this variance application.

PURPOSE OF THE REQUEST:

Kum & Go has a company wide standard sign package that they utilize at all new store locations being constructed. They currently construct between 25-30 stores per year with approximately 400 stores total across 11 states. The sign package was produced to provide consistency, identify services, better wayfinding for customers.

SPECIFIC SECTION OF THE ZONING CODE IN QUESTION:

44-7.7 Directional Signs: Directional signs can have a maximum height of 4 feet and maximum area of 3 sq. ft.

44-9 C-3 Wall Signs: In the C-3 District wall signage allowed is 1 sign per street frontage with a maximum of 50 sq. ft. allowed sign area.

44-9 C-3 Canopy Signs: In the C-3 District canopy signage allowed is 1 sign per canopy face with a maximum of 12 sq. ft. allowed sign area. This area shall be deducted from the total allowable sign area of 50 sq. ft.

44-9 C-3 Monument Sign: In the C-3 District Overlay District monument sign allowed is 1 – 6ft. tall with a maximum of 40 sq. ft. allowed sign area.

VARIANCE REQUEST:

We respectfully request a variance for directional signs to have a sign area of 4.5 sq. ft. for 3 directional signs. The signs are oval in shape and the actual size of the sign is 3.6 sq. ft. These are prototypical signs that Kum & Go uses at other locations to provide a consistent look between stores.

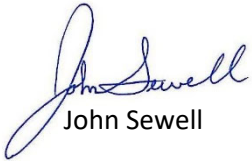
We also respectfully request a variance for 1 additional building sign on the front side (North) of the building facing W. Hudson Road and 1 additional sign on the rear side (South) of the building. The sign on the front side is for the Go Fresh Market food portion of the Kum & Go store. The Go Fresh Market is like the McDonalds across W. Hudson Rd. in the Citgo convenience store which has separate signage than the convenience store. This additional signage allows for customers to be aware that fresh food is prepared and served at this Kum & Go location which is not offered at older Kum & Go store locations. The sign at the rear of the store is above the rear door to provide direction to diesel truck customers they can enter the door at this location and not have to walk around the building to the front entrance.

We also respectfully request a variance for 2 additional canopy signs on the front side (East) of the diesel canopy facing N. Second Street. The code allows for one sign per canopy face so a total of 4 signs for this fuel canopy is allowed. We are requesting that 3 signs be allowed on the east side and 1 sign on the west side. The 3 signs on the east side would be the Kum & Go logo, DEF All Lanes and ENTER. The 2 additional signs on this side of the canopy are to for wayfinding for diesel truck customers. They identify to diesel trucks the side of the canopy to enter for fueling and that DEF is provided in all of the fueling lanes.

We also respectfully request a variance for a total wall signage area of 287 sq. ft. which is an additional wall signage area of 187 sq. ft. more than the allowable 100 sq. ft. The 287 sq. ft. additional is based on calculating the sign areas with rectangles as required by code. The actual additional sign area is 236.44 sq. ft. because a majority of the signs are oval in shape because that is the shape of the Kum & Go logo. The additional sign area is to identify the products offered at this location and also to help with wayfinding for customers utilizing the Kum & Go standard signs which provide consistency between stores.

Lastly, we respectfully request a variance to allow a 20 ft. tall monument sign with a sign area of 81.67 sq. ft. The property was previously zoned C-2 and the surrounding property is zoned C-2 which allows for a freestanding sign 24 ft. in height and sign area of 150 sq. ft. This site is located at a busy intersection which Arkansas Department of Transportation is planning on upgrading to a roundabout. This will push vehicle traffic from each direction further from the center of the intersection which will decrease visibility to signage at the site. The taller monument sign will allow for customers to see the sign from across the large roundabout.

Please see attached exhibits, building elevations and site plan for sign locations and sizes.



John Sewell

7.22	METAL FASCIA PANEL; COLOR: TBL BLACK
7.25	METAL COLUMN COVER; COLOR: SILVER METALLIC
10.21	SIGNAGE PROVIDED BY OWNER, GC TO PROVIDE BLOCKING TO EXTENTS
10.80	ENTER WHITE ADHESIVE VINYL SIGN TO BE PROVIDED BY CANOPY VENDOR; FONT: ARIAL REGULAR; LETTERS SHALL BE 12" HIGH
10.81	EXIT WHITE ADHESIVE VINYL SIGN TO BE PROVIDED BY CANOPY VENDOR; FONT: ARIAL REGULAR; LETTERS SHALL BE 12" HIGH
10.82	CLEARANCE 16'-0" WHITE ADHESIVE VINYL SIGN TO BE PROVIDED BY CANOPY VENDOR; FONT: ARIAL REGULAR; LETTERS SHALL BE 4" HIGH

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Issues & Revision

[illegible]

Project Name

KUM & GO
#0429

Project Address

200 W HUDSON RD
ROGERS, AR



Project Manager:

VM

Section 27.

Drawn by:

document date:

3/12/20

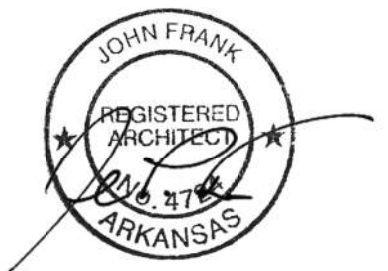
Project No.

