



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

MEETING DATE
JULY 7, 2020

TO: PLANNING COMMISSION
DEVELOPMENT REVIEW COMMITTEE

RE: **STAFF SUMMARY REPORT (ADDENDUM)**
LARGE-SCALE DEVELOPMENT PLANS – HUDSON ROAD TOWNHOMES

STAFF: ELIZABETH JOHNSON, PLANNER III
KRISTIFER PAXTON, DEVELOPMENT COMPLIANCE MANAGER

REQUEST DETAILS

PROJECT NAME:	Hudson Road Townhomes
ADDRESS/LOCATION:	1900 to 2044 W Hudson Road
PROPOSED USE:	Multifamily Residential
CURRENT ZONING:	C-3 (Neighborhood Commercial)
CGM GROWTH DESIGNATION:	Neighborhood Center
APPLICANT/REPRESENTATIVE:	Anderson Engineering, Inc. – Andres Forero
PROJECT OWNER/DEVELOPER:	Hudson Road Townhomes, LLC – Jeff S. Bay
PROPERTY OWNER:	Hudson Road Townhomes, LLC – Jeff S. Bay
NATURE OF REQUEST:	Approval of Large-Scale Development Plans
AUTHORITY:	Chapter 14, Article III, Rogers Code of Ordinances

BACKGROUND

1. This project was tabled at the 4/21/20 Planning Commission meeting to allow the applicant to make certain plan revisions and reduce the total number of requested waivers and variances. The applicant has since provided staff with revised plans that include six remaining waiver and variance requests. See Tab 4 for the applicant's request letter.

GENERAL FINDINGS

1. The applicant requests the following waivers and variances:
 - a) A **WAIVER** from Sec. 14-260(1)e limiting the project to one curb cut. *Staff recommends denial. See full report.*
 - b) A **WAIVER** from DCM DET-4 for the requirement to provide a 5ft wide concrete trickle channel. *Staff recommends denial. See full report.*
 - c) A **WAIVER** from Sec. 14-608 requiring a 6 foot greenspace and 10 foot sidepath along W Hudson Road. *Staff recommends approval. See full report.*
 - d) A **WAIVER** request from Sec. 14-285(3) from the requirement to provide a 25' front landscape buffer as required by the Overlay District. *Staff recommends consideration. See full report.*
 - e) A **VARIANCE** from Sec. 14-285(2) which requires the front setback for all lots within the Overlay District to be 75'. *Staff recommends approval. See full report.*
 - f) A **VARIANCE** request from Sec. 14-285(4) from the requirement to provide a 10' (east) side landscape buffer as required by the Overlay District. *Staff recommends consideration. See full report.*
2. The following waivers and variances are no longer being requested:
 - a) A waiver from Sec. 14-260(2)b.1 requiring the project to provide a cross access the length of the property.
 - b) A waiver from Sec. 14-256(14)(B) for the requirement to provide a 324-SF tree island every 15 parking spaces.

RECOMMENDATIONS

1. See full report for recommended actions on remaining waivers and variances.
2. In addition to the waivers and variances above, staff recommends that the proposed street trees to be native species from the Approved Street Tree list per recommendation from ArDOT. ArDOT indicated to Engineering Staff that consideration for Street Trees within ArDOT rights-of-way would be more effective if native species were selected.

DIRECTOR'S COMMENTS

1. Agree with recommendations.



JOHN C. MCCURDY, Director
Community Development

TABS

1. 4/21 Staff Report
2. Vicinity maps (aerial, zoning, CGM)
3. RWU conditional approval letter
4. Waiver and/or variance request letter
5. Large-Scale Development Plans



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

MEETING DATE
APRIL 21, 2020

TO: PLANNING COMMISSION
DEVELOPMENT REVIEW COMMITTEE

RE: **STAFF SUMMARY REPORT**
LARGE-SCALE DEVELOPMENT PLANS – HUDSON ROAD TOWNHOMES

STAFF: ELIZABETH JOHNSON, PLANNER III
KRISTIFER PAXTON, DEVELOPMENT COMPLIANCE MANAGER

REQUEST DETAILS

PROJECT NAME:	Hudson Road Townhomes
ADDRESS/LOCATION:	1900 to 2044 W Hudson Road
PROPOSED USE:	Multifamily Residential
CURRENT ZONING:	C-3 (Neighborhood Commercial)
CGM GROWTH DESIGNATION:	Neighborhood Center
APPLICANT/REPRESENTATIVE:	Anderson Engineering, Inc. – Andres Forero
PROJECT OWNER/DEVELOPER:	Hudson Road Townhomes, LLC – Jeff S. Bay
PROPERTY OWNER:	Hudson Road Townhomes, LLC – Jeff S. Bay
NATURE OF REQUEST:	Approval of Large-Scale Development Plans
AUTHORITY:	Chapter 14, Article III, Rogers Code of Ordinances

SUMMARY

This request is to allow the construction of nine new buildings comprising 35 apartment units on 2.92± acres, with a density of 12 units per acre. The proposed development plans meet all City requirements (except for requested waivers/variances) and have been forwarded to the Planning Commission for approval per Sec. 14-230(b). See STAFF REVIEW for additional findings.

Community Development recommends approval of this request subject to the following actions:

1. **Approve VARIANCE from Sec. 14-285(2) which requires the front setback for all lots within the Overlay District to be 75'.**
2. **Deny WAIVER from Sec. 14-256(14)(B) for the requirement to provide a 324-SF tree island every 15 parking spaces.**
3. **Consider VARIANCE request from Sec. 14-285(3) from the requirement to provide a 25' front landscape buffer as required by the Overlay District.**
4. **Consider VARIANCE request from Sec. 14-285(4) from the requirement to provide a 10' (east) side landscape buffer as required by the Overlay District.**
5. **Deny WAIVER from Sec. 14-260(2)b.1 requiring the project to provide a cross access the length of the property.**
6. **Deny WAIVER from Sec. 14-260(1)e limiting the project to one curb cut.**
7. **Deny WAIVER from DCM DET-4 for the requirement to provide a 5ft wide concrete trickle channel.**
8. **Approve WAIVER from Sec. 14-608 requiring a 6 foot greenspace and 10 foot sidepath along W Hudson Road.**

STAFF REVIEW

ENGINEERING REVIEW

1. ACCESS MANAGEMENT:

- a) The applicant has requested a **WAIVER** from Sec. 14-260(2)b.1 requiring the project to provide a cross access the length of the property. The project has an existing joint access at the northeast corner of the lot. The lot to the west has an existing stub-out in place, however, does not have a known access easement at this time, and the stub out does not connect to the property line.
- b) The applicant has requested a **WAVIER** from Sec. 14-260(1)e. limiting the project to one curb cut. The applicant requests the new proposed drive to enhance connectivity, ensures mobility, and provides an access drive unique to the development.

2. STORMWATER MANAGEMENT:

Stormwater is managed through a detention pond which meets the pre- and post-development mitigation requirements. However, for the design of the detention pond, the applicant has requested a **WAIVER** from DCM DET-4 for the requirement to provide a 5ft wide concrete trickle channel. The applicant proposes a 5' turf reinforced mat along the drainage path for permanent erosion control to allow additional water quality filtering through grass.

3. WATER QUALITY:

The applicant's proposed extended dry detention basin meets water quality requirements.

4. FLOODPLAIN MANAGEMENT:

No portion of this property is located within a Special Flood Hazard Area and is entirely within Zone "X" (Unshaded).

5. MASTER STREET PLAN IMPROVEMENTS:

a) Street Pavement and Condition:

The project is located south of W Hudson Road (HWY 62). The pavement condition for ArDOT is maintained by the State and does not require improvements.

b) Connectivity Standards:

Connectivity standards do not apply to this project. The frontage is less than 660ft with a City Park to the south. The depth of the lot is only 263.35ft from W Hudson Road.

c) Streetscape:

i) Right-of-Way:

There is an existing right-of-way along W Hudson Road. The right-of-way width varies, however the minimum width from the centerline to the property line exceeds the Master Street Plan requirement for a Major Arterial.

ii) Sidewalks & Sidepaths:

The applicant has requested a **WAIVER** from Sec. 14-608 requiring a 6 foot greenspace and 10 foot sidepath along W Hudson Road. The applicant states that there is an existing 6 foot sidewalk on both the east and west of this project location, and requests to match the existing sidewalk. The greenspace is proposed to match also, with a 5 foot greenspace along the front of the proposed project.

d) Trails:

The project does not require trail installation other than the 10ft sidepath along W Hudson Road. However, the applicant has proposed a connection from the proposed 6ft sidepath, through the center of this development, to the south where a trail exists in the Rogers Regional Sports Park.

e) Streetlights:

The applicant proposes two street lights to meet the City of Rogers specifications to meet requirements.

f) Street Trees:

The applicant proposes to have street trees within the right-of-way, however the applicant proposes these to be located behind the sidewalk instead of within the greenspace.

6. RECOMMENDATIONS:

- a) **Deny WAIVER from Sec. 14-260(2)b.1 requiring the project to provide a cross access the length of the property.** Staff has determined that property to the west is redevelopable. An existing stub out to the west would become an access easement in the future when the property is redeveloped. Staff recommends denial of this waiver and requests an Access Easement to align with the existing stub out to the west, and constructing a new stub out to align with the existing stub out to the property line for a future connection.
- b) **Deny WAIVER from Sec. 14-260(1)e limiting the project to one curb cut.** Staff recommends denial of this waiver. The joint access will provide a controlled entry point for the development and limit excessive curb cuts along W Hudson Road.

- c) **Deny WAIVER from DCM DET-4 for the requirement to provide a 5ft wide concrete trickle channel.** The primary goal of the 5ft concrete trickle channel is to establish a flow line and provide ease of maintenance. This cannot be achieved with the proposed turf reinforced mat.
- d) **Approve WAIVER from Sec. 14-608 requiring a 6 foot greenspace and 10 foot sidepath along W Hudson Road.** Due to the **conditions** east and west of this sidewalk and greenspace, staff recommends approval of the sidewalk and greenspace as proposed for consistency along this route.