3104290

Project Phase

ROTO LEFT DOOR

Professional Sea



John P. Fran

03/11/20

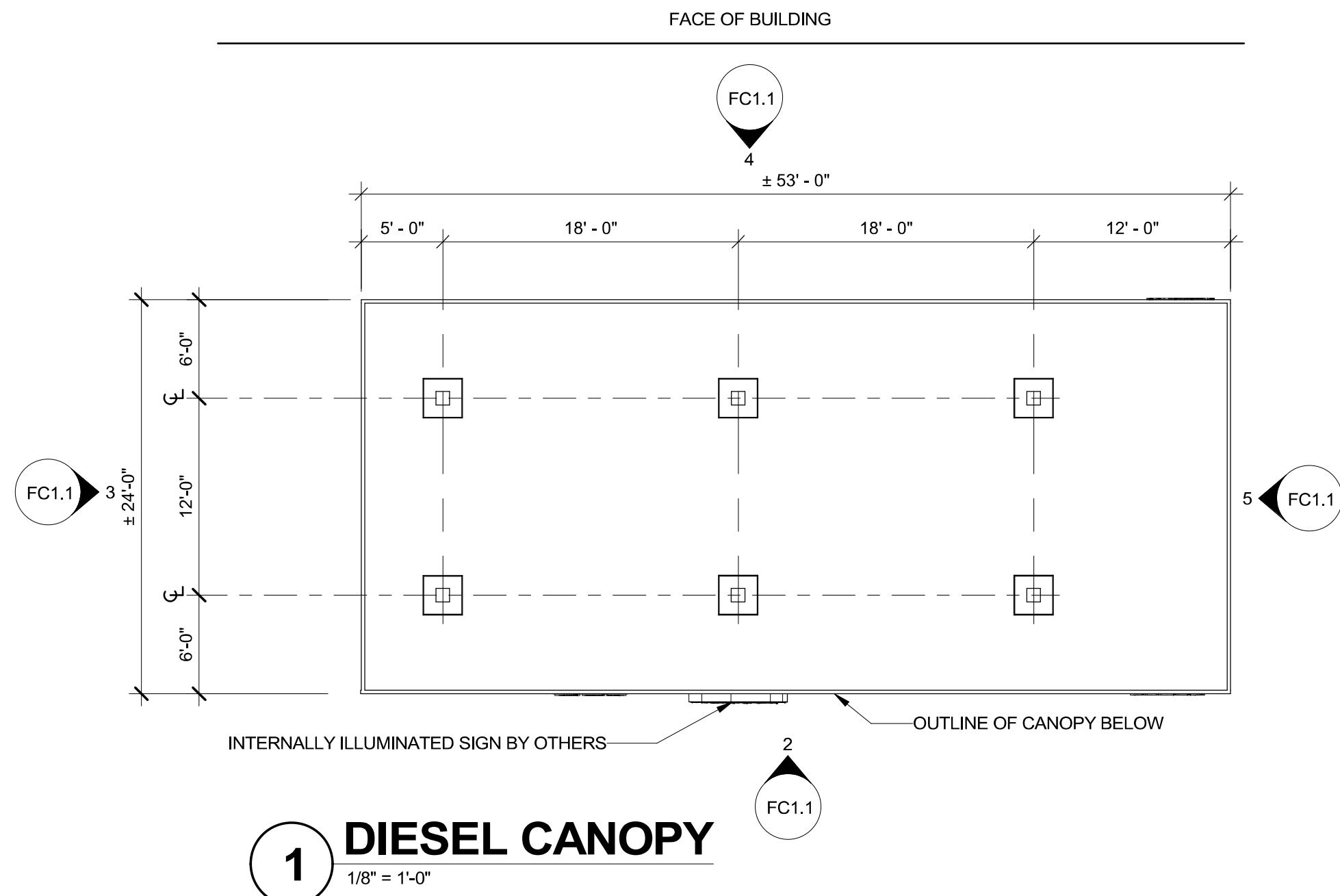
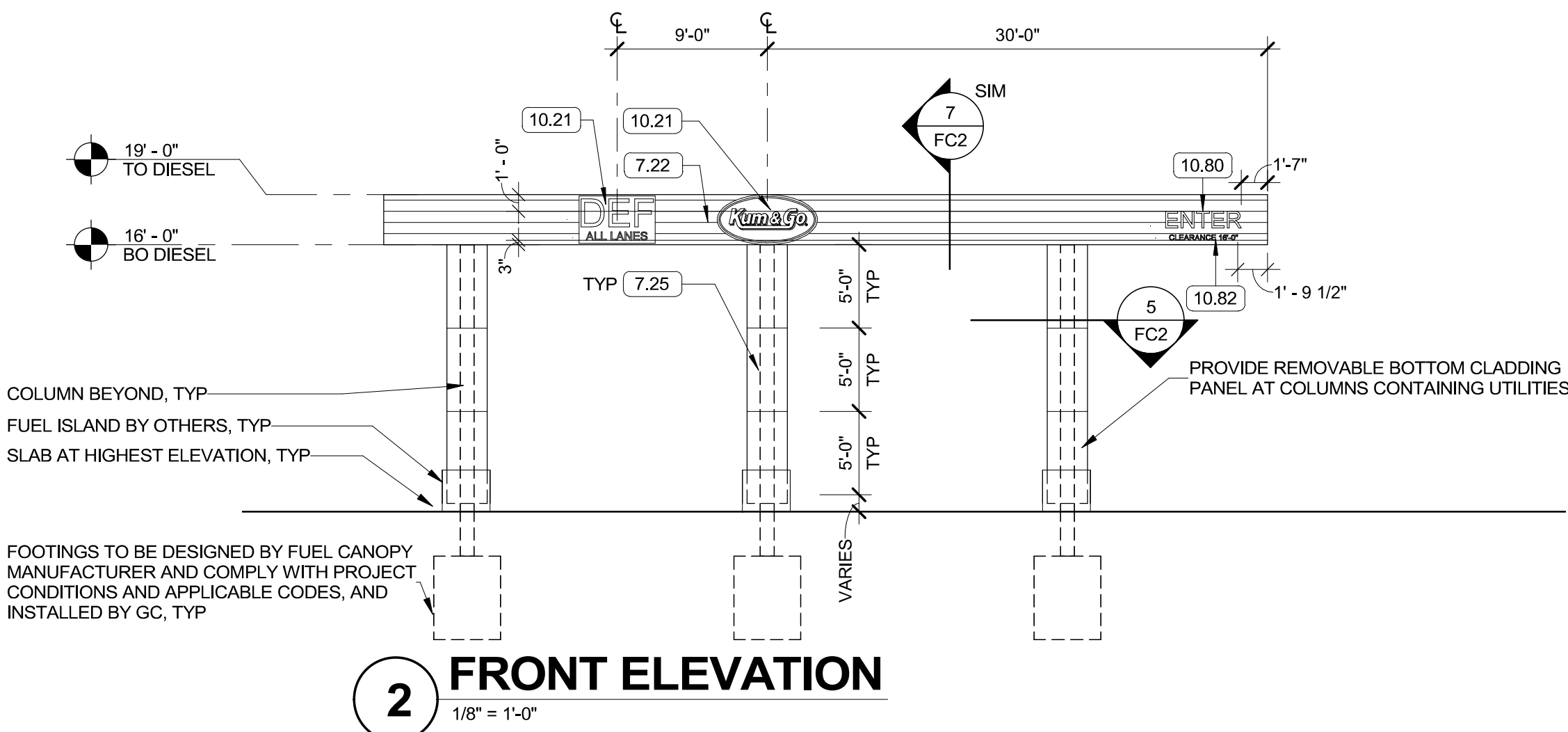
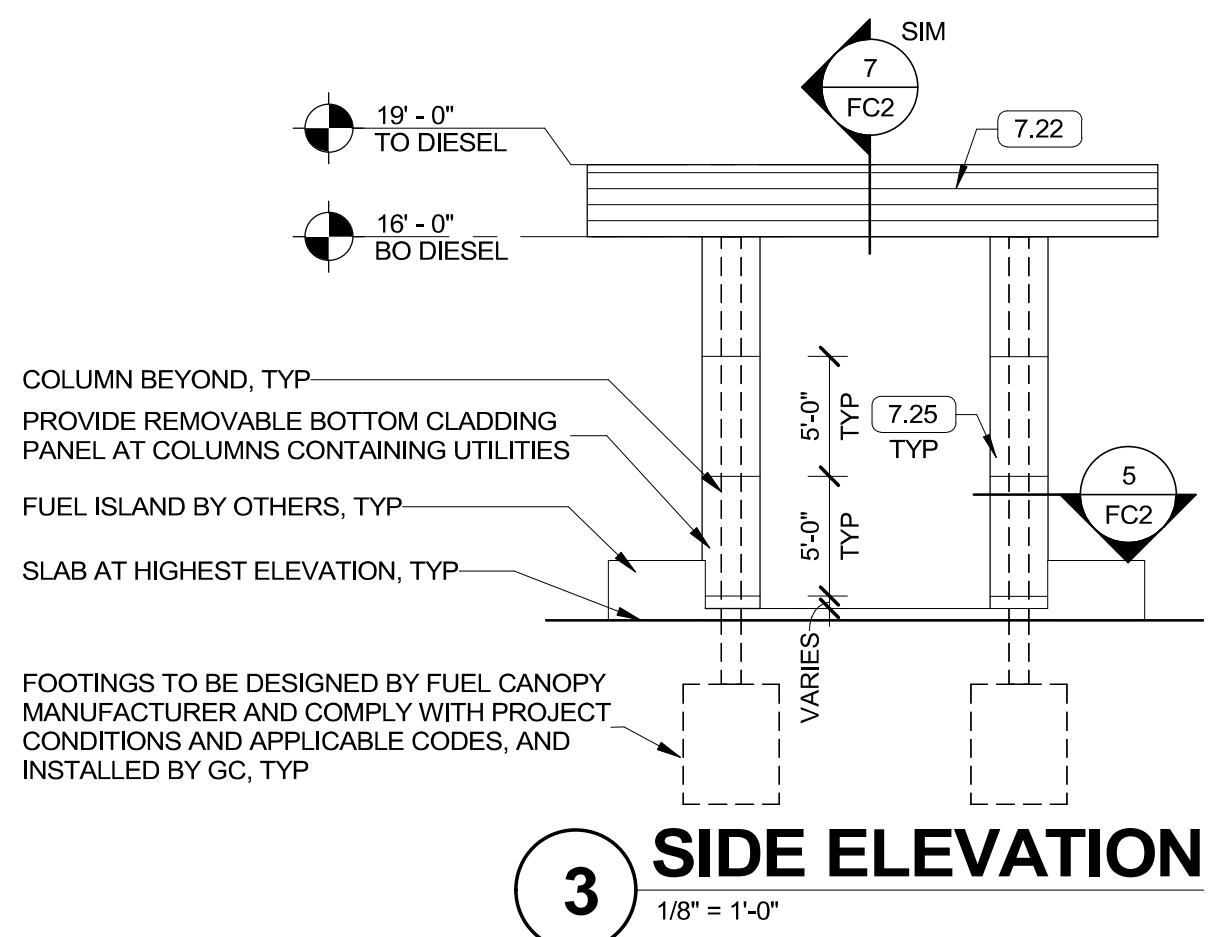
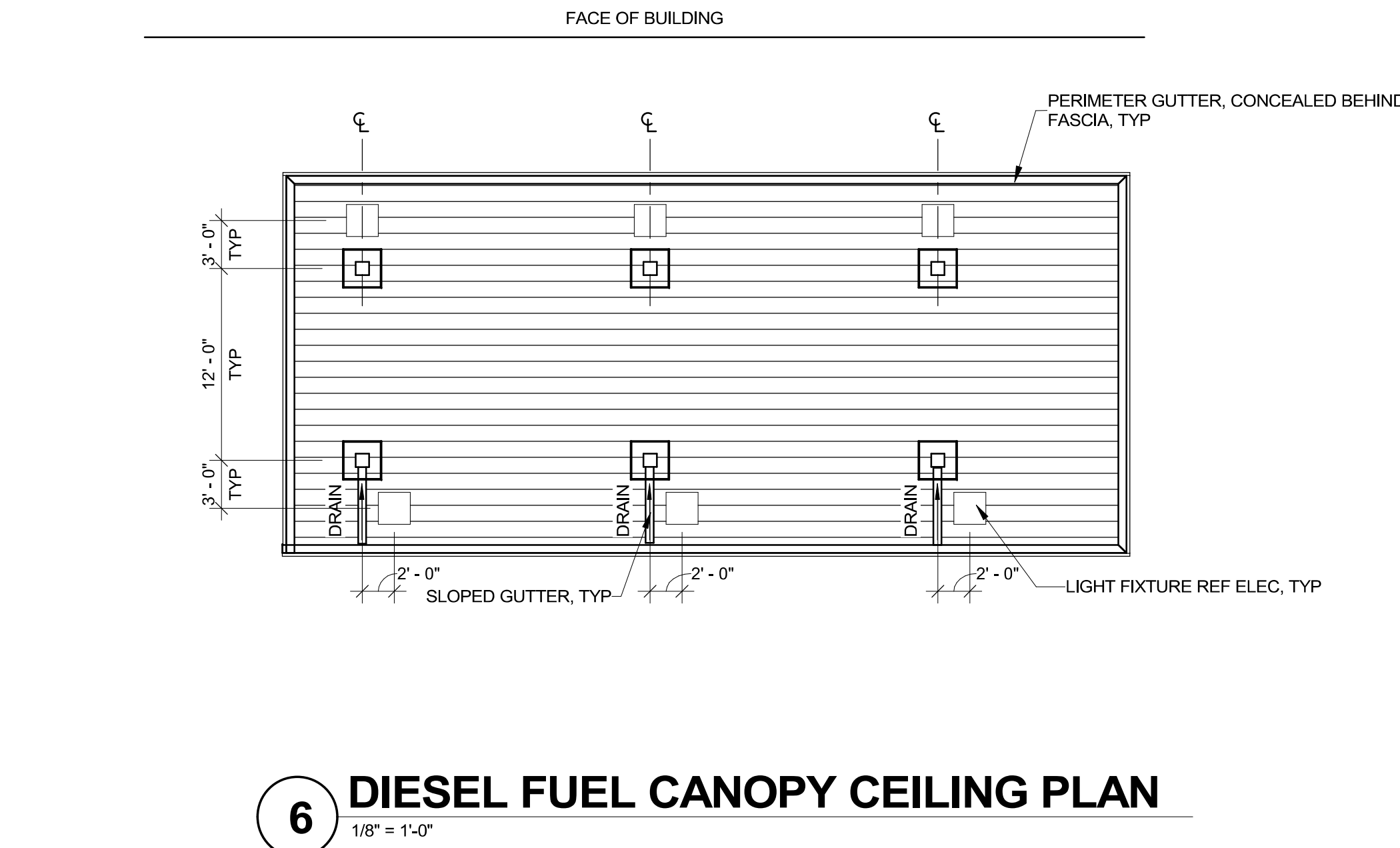
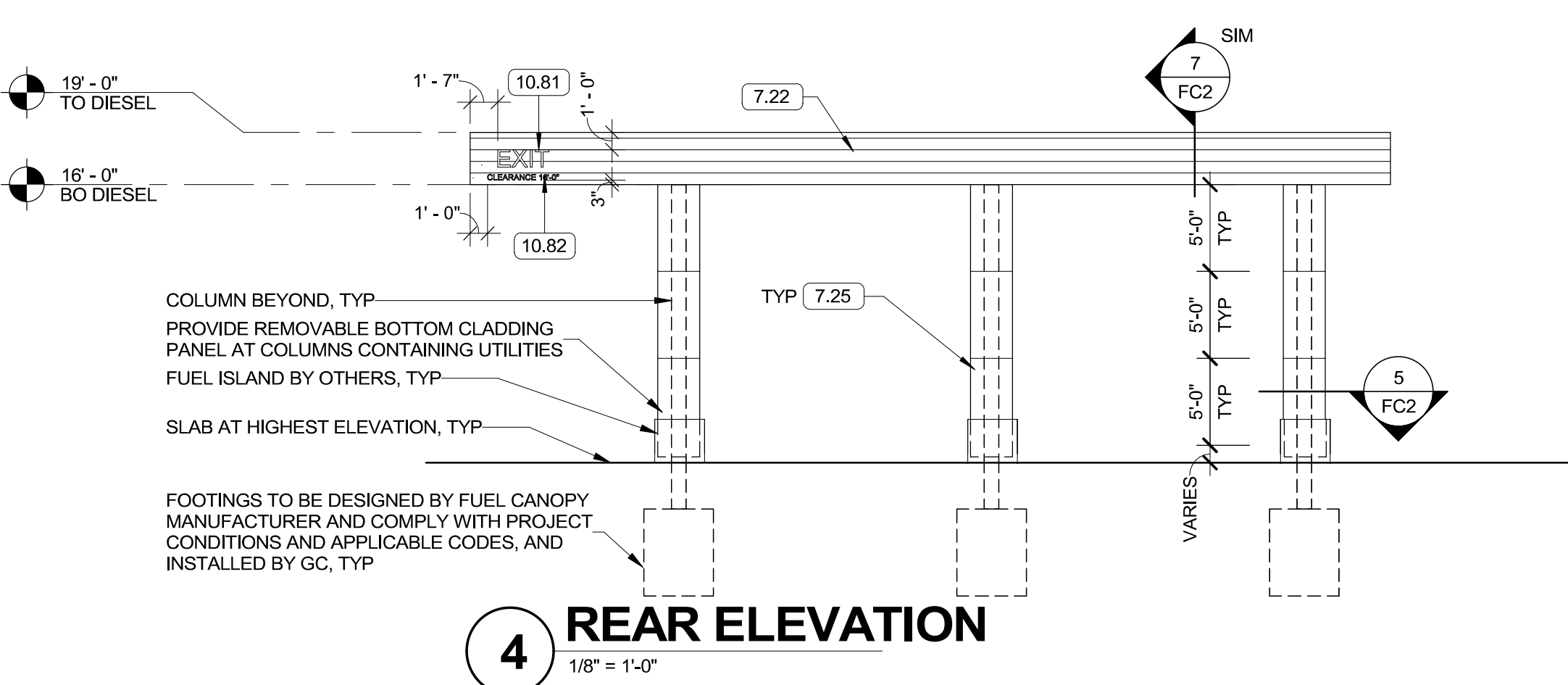
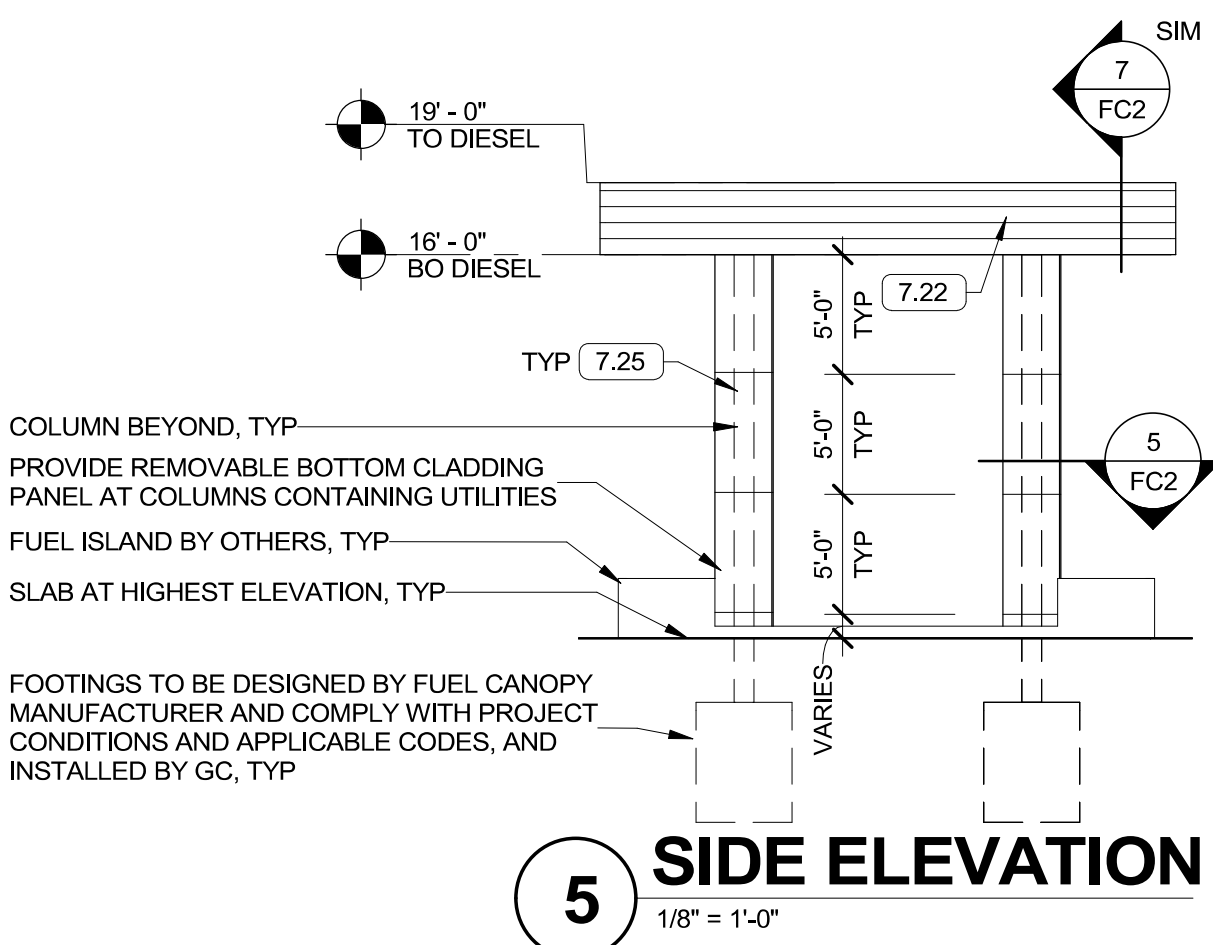
Sheet Title