PLANNING REVIEW

1. LAND USE:

a) Use Definition:

"Multifamily Residential" is defined as "buildings that have three or more dwelling units that share common walls, floors, ceilings, or open space on a site," (Sec. 14-695).

b) Zoning Compliance:

The proposed project is in compliance with C-3 zoning regulations.

c) CGM Compliance:

The proposed project aligns with the purpose, character, and goals of the Neighborhood Center Growth Designation.

2. DEVELOPMENT STANDARDS:

The proposed development plans conform to all development standards required by Sec. 14-710 and Article III with the exception of any requested waivers and/or variances.

a) Building Disposition:

The applicant requests a **VARIANCE** from Sec. 14-285(2) which requires the front setback for all lots within the Overlay District to be 75'. All other setback and height requirements have been met.

b) Building Design:

N/A

c) Parking & Loading:

All vehicle and bicycle parking requirements have been met.

d) Screening & Transitions:

All screening requirements have been met.

e) Landscaping:

The applicant requests a **WAIVER** from Sec. 14-256(14)(B) for the requirement to provide a 324-SF tree island every 15 parking spaces. The applicant also requests a **VARIANCE** from Sec. 14-285(3) from the requirement to provide a landscaped area no less than 25 feet deep exclusive of the right-of-way. The applicant also requests a **VARIANCE** from Sec. 14-285(4) from the requirement to provide a landscaped area no less than ten feet deep from the east side property line. All other landscaping requirements have been met.

3. RECOMMENDATIONS:

a) Approve **VARIANCE** from Sec. 14-285(2) which requires the front setback for all lots within the Overlay District to be 75'. The Overlay District setback conflicts with the intent of the C-3 zoning district's build-to-zones to bring buildings closer to the street, instead of farther back on the lot. The proposed buildings will be located 61.21' from the front property line. The applicant chose not to place them any closer due to trying to minimize the noise that the townhome residents will hear coming from Hudson Road. Staff recommends approval of this request.

b) Deny **WAIVER** from Sec. 14-256(14)(B) for the requirement to provide a 324-SF tree island every 15 parking spaces. Two of the applicant's tree islands do not meet the 324-SF requirement. The applicant requests this waiver due to having ample, useable open space located elsewhere on the site that could be better used for recreation instead of a tree island. He stated in his letter that he provided islands of a smaller size in order to minimize the distance between buildings and provide larger areas of green space. The applicant did not provide any hardship as to why this requirement could not be met, therefore staff recommends denial.

c) Consider **VARIANCE** request from Sec. 14-285(3) from the requirement to provide a 25' front landscape buffer as required by the Overlay District. The applicant justified this request by stating that the buildings were pushed closer towards Hudson Road, which pushed part of the parking into the landscape area, in order to provide adequate separation between the pond and buildings. The applicant has provided all required Overlay District trees within a 17.45' front landscaped area. Staff recommends consideration of this request after hearing the applicant's justification at the time of the meeting.

d) Consider **VARIANCE** request from Sec. 14-285(4) from the requirement to provide a 10' (east) side landscape buffer as required by the Overlay District. The applicant is providing more than double the required depth of a landscape area on the west side. Staff recommends consideration of this request after hearing the applicant's justification at the time of the meeting.

OTHER REVIEWS

The proposed development plans have been reviewed by the City of Rogers Risk Reduction Division and Rogers Water Utilities (see Tab 2 for RWU conditional approval letter). All projects are made available for review by franchise utilities, Benton County 911 Administration, and other affected agencies per Sec. 14-227.

DIRECTOR'S COMMENTS

1. Agree with recommendations.



JOHN C. McCURDY, Director
Community Development

SUGGESTED MOTIONS

1. IF APPROVING:
Move to approve the Large-Scale Development Plans as presented.
2. IF APPROVING SUBJECT TO OTHER ACTIONS:
Move to approve the Large-Scale Development Plans subject to [conditions, contingencies, waivers/variances].
3. IF DENYING:
Move to deny the request as presented.
4. IF TABLING:
Move to table the request [indefinite or date certain].

TABS

1. Vicinity maps (aerial, zoning, CGM)
2. RWU conditional approval letter
3. Waiver and/or variance request letter
4. Large-Scale Development Plans

HUDSON ROAD TOWNHOMES AERIAL MAP:



The map displays the following features:

- Subject Location:** A rectangular area in Zone C-3, outlined in blue, located east of Rogers Regional Sports Park and north of Turtle Creek Tributary.
- Zoning Districts:**
 - Zone A-1 (Green area)
 - Zone C-2 (Orange area)
 - Zone C-3 (Orange area)
 - Zone C2-CU (Light orange area)
 - Zone I-2 (Blue area)
 - AE (Hatched orange area)
- Streets:**
 - N 22nd St
 - W Hudson Rd
 - N Dixie Rd
- Landmarks:**
 - Rogers Regional Sports Park
 - Turtle Creek Tributary
- Other Labels:**
 - 1304
 - 1305
 - 1306
 - 1307
 - 1308
 - 1309
 - 1310
 - 1311
 - 1312
 - 1313
 - 1314
 - 1315
 - 1316
 - 1317
 - 1318
 - 1319
 - 1320
 - 1321
 - 1322
 - 1323
 - 1324
 - 1325
 - 1326
 - 1327
 - 1328
 - 1329
 - 1330
 - 1331
 - 1332
 - 1333
 - 1334
 - 1335
 - 1336
 - 1337
 - 1338
 - 1339
 - 1340
 - 1341
 - 1342
 - 1343
 - 1344
 - 1345
 - 1346
 - 1347
 - 1348
 - 1349
 - 1350
 - 1351
 - 1352
 - 1353
 - 1354
 - 1355
 - 1356
 - 1357
 - 1358
 - 1359
 - 1360
 - 1361
 - 1362
 - 1363
 - 1364
 - 1365
 - 1366
 - 1367
 - 1368
 - 1369
 - 1370
 - 1371
 - 1372
 - 1373
 - 1374
 - 1375
 - 1376
 - 1377
 - 1378
 - 1379
 - 1380
 - 1381
 - 1382
 - 1383
 - 1384
 - 1385
 - 1386
 - 1387
 - 1388
 - 1389
 - 1390
 - 1391
 - 1392
 - 1393
 - 1394
 - 1395
 - 1396
 - 1397
 - 1398
 - 1399
 - 1400
 - 1401
 - 1402
 - 1403
 - 1404
 - 1405
 - 1406
 - 1407
 - 1408
 - 1409
 - 1410
 - 1411
 - 1412
 - 1413
 - 1414
 - 1415
 - 1416
 - 1417
 - 1418
 - 1419
 - 1420
 - 1421
 - 1422
 - 1423
 - 1424
 - 1425
 - 1426
 - 1427
 - 1428
 - 1429
 - 1430
 - 1431
 - 1432
 - 1433
 - 1434
 - 1435
 - 1436
 - 1437
 - 1438
 - 1439
 - 1440
 - 1441
 - 1442
 - 1443
 - 1444
 - 1445
 - 1446
 - 1447
 - 1448
 - 1449
 - 1450
 - 1451
 - 1452
 - 1453
 - 1454
 - 1455
 - 1456
 - 1457
 - 1458
 - 1459
 - 1460
 - 1461
 - 1462
 - 1463
 - 1464
 - 1465
 - 1466
 - 1467
 - 1468
 - 1469
 - 1470
 - 1471
 - 1472
 - 1473
 - 1474
 - 1475
 - 1476
 - 1477
 - 1478
 - 1479
 - 1480
 - 1481
 - 1482
 - 1483
 - 1484
 - 1485
 - 1486
 - 1487
 - 1488
 - 1489
 - 1490
 - 1491
 - 1492
 - 1493
 - 1494
 - 1495
 - 1496
 - 1497
 - 1498
 - 1499
 - 1500
 - 1501
 - 1502
 - 1503
 - 1504
 - 1505
 - 1506
 - 1507
 - 1508
 - 1509
 - 1510
 - 1511
 - 1512
 - 1513
 - 1514
 - 1515
 - 1516
 - 1517
 - 1518
 - 1519
 - 1520
 - 1521
 - 1522
 - 1523
 - 1524
 - 1525
 - 1526
 - 1527
 - 1528
 - 1529
 - 1530
 - 1531
 - 1532
 - 1533
 - 1534
 - 1535
 - 1536
 - 1537
 - 1538
 - 1539
 - 1540
 - 1541
 - 1542
 - 1543
 - 1544
 - 1545
 - 1546
 - 1547
 - 1548
 - 1549
 - 1550
 - 1551
 - 1552
 - 1553
 - 1554
 - 1555
 - 1556
 - 1557
 - 1558
 - 1559
 - 1560
 - 1561
 - 1562
 - 1563
 - 1564
 - 1565
 - 1566
 - 1567
 - 1568
 - 1569
 - 1570
 - 1571
 - 1572
 - 1573
 - 1574
 - 1575
 - 1576
 - 1577
 - 1578
 - 1579
 - 1580
 - 1581
 - 1582
 - 1583
 - 1584
 - 1585
 - 1586
 - 1587
 - 1588
 - 1589
 - 1590
 - 1591
 - 1592
 - 1593
 - 1594
 - 1595
 - 1596
 - 1597
 - 1598
 - 1599
 - 1600
 - 1601
 - 1602
 - 1603
 - 1604
 - 1605
 - 1606
 - 1607
 - 1608
 - 1609
 - 1610
 - 1611
 - 1612
 - 1613
 - 1614
 - 1615
 - 1616
 - 1617
 - 1618
 - 1619
 - 1620
 - 1621
 - 1622
 - 1623
 - 1624
 - 1625
 - 1626
 - 1627
 - 1628
 - 1629
 - 1630
 - 1631
 - 1632
 - 1633
 - 1634
 - 1635
 - 1636
 - 1637
 - 1638
 - 1639
 - 1640
 - 1641
 - 1642
 - 1643
 - 1644
 - 1645
 - 1646
 - 1647
 - 1648
 - 1649
 - 1650
 - 1651
 - 1652
 - 1653
 - 1654
 - 1655
 - 1656
 - 1657
 - 1658
 - 1659
 - 1660
 - 1661
 - 1662
 - 1663
 - 1664
 - 1665
 - 1666
 - 1667
 - 1668
 - 1669
 - 1670
 - 1671
 - 1672
 - 1673
 - 1674
 - 1675

The map displays a complex land use plan for the City of Rogers. A central area is highlighted with a yellow border and labeled "SUBJECT LOCATION". This area is situated adjacent to a large blue-shaded region labeled "TURTLE CREEK TRIBUTARY" and a hatched area labeled "AE". To the left of the subject location is a large blue area labeled "Rogers Regional Sports Park". To the right is an orange-shaded area. Various other zones are labeled, including "Access Corridor" and "Neighborhood Center". Numerous numerical identifiers are scattered across the map, likely representing specific parcels or features. The map also shows a network of roads and corridors, with some labeled "1314" and "1310".