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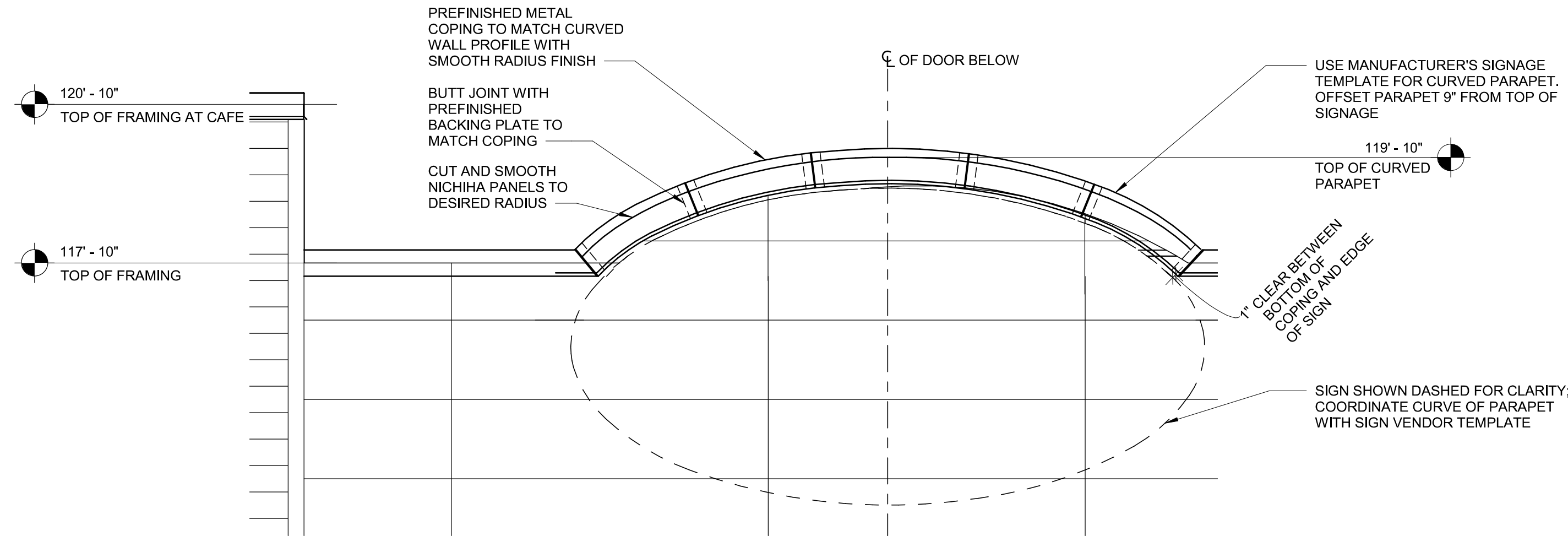
need

FC1.1

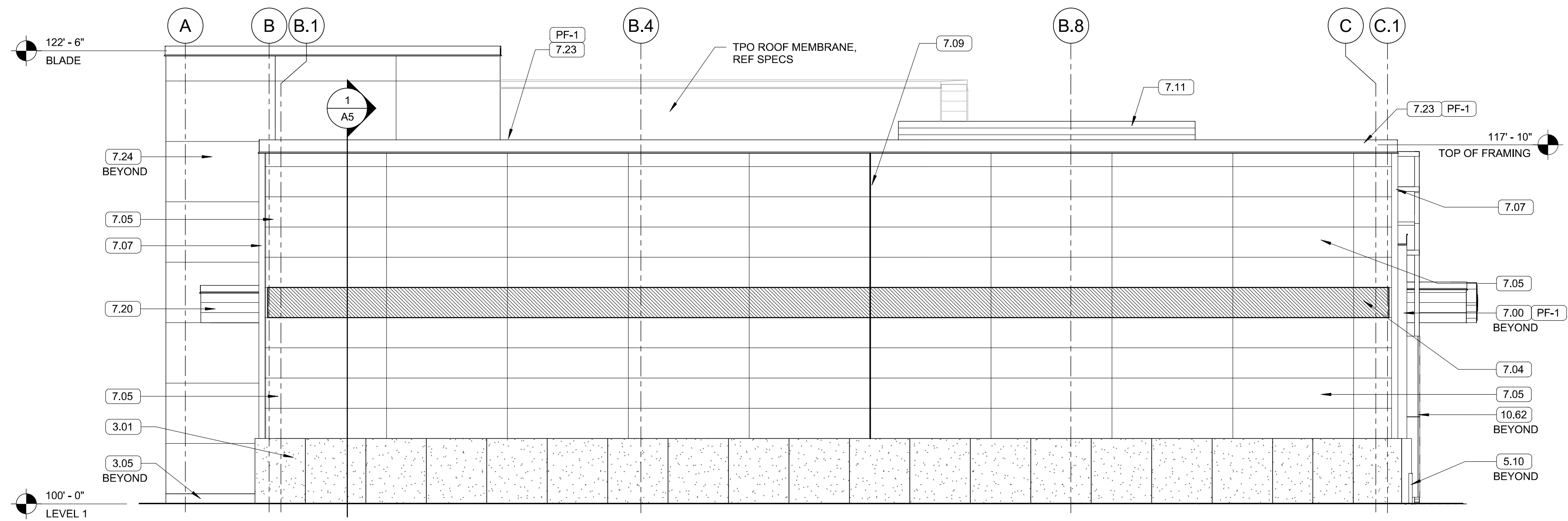
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3/10/2020 10:47:10 AM



3 ENLARGED FRONT ELEVATION
1/2" = 1'-0"



PF-1	SHASTA WHITE
PF-3	CHARCOAL GRAY

PF-1	SHASTA WHITE
PF-3	CHARCOAL GRAY

3.01	C&T STONE PANEL
3.05	CONCRETE CURB
5.10	GALVANIZED GUARD BY VESTIL MANUFACTURING, MODEL NUMBER G8-18; OWNER FURNISHED, CONTRACTOR INSTALLED
7.00	6" PREFINISHED ALUMINUM DOWNSPOUT
7.02	6"x6" PREFINISHED METAL GUTTER
7.04	NICHIA FIBER CEMENT PANEL, ILLUMINATION SERIES: 18"x6"-0" PANEL, COLOR: MATCH SHERWIN WILLIAMS "REPOSE GRAY", OFCI
7.05	NICHIA FIBER CEMENT PANEL, ILLUMINATION SERIES: 18"x6"-0" PANEL, COLOR: MATCH SHERWIN WILLIAMS "EIDER WHITE", OFCI
7.06	NICHIA FIBER CEMENT PANEL, VINTAGEWOOD 18"x10"-0" PANEL, COLOR: CEDAR, OFCI
7.07	NICHIA FIBER CEMENT CORNER TRIM, TO MATCH ADJACENT PANELS, OFCI
7.09	CONTROL JOINT EVERY 30'-0" AS NEEDED PER MANUFACTURER'S RECOMMENDATION, CAULKING TO MATCH ADJACENT WALL
7.11	6'-0" HIGH METAL MECHANICAL UNIT SCREEN; COLOR: WHITE
7.20	METAL FASCIA PANEL WITH MATCHING PREFINISHED METAL COPING; COLOR: CLEAR ANODIZED ALUMINUM
7.23	PREFINISHED METAL COPING
7.24	PREFINISHED ALUMINUM COMPOSITE PANEL WITH MATCHING COPING; COLOR: TOR RED ALUMINUM STOREFRONT; COLOR: CLEAR ANODIZED
8.02	ALUMINUM WRAPE IN BRAKE METAL; COLOR: CLEAR ANODIZED
10.21	SIGNAGE PROVIDED BY OWNER, GC TO PROVIDE BLOCKING TO EXTENTS
10.62	FIXED ROOF LADDER WITH SECURITY DOOR

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Issues & Revision

[illegible]

Project Name

KUM & GO
#0429

Project Address

200 W HUDSON RD
ROGERS, AR



Project Manager:

VM
Applied Bus

+

VM

Document date:
2/12/2020

—

Object No.