February 28, 2020

Mr. Andres Forero, PE
Anderson Engineering
5311 W. Village Pkwy.
Rogers, AR 72758

Re: Conditional Approval of Civil Plans
Hudson Road Townhomes

Dear Mr. Forero:

We have reviewed the plans that were received for the referenced project and are approving them with the following conditions:

1. The water meter that serves Units 1900 to 1906 is not within a Utility Easement.
2. Show the encasement pipes centered on the sewer line on the Utility Plan.
3. Locate the proposed water main above the 6" Sanitary Sewer service where they cross near Sta. 5+47 of the proposed water main. It appears the water main will still have the required 3' of cover and can be 18" above the sewer at the crossing.
4. There appears to be a couple of "Southern Magnolias" less than 10' from water meters that serve the units along the south end of the site. There is also a "Maidenhair Tree" shown at the southeast corner of the site that will be too close to an existing water main in that area that is not shown on the plans.
5. The following must be submitted prior to scheduling a pre-construction meeting:
 - A. The utility contractor must be licensed by the State of Arkansas in the Underground Piping, Cable, Trenching, Boring Specialty Class or as a Municipal Utility Contractor. A copy of the contractor's license must be submitted if the contractor has not worked recently within the Utility's service area.
 - B. One copy of the revised plans for review.
 - C. Written approval from the Arkansas Department of Health.
 - D. A signed copy of the enclosed Special Contract for Facilities Extensions. Please note and bring to the attention of your client that access fees and impact fees are defined in the contract and must be delivered to the Utility before water service will be established.
 - E. A copy of the executed contract between the developer or general contractor and the utility contractor.

F. Performance and payment bonds executed by the utility contractor.

G. Three copies of the approved plans submitted at the pre-construction meeting.

Approval of this project is void if construction is not started within one year of the date affixed hereto.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Stephen T. Ponder', followed by a long horizontal flourish.

Stephen T. Ponder, PE

SP:DG

Attachment(s): Special Contract for Facilities Extension

June 30, 2020

City of Rogers Planning Commission
301 W. Chestnut St.
Rogers, AR 72756

Subject: Waiver requests for LSDP for Hudson Road Townhomes
CityView PL201900829

Dear Members of the Planning Commission:

The following is submitted as a request to allow these waivers associated with the submitted Large Scale Development for the Hudson Road Townhomes (PL201900829)

SIDE BUFFER YARD:

Requirement: This parcel is governed by two different sections of the City Code. One is Division 4. - Overlay District Standards. The other is Sec. 14-710. - C-3 neighborhood commercial district. For side buffer yards, in particular, Sec. 14-285. - Design standards, regulations and required improvements for developments within overlay districts, numeral (4) states that these must be 10 feet deep. Sec. 14-710. - C-3 neighborhood commercial district, section (d) (2) (b) states that side yard must be 5 feet minimum.

Variance Request for side buffer yard:

Given that C-3 is the less stringent requirement, this provision was used for the east side buffer. It appears to be reasonable because the detention pond of the adjacent property borders our property at this location. A 10-foot buffer will still be provided along the west property line.

FRONT BUFFER YARD:

Requirement: Overlay District front buffer yard is 25-feet.

Variance Request for front buffer: Although the requirement is satisfied for the majority of the project frontage, there is a length of approximately 80-feet in front of Building 1 that is proposed with a frontage yard of approximately 18-feet. This allows the detention pond to be constructed in the southwest corner while maintaining minimum horizontal separation from the detention pond to the buildings.

FRONT SETBACK:

Requirement: Section 14-285(2) requires front setback within the Overlay District to be 75-feet. The front setback required within C-3 is 5-feet.

Variance Request for front setback: Setback requirement for Overlay District conflicts with the intent of the C-3 zoning to bring buildings closer to the street. Buildings are proposed with a minimum 61.21-feet front setback.

ACCESS DRIVE:

Requirement: Per Section 14-260. - Access management standards., sub-section (1) e., if frontage is less than 600 feet, only one access drive is allowed. The length of frontage is about 482-feet. One shared access is provided at the east side of the project which is to be shared with the adjacent gas station.

Waiver request for Access Drive

One new dedicated access drive is proposed for this development.

This will provide a substantial traffic flow improvement through the site, specifically for trash trucks and emergency vehicle access.

The approved residential Use for this development is substantially different than the commercial use of the adjacent gas station and cause us not to be able to construct a nicer dedicated entry into this development.

This access driveway was positioned 275-feet from the south property driveway and 269-feet from the shared access driveway with the gas station. We are also proposing it as a right-in and right-out only driveway which eliminate any dangerous traffic maneuvers.

SIDEWALK IN RIGHT-OF-WAY

Requirement: Sec. 14-608. - Requirements for improving substandard streets, requires developer to bring the public infrastructure up to City Standards. In this case, per the Typical Street Section for a Major Arterial, as is W. Hudson Rd. , this requires a 6-foot greenspace and a 10-foot side path. The project team requests that a 6 ft wide sidewalk be allowed instead.

Waiver Request for Sidewalk

Both adjacent developments have existing sidewalk which is 6-feet wide. The gas station is a 2013 development and the shopping a 2008 development. In consequence, both of their sidewalks are in adequate condition. Also, since they are relatively recent developments, it is not likely that these will be redeveloped in the near future. Therefore, it is not likely that the width of sidewalk in either side of the project will change soon.

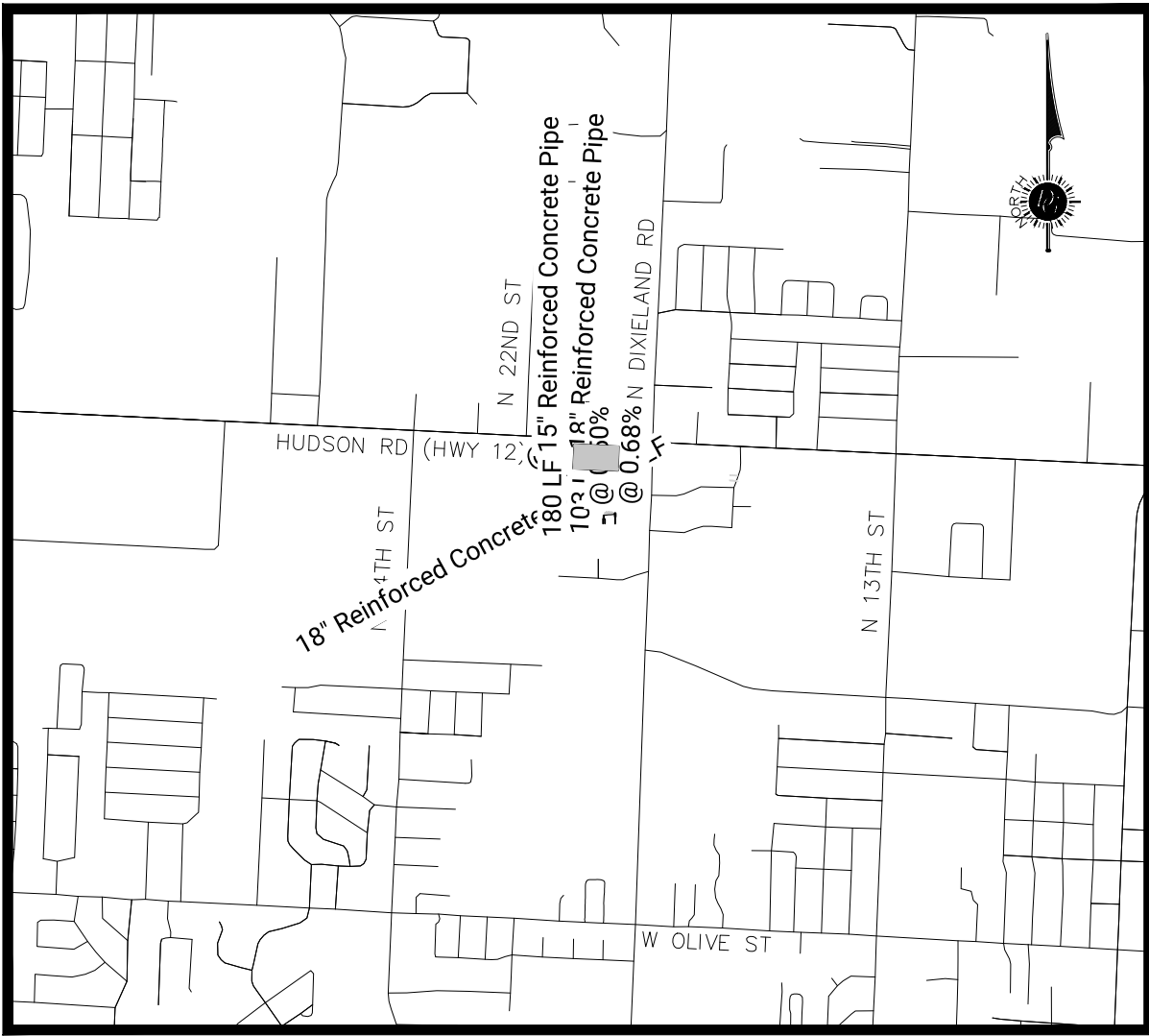
Thank you for your consideration of this request. If you have questions, please contact me at this office 479.286.8181, mobile 479.381.1066 or ffourie@andersonengineeringinc.com.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Ferdinand Fourie', is written over a light blue horizontal line.