5261256

Object Phase

100 100 100



John P. Fran

03/11/20

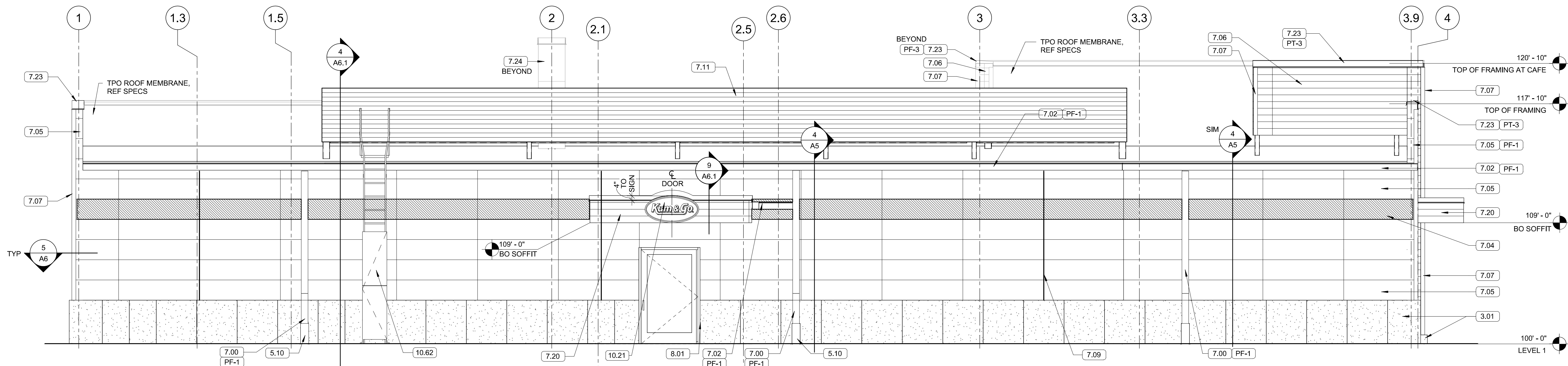
Sheet Title

EXTERIOR ELEVATIONS

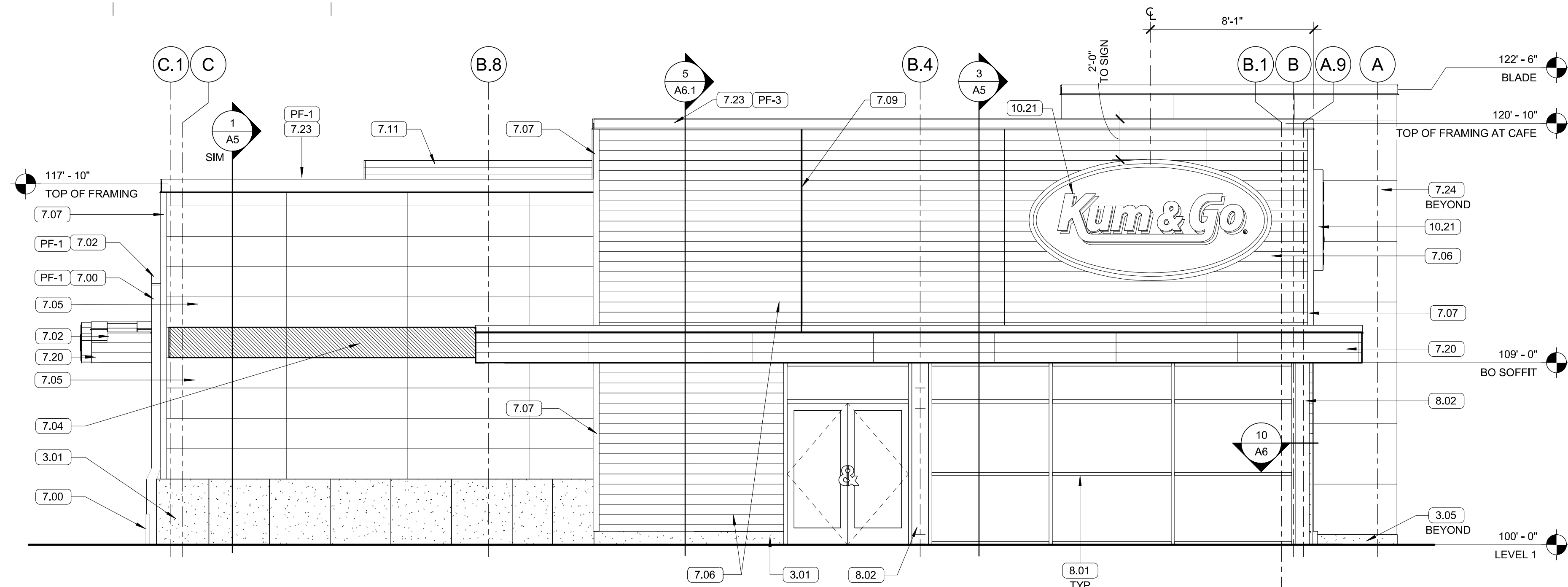
Sheet No

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BRR Original printed on recycled paper



2 REAR ELEVATION



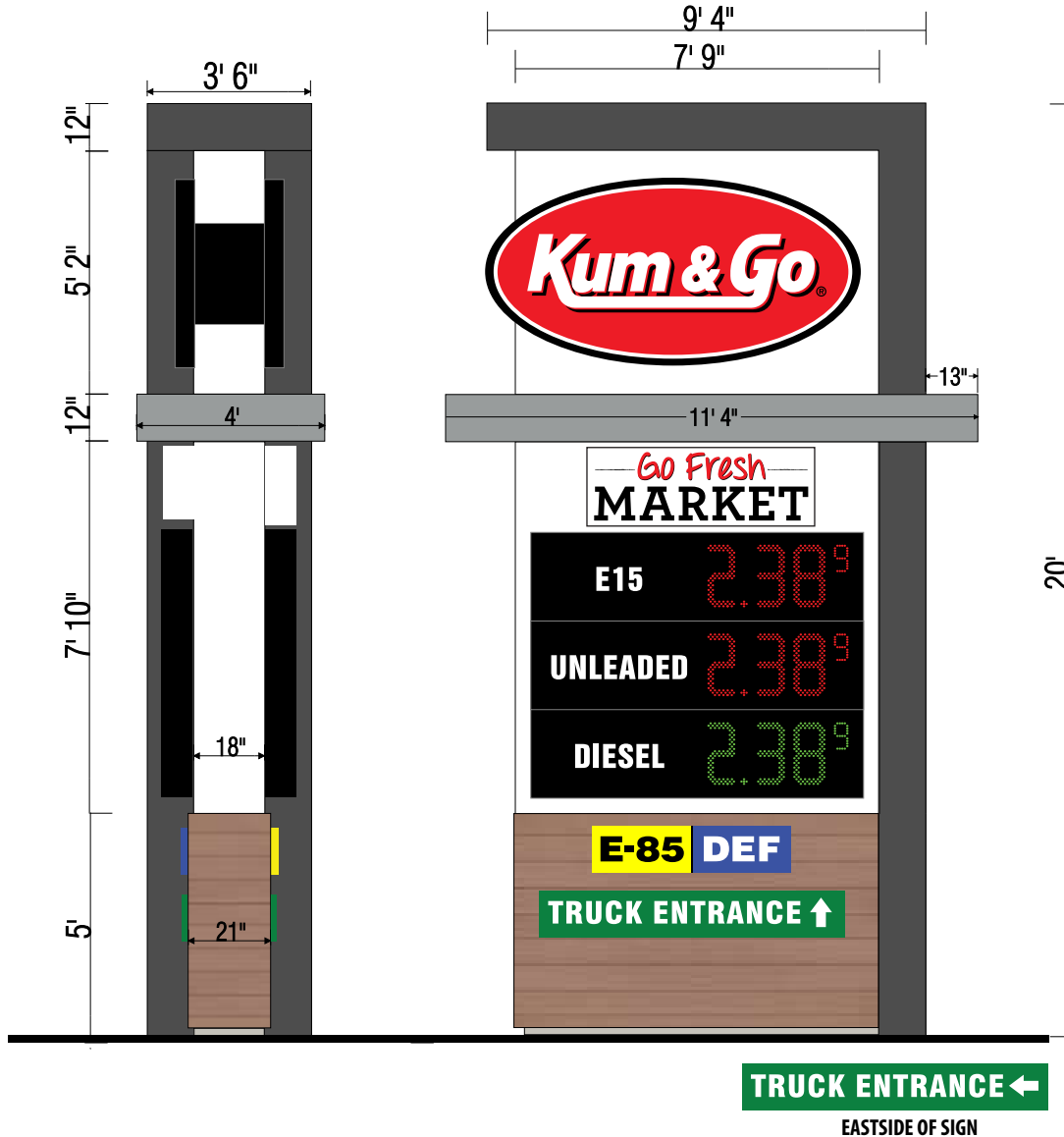
1 SIDE ELEVATION

3/10/2020 10:47:13 AM



ROGERS, AR

#429 - 20' MONUMENT



4' X 8' KUM & GO - AREA: 25.12 SQ FT
 1' 8" X 4' 10" GO FRESH MARKET - AREA: 8.05 SQ FT
 5' 7 5/8" X 7' 1" GAS PRICE SIGN - AREA: 39.92 SQ FT
 1' x 2' 1" E-85 - AREA: 2.08 SQ FT
 1' x 6'-6" TRUCK ENTRANCE w/ ARROW AREA: 6.5 SQ FT



1225 North Lansing Avenue
 Tulsa, Oklahoma 74106
 ph: 918.587.7171
 fax: 918.587.7176
 web: cnfsigns.com

PROJECT/CLIENT NAME:
KUM & GO #429

DATE OF ORIGINAL DWG:
 MARCH 5, 2018

LOCATION:
 200 W. HUDSON RD.
 ROGERS, AR

DESIGNER:
 TERRY HOWARD

SIGN TYPE/DESCRIPTION:
 20' MONUMENT ID SIGN

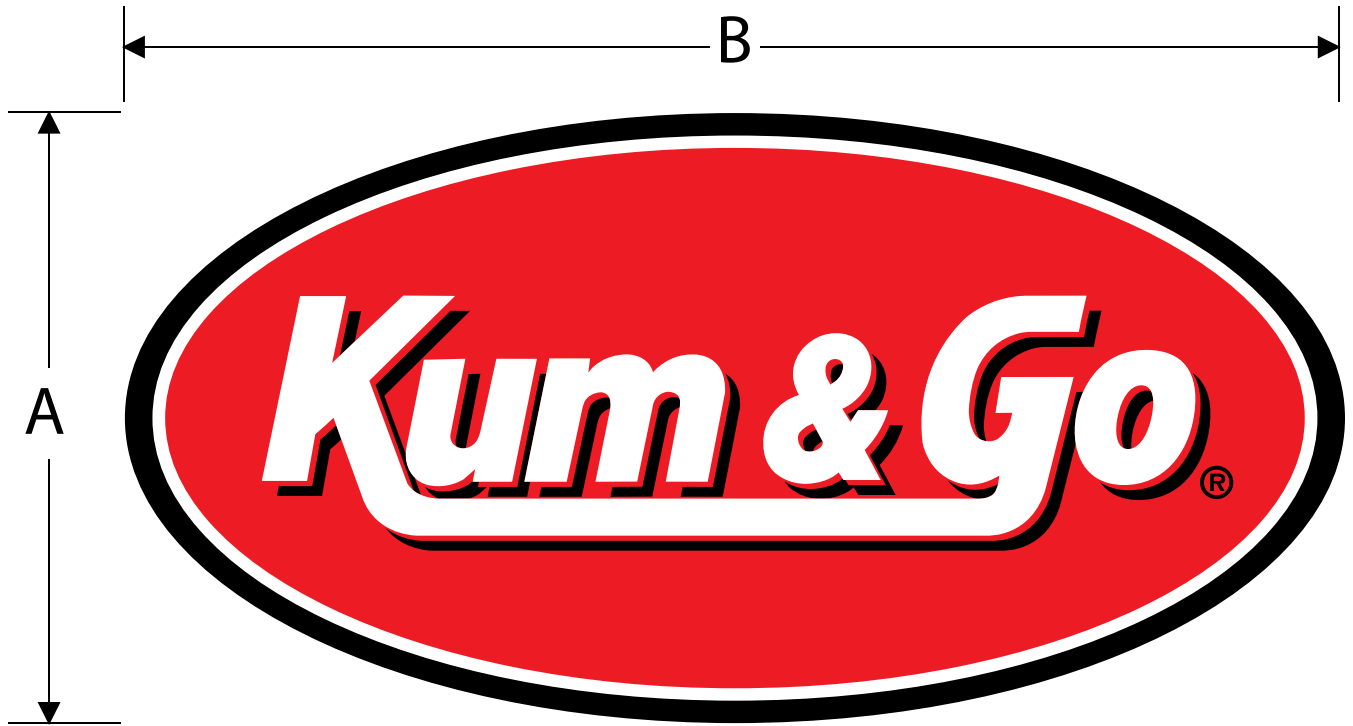
SCALE:
 1/4" = 1'-0"