Ferdinand Fourie, P.E.





SCALE: 1"=2000'
VICINITY MAP
SECTION 2
T19N, R30W

CITY OF ROGERS NOTES

IF THE PROJECT COSTS EXCEED \$20,000, A STATE CONTRACTOR'S LICENSE IS REQUIRED. ROGERS CODE SEC. 14-228(6).

EASEMENT PLAT MUST BE APPROVED AND RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.

ALL CIVIL PLANS USED ON SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.

ALL HVAC AND OTHER EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.

THE LARGE-SCALE DEVELOPMENT PLAN APPROVAL LETTER ISSUED BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT MUST BE SIGNED BY THE OWNER AND THE DIRECTOR OF THE DEPARTMENT OF COMMUNITY DEVELOPMENT OR HIS OR HER DESIGNEE PRIOR TO ISSUANCE OF GRADING PERMIT. BOTH APPROVAL LETTER AND GRADING PERMIT ARE REQUIRED TO BE SUBMITTED TO THE RISK REDUCTION DIVISION PRIOR TO ISSUANCE OF BUILDING PERMIT.

PROPOSED LANDSCAPING MUST BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE III. LANDSCAPING MUST BE INSTALLED OR BONDED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY. IN ADDITION TO A THREE-YEAR MAINTENANCE AND REPLACEMENT AGREEMENT PROVIDED BY OWNER.

NEW CONSTRUCTION, DRIVES, AND CURB CUTS ON STATE AND FEDERAL HIGHWAYS REQUIRE WRITTEN APPROVAL OF ARDOT. COPIES OF THE APPROVAL MUST BE PROVIDED TO THE DEPARTMENT OF COMMUNITY DEVELOPMENT PRIOR TO THE ISSUANCE OF BUILDING PERMIT.

STORM DRAINAGE DESIGN MUST MEET THE MINIMUM REQUIREMENTS OF THE DRAINAGE CRITERIA MANUAL. DRAINAGE IMPROVEMENTS MUST BE INDICATED ON THE PLANS ALONG WITH AN ACCOMPANYING DRAINAGE REPORT. ENGINEER CERTIFIED CALCULATION MUST BE PROVIDED FOR ALL IMPROVEMENTS. IMPROVEMENTS MUST BE COMPLETED AND CERTIFIED BY THE ENGINEER OF RECORD PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

ROGERS FIRE DEPARTMENT NOTES

IFC 2012 3310.1 - APPROVED VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET (30.480 MM) OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.

IFC 2012 3312.1 - AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.

FLOOD STATEMENT

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS WITHIN ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 05007C0200K, CITY OF ROGERS, BENTON COUNTY, ARKANSAS, WHICH BEARS AN EFFECTIVE DATE OF JUNE 5, 2012, AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ALSO REFER TO LOMR 14-06-2125P-050013, EFFECTIVE DATE JULY 6, 2015

LEGAL DESCRIPTION:

ALL OF TRACT 2 AS SHOWN ON PLAT BK. 2013, PG. 443 AND 444, BEING A PART OF THE NE1/4, NW1/4, SECTION 2, TOWNSHIP 19 NORTH, RANGE 30 WEST, FIFTH PRINCIPAL MERIDIAN, BENTON COUNTY, ARKANSAS AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID NE1/4, NW1/4; THENCE N02°15'06"W 968.78 FEET; THENCE N87°14'03"W 369.75 FEET TO A FOUND 1/2-INCH REBAR WITH CAP PLS 1507 AT THE SOUTHEAST CORNER OF SAID TRACT 2 AND THE POINT OF BEGINNING; THENCE N87°14'03"W 483.83 FEET TO A FOUND 5/8-INCH REBAR AT THE SOUTHWEST CORNER OF SAID TRACT 2; THENCE N02°42'02"E 283.35 FEET TO A FOUND 1/2-INCH REBAR ON THE SOUTH RIGHT OF WAY OF HUDSON ROAD (AR HWY 62); THENCE ALONG SAID RIGHT OF WAY, S87°14'03"E 481.77 FEET TO A FOUND MAG NAIL WITH WASHER PLS 1834 AT THE NORTHEAST CORNER OF SAID TRACT 2; THENCE DEPARTING SAID NORTH RIGHT OF WAY, S02°15'06"W 263.36 FEET TO THE POINT OF BEGINNING, CONTAINING 2.92 ACRES, MORE OR LESS, SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

BENCHMARK:

TBM IS A 12" REBAR SET 12' WEST AND 0.86' SOUTH FROM THE SOUTHWEST CORNER OF THE EASTERMOST CURB INLET BOX TOP ON W. HUDSON ROAD.

BASIS OF BEARING/ELEVATION

- BEARINGS BASED ON GRID NORTH OF THE ARKANSAS STATE PLANE COORDINATE SYSTEM OF 1983 (2011) (EPOCH 2010.0000) NORTH ZONE ESTABLISHED BY OPUS.
- BASIS OF ELEVATIONS NAVD 1988 GEOID12A ESTABLISHED BY OPUS.

UTILITY NOTE:

THIS SURVEY REFLECTS ABOVE GROUND INDICATIONS OF UTILITIES AND INFORMATION AVAILABLE FROM UTILITY COMPANIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. LOCATE TICKET NUMBER 191028-1417.

EARTHWORK NOTE

ALL EARTHWORK ON SITE SHOULD BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL EXPLORATION REPORT PREPARED FOR THIS SITE BY ANDERSON ENGINEERING INC. AND DATED NOVEMBER 26, 2019.

LARGE SCALE DEVELOPMENT HUDSON ROAD TOWNHOMES 1900 to 2044 W. HUDSON ROAD (HWY 62) ROGERS, AR 72756

CityView Project # PL201900829

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C1.1	DRIVEWAY LAYOUT PLAN
C1.2	SITE PLAN
C1.3	SITE PLAN DETAILS
C1.4	PAVING AND STRIPING PLAN
C1.5	CITY OF ROGERS DETAILS
C1.6	CITY OF ROGERS DETAILS (2)
C1.7	UTILITY PLAN
C1.8	WATER PLAN & PROFILE
C1.9	GRADING & DRAINAGE PLAN
C1.10	GRADING & DRAINAGE DETAILS
C1.11	EROSION CONTROL PLAN
C1.12	EROSION CONTROL DETAILS
C1.13	ArDOT INLET DETAILS
C1.14	ARCHITECTURAL ELEVATIONS
L1.0	LANDSCAPE PLAN
L1.2	LANDSCAPE & IRRIGATION DETAILS
WD1	WATER DETAILS 1 OF 2
WD2	WATER DETAILS 2 OF 2
SSD1	SANITARY SEWER DETAILS 1 OF 1

AVIATION NOTE:

ROGERS EXECUTIVE AIRPORT REVIEWED PROJECT AND DEEMED IT SHIELDED, I.E. NOT AN OBSTRUCTION.

WATER/SEWER:

ROGERS WATER UTILITIES

STEPHEN PONDER
ENGINEER
601 S. 2ND STREET
ROGERS, AR 72756
STEPHENPONDER@ROGERSAR.GOV
(P) 479-621-1142

GAS:

BLACK HILLS ENERGY

BRANDON STUBBS
1301 FEDERAL WAY
LOWELL, AR 72745
(P) 479-225-3726
BRANDON.STUBBS@BLACKHILLSCORP.COM

ELECTRIC:

CARROLL ELECTRIC COOPERATIVE CORPORATION

RYAN BUTLER
920 HWY 62 SPUR
BERRYVILLE, AR 72616
(P) (800) 432-9720
RBUTLER@CARROLLECC.COM

TELEPHONE:

COX COMMUNICATIONS

KIP SMITH
4901 S. 48TH STREET
SPRINGDALE, AR 72762
(P) (479) 717-3796
kip.smith@cox.com

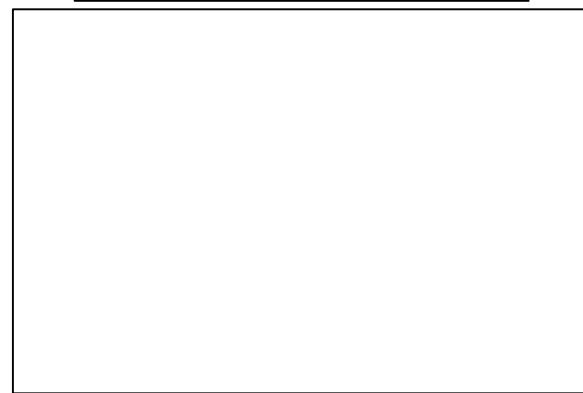
FIBER OPTIC:

AT&T

SCOTT SEAMAN
627 WHITE ROAD
SPRINGDALE, AR 72762
(P) (479) 442-1967
LAYNE RHODES
(479) 442-1977
lr159@att.com



CITY APPROVAL STAMP



GENERAL NOTES:

- THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THIS SITE.
- CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE PROJECT DOCUMENTS & PER THE CITY OF ROGERS STANDARDS & SPECIFICATIONS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL HORIZONTAL AND VERTICAL LINES AND GRADES OF EXISTING UTILITIES PRIOR TO THE CONSTRUCTION OF IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY UPON DISCOVERY OF A DISCREPANCY BETWEEN CONTRACT DRAWINGS AND ACTUAL FIELD CONDITIONS.
- APPLICABLE PERMITS MUST BE OBTAINED FROM THE CITY, STATE AND COUNTY PRIOR TO EXCAVATION WITHIN ANY RIGHT-OF-WAY, AND PRIOR TO ANY CONSTRUCTION.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE LOCATION OF ANY UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS AND TO BE LIABLE FOR DAMAGE AND CONSEQUENT REPAIR TO SUCH IN THE COURSE OF HIS OPERATIONS.
- THE CONTRACTOR AND/OR BUILDER WILL KEEP THE SITE NEAT AND ORDERLY AT ALL TIMES WHILE CONSTRUCTION IS TAKING PLACE. ALL CITY STREETS ADJACENT TO THE DEVELOPMENT SHALL BE KEPT CLEAR OF MUD, ROCK, DIRT, DEBRIS, PAPER AND WASTE MATERIAL AT ALL TIMES. THE PROPER AMOUNT OF INSPECTION SHALL BE CALLED FOR AT THEIR PROPER TIMES, OR ANY AND ALL WORK MAY BE REJECTED.
- IF ANY WORK OR ACCESS TO ANY ADJOINING PROPERTY IS DONE, IT IS THE FULL RESPONSIBILITY OF THE APPLICANT/OWNER TO OBTAIN PROPER RELEASES FROM ADJOINING PROPERTY OWNERS AND ASSUME ALL LIABILITY FOR ACTION TAKEN DURING ALL CONSTRUCTION.
- ALL DISTURBED AREAS ARE TO BE RE-SEEDED IN ACCORDANCE WITH THE APPROVED PLANS.
- CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE ANY EXISTING STREET, CURB AND GUTTER, SIDEWALK AND DRIVEWAYS.
- THE CONTRACTOR SHALL HAVE ON SITE A SET OF PLANS. THE CONTRACTOR SHALL HAVE ON THE PROJECT AT ALL TIMES, AS HIS AGENT, A COMPETENT SUPERINTENDENT CAPABLE OF READING AND THOROUGHLY UNDERSTANDING THE PLANS AND SPECIFICATIONS, THOROUGHLY EXPERIENCED IN THE TYPE OF WORK BEING PERFORMED, AND WHO SHALL RECEIVE INSTRUCTIONS FROM THE ENGINEER OR HIS AUTHORIZED REPRESENTATIVE.
- ALL TRENCHES, WHICH LIE UNDER PROPOSED PAVEMENT OR LIE WITHIN TWO FEET OF THE BACK OF CURB SHALL BE BACKFILLED TO PAVEMENT SUBGRADE WITH COMPACTED GRANULAR MATERIAL.
- MANHOLE COVERS, VALVE BOXES AND OTHER UTILITY APPURTENANCES SHALL NOT ENCROACH ON SIDEWALKS, CURBS OR PAVEMENT. WHERE CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR INSTRUCTION PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY NEW SINKHOLES, MINE FEATURES OR OTHER GEOLOGIC ANOMALIES DISCOVERED DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, SEQUENCING, AND SAFETY CONCERNS ASSOCIATED WITH THIS PROJECT DURING CONSTRUCTION, UNLESS SPECIFICALLY ADDRESSED OTHERWISE IN THIS PLAN OR ELSEWHERE IN THE CONTRACT.
- THE QUANTITIES AND SITE CONDITIONS DEPICTED IN THESE PLANS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO ERROR AND OMISSION. CONTRACTORS SHALL SATISFY THEMSELVES AS TO ACTUAL QUANTITIES AND SITE CONDITIONS PRIOR TO BIDDING THE WORK FOR THE CONSTRUCTION COVERED BY THIS PLAN.
- A REASONABLE EFFORT HAS BEEN MADE TO SHOW THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES AND UTILITIES IN THE CONSTRUCTION AREA. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND/OR FACILITIES CAUSED DURING THEIR CONSTRUCTION OPERATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION OF CONSTRUCTION AFFECTING UTILITIES AND THE COORDINATION OF ANY NECESSARY UTILITY RELOCATION WORK.
- COORDINATION BETWEEN ALL PARTIES IS AN ESSENTIAL PART OF THE CONTRACT.

ZONING DATA:

TYPE OF DEVELOPMENT: MULTI-FAMILY RESIDENTIAL

SIZE OF DEVELOPMENT: TOTAL LOT = 127,146 SQ. FT. (2.92 ACRES)

UNIT COUNTS: 9 BUILDINGS (7 FOUR-PLEX & 2 THREE-PLEX) CONSISTING OF 34 TOTAL UNITS. 3 ROOMS PER UNIT.

PARKING SPACES REQUIRED: 1.5 SPACES PER UNIT = 51

PARKING SPACES PROVIDED: 69 SPACES

LOADING SPACES REQUIRED: NONE

LOADING SPACES PROVIDED: 1

ADA ACCESSIBLE REQUIRED: NONE

ADA ACCESSIBLE PROVIDED: NONE

BICYCLE RACKS REQUIRED: 2 (1 PER 30 UNITS)

BICYCLE RACKS PROVIDED: 2

C-3 ZONING SETBACKS: - FRONT: 75' (OVERLAY DISTRICT REQUIREMENT)
- SIDE : 5'
- REAR: 10'
- HEIGHT: 35' OR 3 STORIES

GROSS DENSITY = 12 UNITS PER ACRE
UNITS 35 UNITS
AREA 2.92 ACRES

Building Areas in SQ FT:

	One 4-plexOne	3-plexProject	Total
Total heated	5,437	4,078	47,574
Total framed	6,769	5,077	59,229
2nd floor framed / heated	3,051	2,288	26,696
1st floor framed / footprint	3,718	2,789	32,533
1st floor heated	2,386	1,790	20,878
Garages	964	723	8,435
Porches	368	276	3,220

Buildings qty = 7 qty = 2 qty = 9

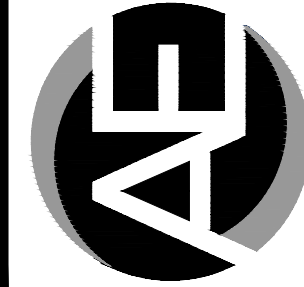
BUILDING HEIGHT - 23.75'

LOT COVERAGE 25%
- AREA OF BUILDINGS FOOTPRINT 0.72 ACRES

IMPERVIOUS AREA CALCULATIONS
- PERVIOUS AREA = 41% OF SITE (52,215 SQ. FT. OR 1.20 ACRES)
- IMPERVIOUS AREA = 59% OF SITE (74,931 SQ. FT. OR 1.72 ACRES)

OPEN SPACE CALCULATIONS
- ACTIVE = 19.4% OF SITE (24,604 SQ. FT. OR 0.57 ACRES)
- PASSIVE = 21.7% OF SITE (27,611 SQ. FT. OR 0.63 ACRES)
- TOTAL = 41.1% OF SITE (52,215 S.F. OR 1.20 ACRES)

ANDERSON
ENGINEERING
EMPLOYEE OWNED



ENGINEERING • SURVEYING • LABORATORIES
LANDSCAPE ARCHITECTURE • DRILLING • GIS

5311 W. Village Pkwy • Rogers, AR 72758 • 479.286.8181

REVISIONS				DRAWING INFO.			
NO.	DESCRIPTION	BY	DATE	DRAWN BY:			
2	PER CITY COMMENTS	NCR	2-19-20	LICENSE NO.:	MOLLY ROBB		
3	PER CITY COMMENTS	NCR	3-12-20	CHECKED BY:	FERDINAND FOURIE, PE		
4	PER CITY COMMENTS/ADDED IRRIGATION	NCR	3-23-20	LICENSE NO.:	12538		
5	PER CITY COMMENTS	NCR	4-10-20	DATE:	12-05-2019		
6	PER CITY COMMENTS	MRR	6-15-20	JOB NUMBER:	18ART0008		
© COPYRIGHT ANDERSON ENGINEERING, INC. 2018							

HUDSON ROAD TOWNHOMES LLC
10203 HOOT OWL ROAD
BENTONVILLE, AR 72712

COVER SHEET

HUDSON ROAD TOWNHOMES
HUDSON ROAD (HWY 62)
ROGERS, AR 72758

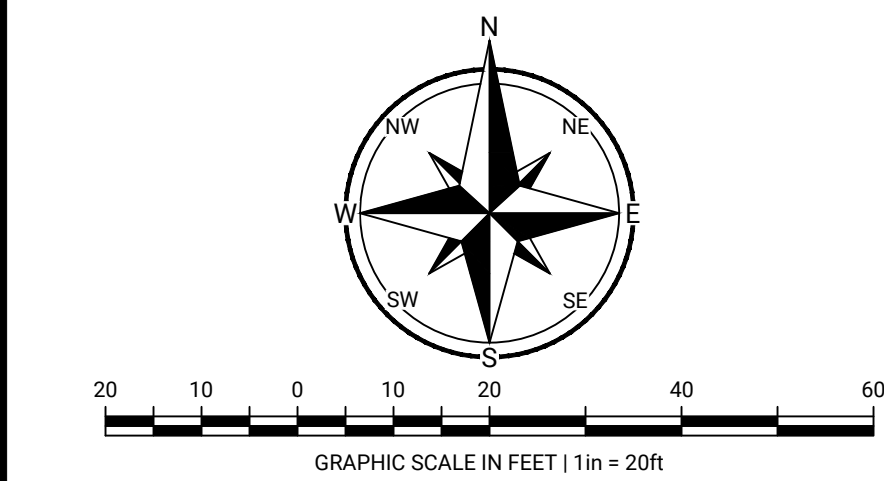


SHEET NUMBER

C1.0

DRAWING NO.