SHEET NAME:

KG-20.0



2' x 4' OVAL CANOPY SIGN



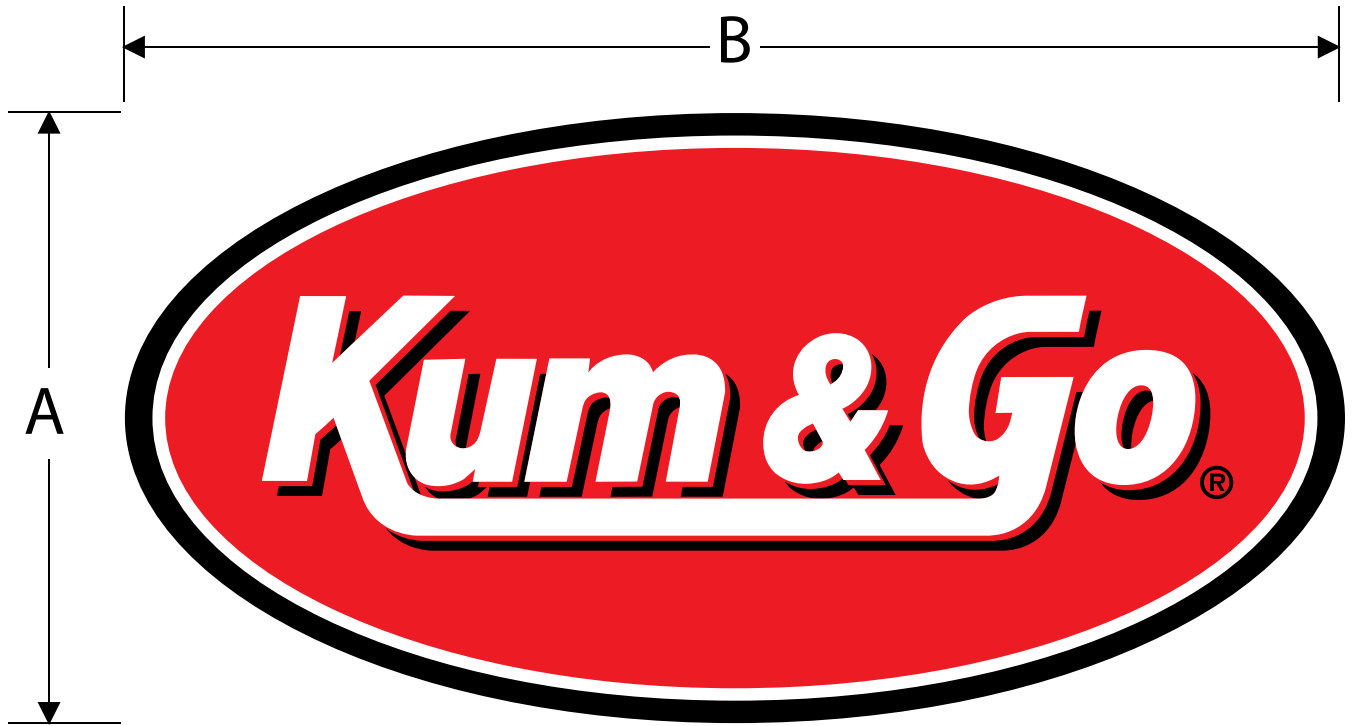
A - HEIGHT	B - WIDTH	○ AREA	■ AREA
2 FT	4 FT	6.4 SQ FT	8 SQ FT

TYPICAL CONSTRUCTION OF KUM & GO FLEX FACE OVAL:

- FLEX FACE WITH DIGITAL PRINT UV Coating
- ALUMINUM CABINET BLEED FACE RETAINER PAINTED BLACK
- INTERNAL LED ILLUMINATION UL WIRED



3' x 6' OVAL CANOPY SIGN



A - HEIGHT	B - WIDTH	AREA	AREA
3 FT	6 FT	14.4 SQ FT	18 SQ FT

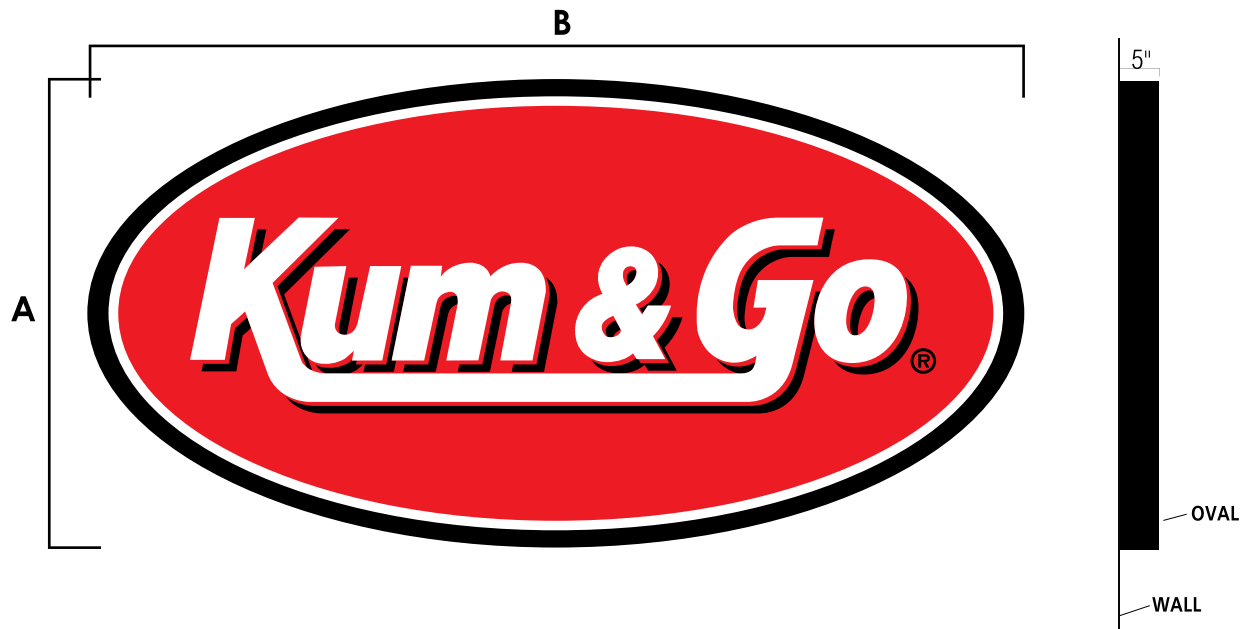
TYPICAL CONSTRUCTION OF KUM & GO FLEX FACE OVAL:

- FLEX FACE WITH DIGITAL PRINT UV Coating
- ALUMINUM CABINET BLEED FACE RETAINER PAINTED BLACK
- INTERNAL LED ILLUMINATION UL WIRED





6' x 12' OVAL WALL SIGN



OVAL MEASUREMENTS & SQUARE FOOTAGES

A - HEIGHT	B - WIDTH	AREA	AREA
6 FT	12 FT	56.52 SQ FT	72 SQ FT

TYPICAL CONSTRUCTION:

- FLEX FACE WITH DIGITAL PRINT UV Coating
- ALUMINUM CABINET BLEED FACE RETAINER PAINTED BLACK
- INTERNAL LED ILLUMINATION UL WIRED
- PMS 200 (RED)



5' x 9' GO FRESH BUILDING SIGN



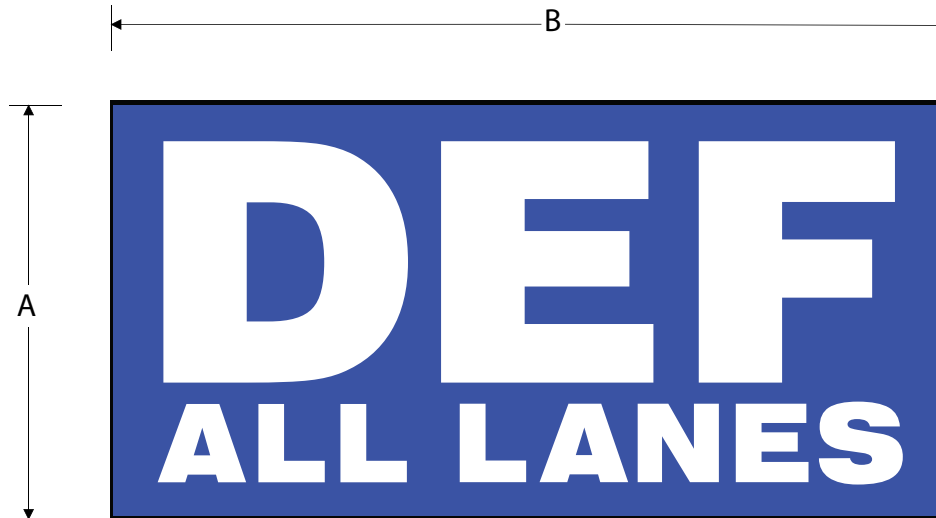
A - HEIGHT	B - WIDTH	AREA
5 FT	9 FT	45

TYPICAL CONSTRUCTION OF MARKET FRESH SIGNS:
<ul style="list-style-type: none"> ▪ FLEX FACE WITH DIGITAL PRINT UV Coating ▪ ALUMINUM CABINET BLEED FACE RETAINER PAINTED BLACK ▪ INTERNAL LED ILLUMINATION UL WIRED ▪ PMS 200 (RED)







3' x 6' DEF CANOPY SIGN



3' x 6' LIGHTED CANOPY SIGN

A - HEIGHT	B - WIDTH	 AREA	 AREA
3 FT	6 FT	14.4 SQ FT	18 SQ FT

TYPICAL CONSTRUCTION OF KUM & GO FLEX FACE OVAL:

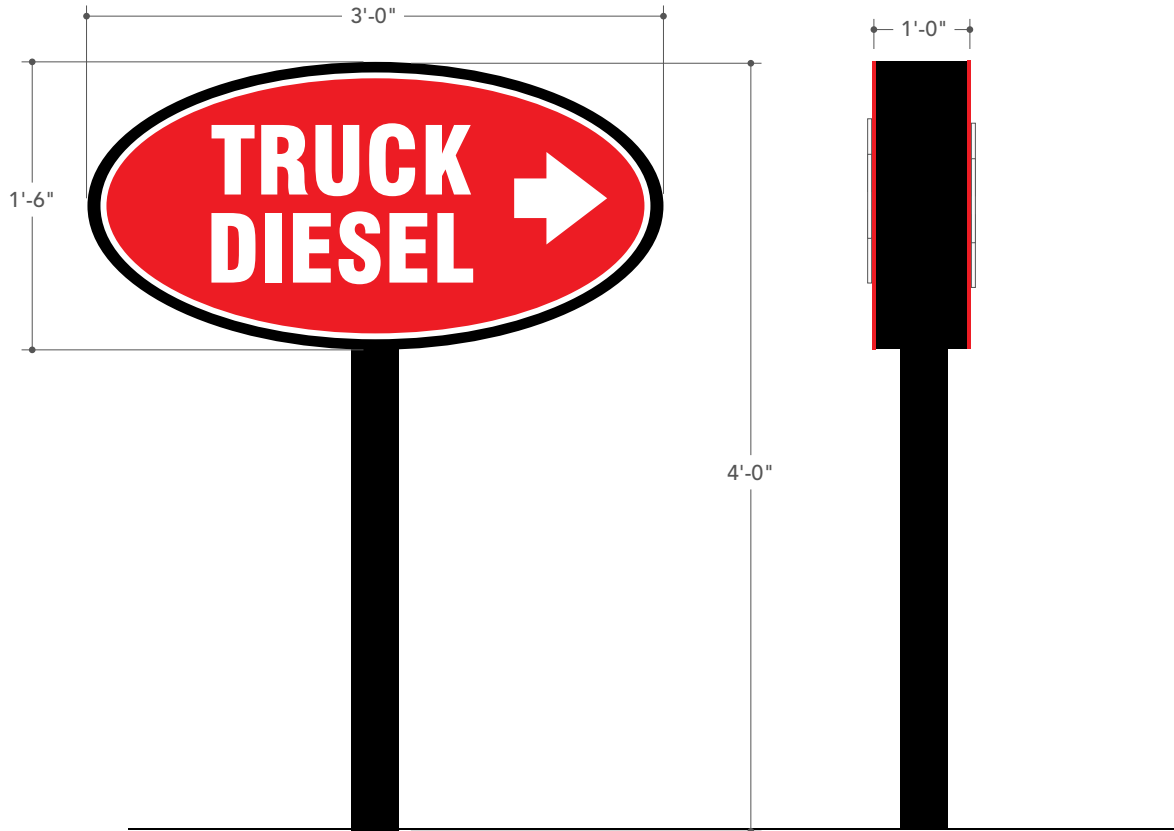
- FLEX FACE WITH DIGITAL PRINT UV Coating
- ALUMINUM CABINET BLEED FACE RETAINER PAINTED BLACK
- INTERNAL LED ILLUMINATION UL WIRED



ROGERS, AR

#429 DIRECTIONAL SIGN

1 of 3



A - HEIGHT	B - WIDTH	● AREA	■ AREA
1'-6" FT	3 FT	3.6 SQ FT	4.5 SQ FT

TYPICAL CONSTRUCTION OF KUM & GO DIRECTIONAL OVAL:

- DOUBLE SIDED
- PAINTED PANFORMED POLYCARBONATE FACE W/ EMBOSSED GRAPHICS
- INTERNAL WHITE LED LIGHTING UL WIRED
- FABRICATED ALUMINUM CABINET
- 3" x 3" STEEL SQUARE TUBE SUPPORT
- DIRECT BURY FOOTING
- PMS 200 (RED)



BACK OF SIGN COPY



1225 North Lansing Avenue
Tulsa, Oklahoma 74106
ph: 918.587.7171
fax: 918.587.7176
web: cnfsigns.com

PROJECT/CLIENT NAME:
KUM & GO #429

DATE OF ORIGINAL DWG:
MARCH 5, 2020

LOCATION:
**200 W. HUDSON RD.
ROGERS, AR**
DESIGNER:
TERRY HOWARD

SIGN TYPE/DESCRIPTION:
MONUMENT ID SIGN

SCALE:
1" = 1'-0"

SHEET NAME:

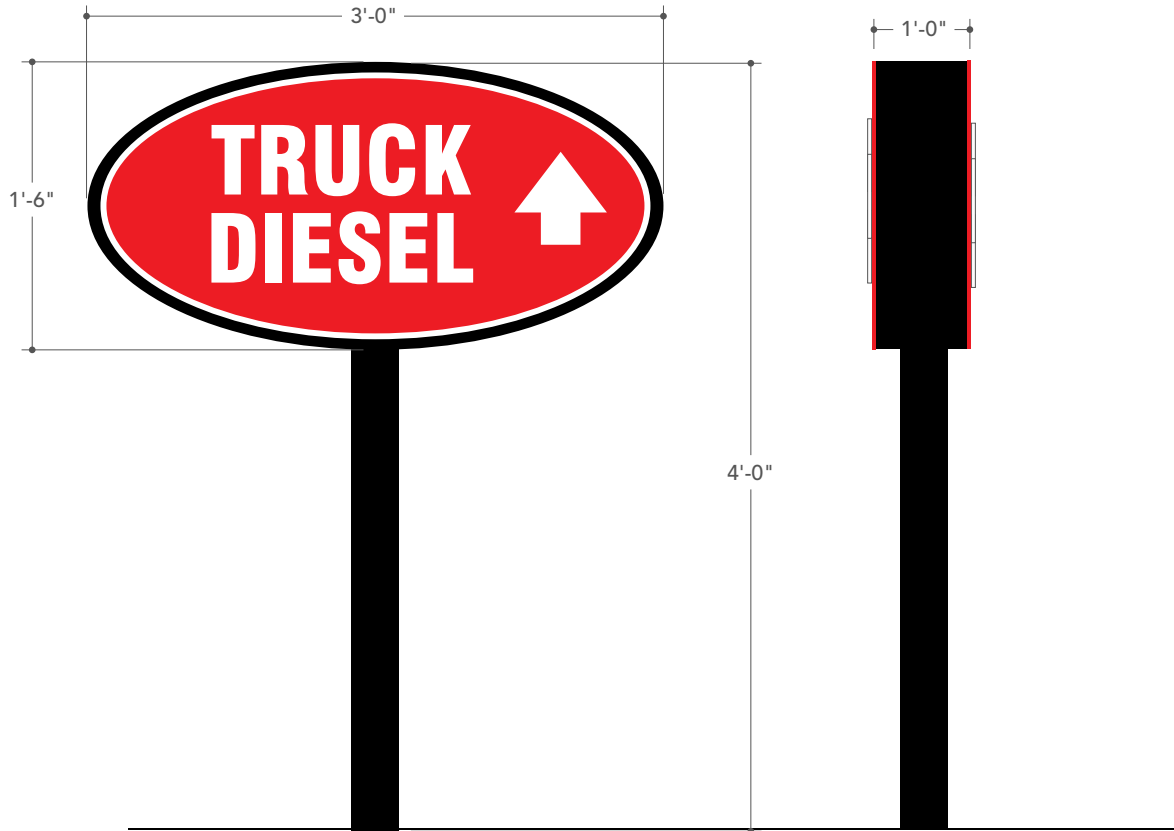
KG-67.1



ROGERS, AR

#429 DIRECTIONAL SIGN

2 of 3



A - HEIGHT	B - WIDTH	AREA	AREA
1'-6" FT	3 FT	3.6 SQ FT	4.5 SQ FT

TYPICAL CONSTRUCTION OF KUM & GO DIRECTIONAL OVAL:

- DOUBLE SIDED
- PAINTED PANFORMED POLYCARBONATE FACE W/ EMBOSSED GRAPHICS
- INTERNAL WHITE LED LIGHTING UL WIRED
- FABRICATED ALUMINUM CABINET
- 3" x 3" STEEL SQUARE TUBE SUPPORT
- DIRECT BURY FOOTING
- PMS 200 (RED)



BACK OF SIGN COPY



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DESIGNER:
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SIGN TYPE/DESCRIPTION:
MONUMENT ID SIGN

SCALE:
1" = 1'-0"

SHEET NAME:

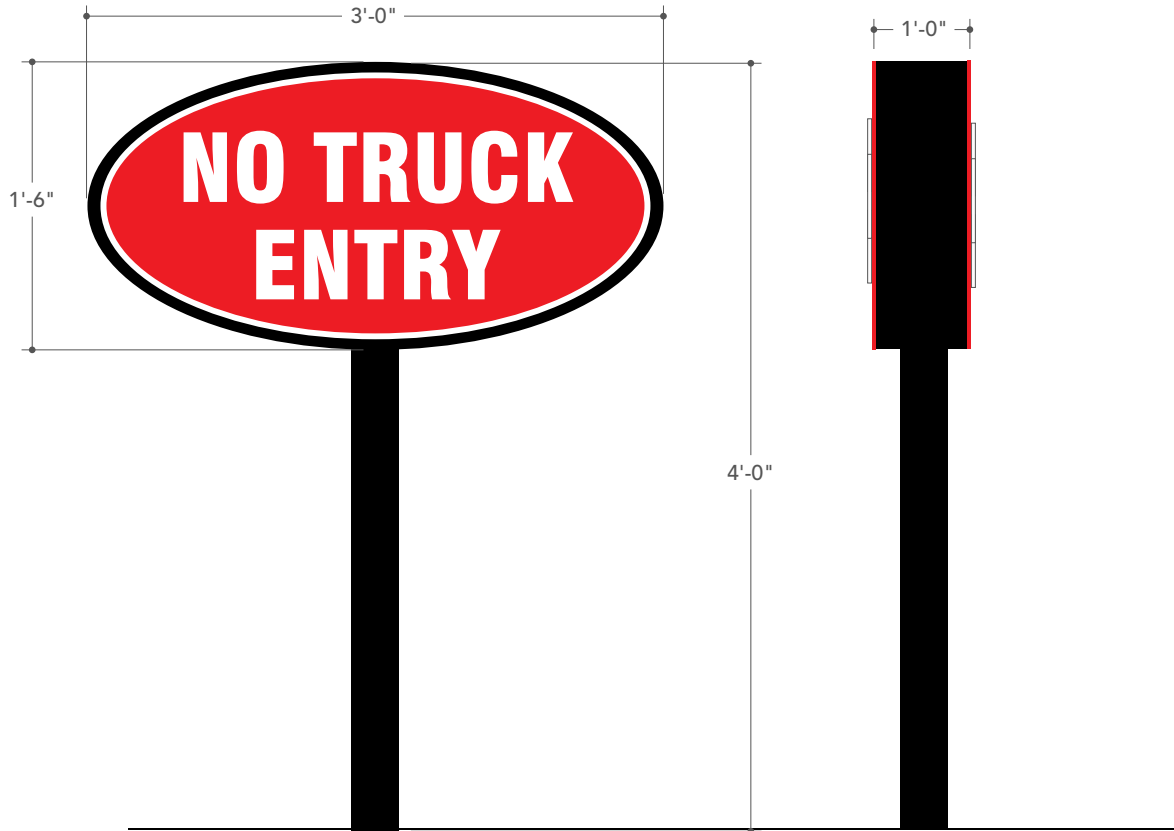
KG-67.1



ROGERS, AR

#429 DIRECTIONAL SIGN

3 of 3



A - HEIGHT	B - WIDTH	● AREA	■ AREA
1'-6" FT	3 FT	3.6 SQ FT	4.5 SQ FT

TYPICAL CONSTRUCTION OF KUM & GO DIRECTIONAL OVAL:

- DOUBLE SIDED
- PAINTED PANFORMED POLYCARBONATE FACE W/ EMBOSSED GRAPHICS
- INTERNAL WHITE LED LIGHTING UL WIRED
- FABRICATED ALUMINUM CABINET
- 3" x 3" STEEL SQUARE TUBE SUPPORT
- DIRECT BURY FOOTING
- PMS 200 (RED)



BACK OF SIGN COPY



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Tulsa, Oklahoma 74106
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PROJECT/CLIENT NAME:
KUM & GO #429

DATE OF ORIGINAL DWG:
MARCH 5, 2020

LOCATION:
**200 W. HUDSON RD.
ROGERS, AR**
DESIGNER:
TERRY HOWARD

SIGN TYPE/DESCRIPTION:
MONUMENT ID SIGN

SCALE:
1" = 1'-0"

SHEET NAME:

KG-67.1



DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
CITY OF ROGERS, ARKANSAS
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

OFFICE USE ONLY

Permit Fee: _____ (\$10 per sign)

Zoning: _____

Permit Number: _____

CityView Application: _____

Date: _____

SIGN PERMIT APPLICATION

BUSINESS/TENANT NAME: Kum & Go 429

ADDRESS OF SIGN: 200 W. Hudson Road SUITE #: _____

PHONE #: 918-630-0033 EMAIL: terry@cnfsigns.com

SIGN CONTRACTOR: Axis Electric, LLC CONT. LIC. #: 0219360521

ADDRESS/ZIP CODE: 1020 S. School Ave. Fayetteville, 72701 PHONE #: 479-601-5127

PROPERTY OWNER: Kum & Go, LC, Krause Gateway Center 1459 Grand Avenue, Des Moines, IA. 50309

SIGN DETAILS:

Sign Type*	Dimensions	Sign Area (sq. ft.)	Height	Valuation (include sign cost/labor)
monument	20' x 9'-4"	81.67 sq. ft.	20'	54,000
pole/directional	18" x 3'	4.5 sq. ft.	4'	2,000
pole/directional	18" x 3'	4.5 sq. ft.	4'	2,000
pole/directional	18" x 3'	4.5 sq. ft.	4'	2,000
wall	6' x 12'	72 sq. ft.	18'	6,500
wall	6' x 12'	72 sq. ft.	18'	6,500

*wall, monument, pole/freestanding, awning, canopy, projecting, suspended, LED

SEE PAGE TWO OF SIGN DETAILS:

SIGN DETAILS:

Sign Type*	Dimensions	Sign Area (sq. ft.)	Height	Valuation (include sign cost/labor)
wall	5' x 9'	45 sq. ft.	18'	4,000
wall	3' x 6'	18 sq. ft.	19'	2,500
wall	3' x 6'	18 sq. ft.	19'	2,500
wall	3' x 6'	18 sq. ft.	21'	2,500
wall	3' x 6'	18 sq. ft.	19'	2,500
wall	3' x 6'	18 sq. ft.	19'	2,000
wall	2' x 4'	8 sq. ft.	11'	2,400

*wall, monument, pole/freestanding, awning, canopy, projecting, suspended, LED

TYPE OF WORK: New Sign X Alteration _____ Repair _____

FEATURES: Illuminated X Non-Illuminated _____ Animated _____

DOES ANY PART *PROJECT OVER OR LOCATE IN RIGHT-OF-WAY*? NO
(Signs must be 5 feet from right-of-way. Projecting signs and A-frame signs are allowed in certain zones.)

MULTITENANT BUILDINGS: Letter from property owner is required to authorize sign placement and dimensions. Must ensure that the building's total allowable sign area is not exceeded and that each tenant receives equitable signage.

Number of businesses in building: 1 Number of street frontages: 2

Street names: West Hudson Road & North 2nd Street

Width of building/business frontage: _____

Width of building/business frontage: _____

ARE THERE EXISTING SIGNS ON PREMISE? YES _____ NO X

If yes, please describe: Type _____ Dimensions _____ Area _____

Type _____ Dimensions _____ Area _____

Type _____ Dimensions _____ Area _____

Type _____ Dimensions _____ Area _____

Type _____ Dimensions _____ Area _____

Type _____ Dimensions _____ Area _____

Is new sign being attached to existing sign frame? No

If this is an alteration or repair, please describe: No

ELECTRICAL CONTRACTOR: Axis Electric, LLC - Lic. #0219360521
(Electrical permits required by a *licensed contractor* if sign involves illumination or wiring.)

DRAWING AND SITE PLAN REQUIREMENTS:

1. PLOT/SITE PLAN REQUIRED, DRAWN TO SCALE, FOR DETACHED FREESTANDING AND MONUMENT SIGNS

- Legal description of property.
- Dimensions of property.
- Drawings showing details of construction, including loads, stresses and anchors. Drawings must be sealed by a Arkansas registered design professional.
- Sign location and dimensions in relation to all buildings, property lines, driveways, parking spaces, and internal circulation drive aisles, streets and electric lines.
- Any easements, storm detention, or drainage areas.
- Width of driveways and width of right-of-way.
- Sight vision triangle measurements for driveways and intersection corners.
- Streets adjacent to sign.
- Locations of and distance from other detached signs on same parcel and/or premise.
- Distance to closet residential zoning district.
- New freestanding signs require a 50 square foot landscape plan.

2. ELEVATION DRAWINGS REQUIRED, DRAWN TO SCALE, FOR WALL, PROJECTING, MARQUEE, AND DETACHED SIGNS:

- All dimensions of sign to include structure, lighting, and all extremities.
- Drawings showing details of construction, including loads, stresses and anchors. Drawings must be sealed by a Arkansas registered design professional.
- Dimension and height from grade to bottom surface of sign area.
- Dimension and height from grade to uppermost portion of sign.
- Dimension from building wall to outer most extremity of wall sign.
- Linear footage of each building wall having frontage on a street.

NOTES:

All detached signs require a footing inspection prior to concrete being poured. Inspection must be requested by 8:30am to receive a same-day inspection.

Overlay District prohibits pole signs and limits monument signs to 6' height (10' if multitenant).

Details related to zoning and permitted signage can be found in Chapter 44 of the Municipal Code.

Contact (479) 621-1186 if you have any questions.

I hereby certify the owner of record authorizes the proposed sign, and I have been authorized by the owner to make this application as his authorized agent, and we agree to conform to all applicable laws of this jurisdiction.

Terry J. Howard
Signature

05/27/2020

Date

Title: Contractor _____ Owner _____ Agent for Owner X _____

Planning Staff Approval: _____