1 of 21



PARKING SPACE DIMENSIONS

AUTOMOTIVE PARKING SPACES ARE DIMENSIONED ON THE PAVING & STRIPING PLAN, SHEET C1.4

CITY OF ROGERS REQUIRED NOTES:

IF THE PROJECT COSTS EXCEED \$20,000, A STATE CONTRACTOR'S LICENSE IS REQUIRED. ROGERS CODE SEC. 14-228(6).

EASEMENT PLAT MUST BE APPROVED AND RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.

ALL CIVIL PLANS USED ON SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.

ALL HVAC AND OTHER EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.

FIRE DEPT. APPARATUS TURN RADAI

ALL TURNS HAVE BEEN VERIFIED. ALL TURNS SATISFY THE BU-40 DESIGN VEHICLE.

PROPOSED FEATURES

- REFER TO SURVEY FOR EXISTING FEATURES
- PROPERTY LINE
 - SUBDIVISION / OUTPARCEL PROPERTY LINE
 - FLAT CONCRETE CURB & GUTTER (REFER TO PAVING PLAN)
 - SEWER LINES (REFER TO UTILITY PLAN FOR TYPE AND SIZE)
 - WATER LINES (REFER TO UTILITY PLAN FOR TYPE AND SIZE)
 - UG-E UNDERGROUND ELECTRIC SERVICE
 - UG-T UNDERGROUND TELEPHONE SERVICE
 - GAS SERVICE
 - UTILITY STRUCTURES (REFER TO UTILITY PLAN FOR TYPE)
 - WATER LINE TEE, BEND, VALVE, AND PLUG
 - 6" TALL, 6' LONG WOOD PRIVACY FENCE
 - ASPHALT PAVING
 - CONCRETE PAVING
 - DUMPSTER AREA CONCRETE PAVING

PARKING LOT NOTES:

1. PROVIDE PARKING LOT IN GOOD CONDITION, PROPERLY STRIPED PER SITE LAYOUT WITH YELLOW PAINT.
2. PROVIDE PROTECTION (BOLLARDS, GUARD RAILS, OR EQUIVALENT) FOR ELECTRIC, GAS, HVAC, AND WATER METERS THAT ARE IN POTENTIALLY HAZARDOUS LOCATIONS.
3. CONTRACTOR SHALL COMPLETE ALL SITE WORK: FINAL GRADING, LANDSCAPING, SEEDING, PAVING, RETENTION, AND REMOVAL OF DEBRIS.
4. EROSION CONTROL SHALL BE PROVIDED BY CONTRACTOR.
5. CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING ALL VEGETATION AND REGIONAL APPROPRIATE LANDSCAPING. ALL LOCAL LANDSCAPE REQUIREMENTS MUST BE MET.
6. TRASH ENCLOSURE REQUIRED PER LOCAL STANDARDS AND REGULATIONS.
7. LANDSCAPING AND SITE WORK SHALL BE FREE OF DEBRIS AND IN LIKE NEW CONDITION.

GENERAL NOTES:

- A. ALL SITE DIMENSIONS TO THE FACE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- B. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- E. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
- F. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
- G. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION

CITY APPROVAL STAMP

SITE PLAN KEYNOTES

1. HEAVY DUTY ASPHALT PAVING: REFER TO DETAIL AE-P2.
2. DUMPSTER AREA CONCRETE PAVING: REFER TO DETAIL AE-P3.
3. (NOT USED)
4. TAPER CURB TO MATCH EXISTING CURB.
5. LIMITS OF NEW PAVING: PER DETAIL AE-P7 OR MATCH EXISTING PER CITY AND OR STATE STANDARDS.
6. PARKING LOT STRIPING: SYSL/4" (TYP.)
7. NO MONUMENT SIGN
8. DRIVEWAY STRIPING: DYSL/4" (TYP.) PER CITY OF ROGERS DETAIL.
9. DRIVEWAY STOP BAR: SWSL/12" PER CITY OF ROGERS DETAIL.
10. STRIPED ISLAND: SYSL/4" STRIPES @ 45°, 2' O.C.
11. (NOT USED)
12. SIDEWALK PER CITY OF ROGERS SIDEWALK DETAIL.
13. 18' X 34' LOADING ZONE
14. MAILBOXES: ACTUAL LOCATION TO BE DETERMINED BY ROGERS USPS AFTER STREET ADDRESSES ARE ASSIGNED.
15. RIGHT TURN ONLY & STOP SIGN PER ADOT SPECIFICATIONS
16. 6' SIDEWALK PER ADOT SPECIFICATIONS

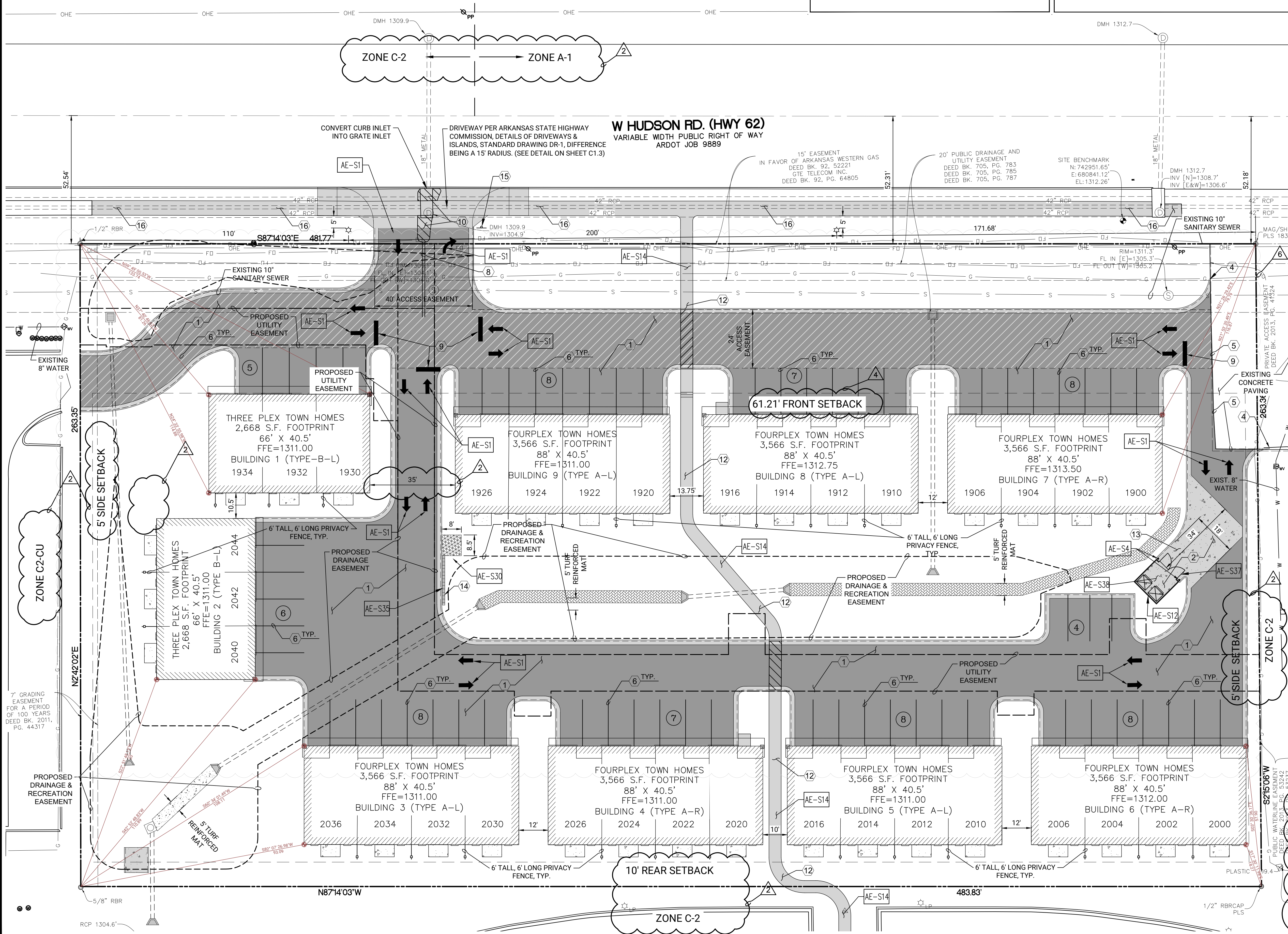
ZONING DATA:

- TYPE OF DEVELOPMENT: MULTI-FAMILY RESIDENTIAL
- SIZE OF DEVELOPMENT: TOTAL LOT = 127,146 SQ. FT. (2.92 ACRES)
- UNIT COUNTS: 9 BUILDINGS (7 FOUR-PLEX & 2 THREE-PLEX) CONSISTING OF 34 TOTAL UNITS. 3 ROOMS PER UNIT.
- PARKING SPACES REQUIRED: 1.5 SPACES PER UNIT = 51
- PARKING SPACES PROVIDED: 69 SPACES
- LOADING SPACES REQUIRED: NONE
- LOADING SPACES PROVIDED: 1
- ADA ACCESSIBLE PROVIDED: NONE
- BICYCLE RACKS REQUIRED: 2 (1 PER 30 UNITS)
- BICYCLE RACKS PROVIDED: 2
- C-3 ZONING SETBACKS: - FRONT: 75' (OVERLAY DISTRICT REQUIREMENT)
- SIDE: 10'
- REAR: 5'
- HEIGHT: 35' OR 3 STORIES

- GROSS DENSITY = 12 UNITS PER ACRE
- UNITS 35 UNITS
 - AREA 2.92 ACRES
- Building Areas in SQ FT:
- | | One 4-plex | One 3-plex | Project | Total |
|------------------------------|------------|------------|---------|--------|
| Total heated | 5,437 | 4,078 | | 47,574 |
| Total framed | 6,769 | 5,077 | | 59,229 |
| 2nd floor framed / heated | 3,051 | 2,288 | | 26,696 |
| 1st floor framed / footprint | 3,718 | 2,789 | | 32,533 |
| 1st floor heated | 2,386 | 1,790 | | 20,878 |
| Garages | 964 | 723 | | 8,435 |
| Porch | 368 | 276 | | 3,220 |
- Buildings qty = 7
- Building Height - 23.75'
- LOT COVERAGE 25%
- AREA OF BUILDINGS FOOTPRINT 0.72 ACRES
- IMPERVIOUS AREA CALCULATIONS
- PERVIOUS AREA = 41% OF SITE (52,215 SQ. FT. OR 1.20 ACRES)
- IMPERVIOUS AREA = 59% OF SITE (74,931 SQ. FT. OR 1.72 ACRES)
- OPEN SPACE CALCULATIONS
- ACTIVE = 19.4% OF SITE (24,604 SQ. FT. OR 0.57 ACRES)
- PASSIVE = 21.7% OF SITE (27,611 SQ. FT. OR 0.63 ACRES)
- TOTAL = 41.1% OF SITE (52,215 S.F. OR 1.20 ACRES)

SITE PLAN DETAILS

- AE-S1 DIRECTIONAL FLOW ARROWS
- AE-S4 STEEL BOLLARD
- AE-S12 MASONRY DUMPSTER ENCLOSURE - WALL SECTION
- AE-S14 5' SIDEWALK
- AE-S30 BICYCLE PARKING W/MODULAR BLOCK POROUS PAVING
- AE-S35 MAILBOX DETAIL
- AE-S36 BICYCLE PARKING W/MODULAR BLOCK POROUS PAVING
- AE-S37 SCREEN FENCE GATE DETAILS
- AE-S38 MASONRY SCREEN FENCE REFUSE ENCLOSURE PLAN



ANDERSON ENGINEERING
EMPLOYEE OWNED

ENGINEERING • SURVEYING • LABORATORIES
LANDSCAPE ARCHITECTURE • DRILLING • GIS

5311 W. Village Pkwy • Rogers, AR 72758 • 479.286.8181

DRAWING INFO.		REVISONS	
NO.	DESCRIPTION	NO.	DESCRIPTION
1	DRAWN BY: MOLLY ROBB	1	DESCRIPTION
2	LICENSE NO.:	2	PER CITY COMMENTS
3	CHECKED BY: FERDINAND FOURIE, PE	3	PER CITY COMMENTS
4	LICENSE NO. 12538	4	PER CITY COMMENTS/ADDED IRRIGATION
5	DATE: 12-05-2019	5	PER CITY COMMENTS
6	JOB NUMBER: 18A10008	6	PER CITY COMMENTS

HUDSON ROAD TOWNHOMES LLC
10203 HOOT OWL ROAD
BENTONVILLE, AR 72712

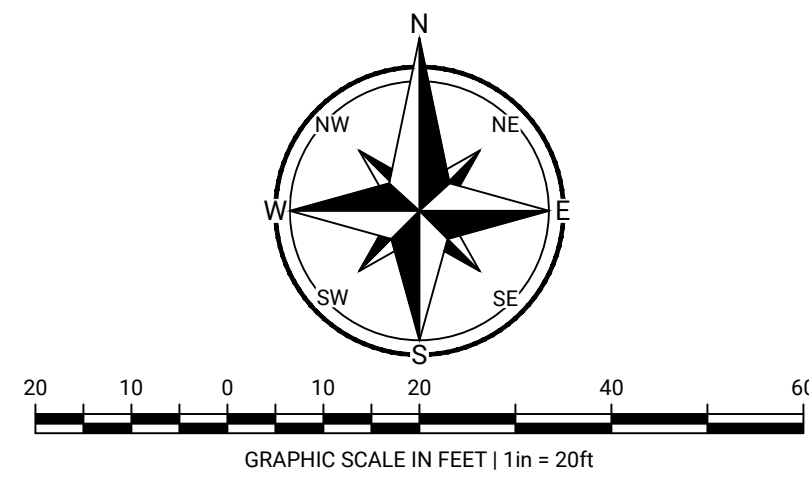
SITE PLAN

HUDSON ROAD TOWNHOMES
HUDSON ROAD (HWY 62)
ROGERS, AR 72758

REGISTERED PROFESSIONAL ENGINEER
No. 12538
EXPIRATION DATE 06-15-2020

C1.2

DRAWING NO.
3 of 21



CITY OF ROGERS REQUIRED NOTES:

IF THE PROJECT COSTS EXCEED \$20,000, A STATE CONTRACTOR'S LICENSE IS REQUIRED. ROGERS CODE SEC. 14-228(6).

EASEMENT PLAT MUST BE APPROVED AND RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.

ALL CIVIL PLANS USED ON SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.

ALL HVAC AND OTHER EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.

RWU REQUIRED NOTE

ALL MATERIALS AND METHODS USED TO CONSTRUCT, MODIFY, OR TAP ANY PUBLIC WATER AND SEWER MAIN SHALL CONFORM TO RWU STANDARD SPECIFICATIONS AND STANDARD DETAILS.

UTILITY PLAN DETAILS (SEE SHEET C1.3)

- AE-UI SANITARY SEWER CLEAN-OUT
- AE-US UNDERGROUND ELECTRICAL CONDUITS
- AE-UT TRENCHING AND BEDDING

TELEPHONE SERVICE REQUIREMENTS

SPECIAL NOTE: NEW SERVICE TO BUILDINGS SHALL BE AN UNDERGROUND SERVICE. CONTRACTOR SHALL SCHEDULE INSTALLATION OF UTILITY TELEPHONE SERVICE CONDUIT WITH OWNER.

SCHEDULE 40 PVC CONDUIT WITH RIGID GALVANIZED STEEL LONG SWEEP BENDS @ 18" 24" DEPTH FOR PHONE SERVICE. PROVIDE MINIMUM 1/4" POLYPROPYLENE PULL LINE. PLACE CONDUIT A MINIMUM OF 12" FROM UG ELECTRICAL CONDUITS IN SAME TRENCH.

CAP CONDUIT AT PROPERTY LINE BELOW FINISHED GRADE AND INSTALL CABLE MARKER FOR PHONE COMPANY. IF NECESSARY, OTHERWISE, CONTINUE PHONE SERVICE CONDUIT TO A POLE AND INSTALL RIGID GALVANIZED STEEL CONDUIT TO A MINIMUM 10' ABOVE FINISH GRADE, ATTACHED TO POLE.

CONTRACTOR SHALL COORDINATE INSTALLATION AND VERIFY REQUIREMENTS WITH PHONE COMPANY. PLUS INCLUDE ALL FEES (IF ANY) BY PHONE COMPANY FOR INSTALLATION OF 26 PAIR CABLE IN MENTIONED CONDUIT. TO CONTRACTOR INSTALLED 4" 4" 4" BACKBOARD WITHIN BUILDING. CONTRACTOR SHALL PROVIDE #6 AWG CU GROUND TO TELEPHONE EQUIPMENT LOCATION FROM ELECTRICAL GROUNDING ELECTRODE SYSTEM. FINAL CONNECTIONS AND INSIDE PHONE WIRING BY OWNER.

ONLY IF UNDERGROUND PHONE SERVICE IS NOT AVAILABLE, THEN MAY CONTRACTOR INSTALL APPROPRIATE OVERHEAD PHONE SERVICE RISER WEATHERHEAD, ETC., COORDINATE WITH OWNER AND PHONE CO.

NOTE TO CONTRACTOR

INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

GENERAL GAS METER NOTES

1. THE CONTRACTOR TO LEAVE AN OPEN 5' X 7' AREA IN THE CONCRETE OR LEAVE OUT ONE SLAB SECTION OF THE SIDEWALK AREA, WHERE THE INFLEXIBLE METER RISER WILL COME THROUGH. BREAK OUT ANY ROCK IN THIS AREA TO A DEPTH OF 2 FEET.
2. DO NOT SLEEVE THE AREA WHERE THE RISER WILL COME UP.
3. CONTRACTOR TO PLACE A STAKE AND MARK "AGE" WHERE THE RISER FOR THE METER IS DESIRED.
4. GAS METER NEEDS TO BE A MINIMUM 3 FEET FROM ANY OPEN WINDOW OR DOOR.
5. GAS METER NEEDS TO BE A MINIMUM 3 FEET FROM ANY POWER BOX, AND 6 FEET FROM TRANSFORMERS.
6. GAS METER NEEDS TO BE A MINIMUM 6 FEET FROM THE SIAMSESE HOOK-UP (SPRINKLER SYSTEM) PER FIRE DEPARTMENT REQUIREMENTS.
7. GAS METER TO BE A MINIMUM 3 FEET AWAY FROM ANY INTAKE VENT.
8. GAS METER WILL BE 10 INCHES OFF THE WALL.
9. MINIMUM REQUIREMENT FOR THE BOTTOM OF THE DIAPHRAGM METER WILL BE 8 INCHES FROM GROUND LEVEL.
10. VENT TERMINAL SHALL BE A MINIMUM 3 FEET CLEARANCE TO EACH SIDE OF THE CENTERLINE EXTENDED ABOVE THE GAS METER / REGULATOR ASSEMBLY TO A MINIMUM VERTICAL DISTANCE OF 15 FEET.

NOTE TO CONTRACTOR

SEE ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS AND UTILITY ENTRANCE LOCATIONS.

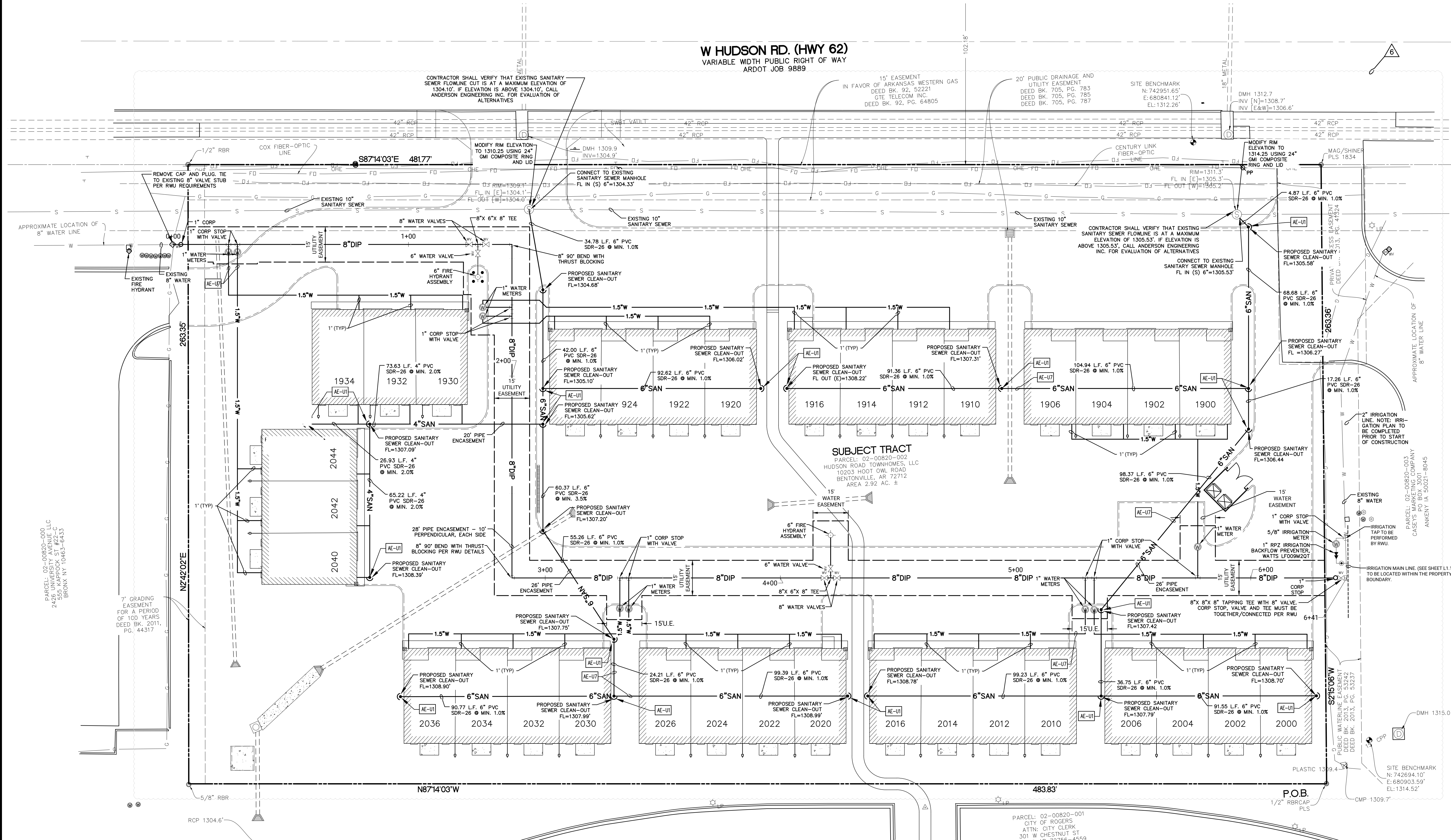
GENERAL UTILITY NOTES

1. THE CONTRACTOR IS OBLIGATED TO INSPECT FOR EXISTING CONDITIONS/INSTALLATIONS AND AVAILABLE INFORMATION PRIOR TO SUBMITTING A BID. REFER TO SPECIFICATIONS ALSO.
2. EXISTING INSTALLATIONS (SUCH AS WATER MAINS/LINES, GAS MAINS/LINES, SEWER MAINS/LINES, TELEPHONE LINES, POWER LINES AND UTILITY STRUCTURES IN THE VICINITY OF THE WORK TO BE DONE) ARE INDICATED ON THE DRAWINGS ONLY TO THE EXTENT THAT SUCH INFORMATION IS AVAILABLE TO OR DISCOVERED BY THE ENGINEER IN PREPARING THE DRAWINGS. THERE IS NO GUARANTEE AS TO THE ACCURACY OR COMPLETENESS OF SUCH INFORMATION, AND ALL RESPONSIBILITY FOR THE ACCURACY AND COMPLETENESS THEREOF IS EXPRESSLY DISCLAIMED.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING ALL EXISTING INSTALLATIONS.
4. ANY DELAY, ADDITIONAL WORK, FEES OR EXTRA COST TO THE CONTRACTOR CAUSED BY OR RESULTING FROM DAMAGE TO OR MODIFICATION OF EXISTING INSTALLATIONS BY THE CONTRACTOR OR AFFECTED UTILITY COMPANY SHALL NOT CONSTITUTE A CLAIM FOR EXTRA WORK, ADDITIONAL PAYMENT OR DAMAGES.
5. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION PRIOR TO SUBMITTING HIS BID. NO EXTRAS WILL BE PAID DUE TO UNANTICIPATED EXISTING CONDITIONS/INSTALLATIONS.
6. CONTRACTOR SHALL COORDINATE ACTUAL LINEAR FEET OF LINES REQUIRED WITH APPROPRIATE UTILITY COMPANIES.
7. CONTRACTOR IS RESPONSIBLE FOR ALL FITTINGS, BACKFLOW PREVENTERS, VALVES, PIPING, THRUST BLOCKING, MECHANICAL JOINTS, ETC. REQUIRED BY UTILITY COMPANIES FOR WATER, GAS, SEWER, ELECTRICAL, TELECOM, FIBER, ETC.
8. CONTRACTOR RESPONSIBLE FOR ALL INFRASTRUCTURE REQUIRED BY UTILITY COMPANIES. ANY OMISSIONS ON THESE DRAWINGS WILL NOT CONSTITUTE A CHANGE ORDER. COORDINATE WITH UTILITY COMPANIES.
9. FIELD VERIFY SANITARY SEWER CONNECTION INVERT PRIOR TO ESTABLISHING FINAL FINISH FLOOR ELEVATION. REFER TO SITE UTILITIES PLAN.

CITY APPROVAL STAMP

PROPOSED FEATURES

- REFER TO SURVEY FOR EXISTING FEATURES
- PROPERTY LINE
 - SUBDIVISION / OUTPARCEL PROPERTY LINE
 - FLAT CONCRETE CURB AND GUTTER (REFER TO PAVING PLAN)
 - SEWER LINES | REFER TO UTILITY PLAN FOR TYPE AND SIZE
 - WATER LINES | REFER TO UTILITY PLAN FOR TYPE AND SIZE
 - UG-E UNDERGROUND ELECTRIC SERVICE
 - UG-T UNDERGROUND TELEPHONE SERVICE
 - GAS SERVICE
 - UTILITY STRUCTURES | REFER TO UTILITY PLAN FOR TYPE
 - WATER LINE TEE, BEND, VALVE, AND PLUG



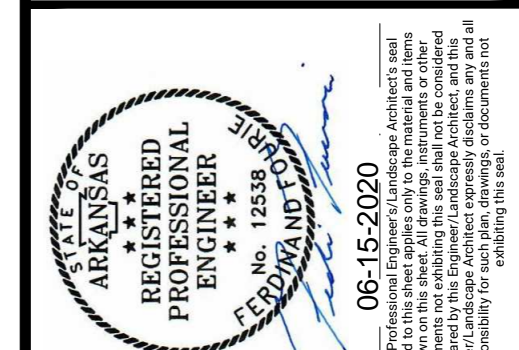
DRAWING INFO.		REVISIONS	
NO.	DESCRIPTION	BY	DATE
1	PER CITY COMMENTS	NCR	1-16-20
2	PER CITY COMMENTS	NCR	2-19-20
3	PER CITY COMMENTS	NCR	3-12-20
4	PER CITY COMMENTS/ADDED IRRIGATION	NCR	3-23-20
6	PER CITY COMMENTS	MRR	6-15-20

DRAWN BY:	MOLLY ROBB
LICENSE NO.:	
CHECKED BY:	FERDINAND FOURIE, PE
LICENSE NO.:	12538
DATE:	12-05-2019
JOB NUMBER:	18A10008

HUDSON ROAD TOWNHOMES LLC
10203 HOOT OWL ROAD
BENTONVILLE, AR 72712

UTILITY PLAN

HUDSON ROAD TOWNHOMES
HUDSON ROAD (HWY 62)
ROGERS, AR 72758



PLANT SCHEDULE				
SYM.	KEY	QTY	COMMON NAME	SIZE SPACING COMMENTS
			Botanical Name	
RM	7		RED MAPLE	DEC. SHADE TREE, B&B, 2.5" CAL, 8' TALL, SUN OR SHADE, ZONE: 6-9 MH:40'-50' MW:25'-35'
			<i>Acer rubrum</i>	
KC	2		KENTUCKY COFFEE TREE	DEC. SHADE TREE, B&B, 2.5" CAL, 8' TALL, FULL SUN, ZONE: 6-8 MH: 60'-75' MW: 40'-50'
			<i>Gymnocladus dioica</i>	
RB	1		EASTERN REDBUD	ORN. TREE, B&B, 2" CAL. MIN. 6' TALL, SUN/ PT. SHADE, ZONE: 6-9 MH: 20'-30' MW: 12'-25'
			<i>Cercis canadensis</i>	
AH	21		AMERICAN HOLLY	SCREENING, EVGR, TREE, B&B, 2.5" CAL, 8' TALL, SUN/PT SHADE, ZONE: 6-9 MH:15'-30' MW:10'-20'
			<i>Ilex opaca</i>	
SM	2		SOUTHERN MAGNOLIA	SHADE TREE, B&B, 2.5" CAL, 8' TALL, SUN/PT SHADE, ZONE: 7-9 MH:40'-60' MW:25'-30'
			<i>Magnolia grandiflora</i>	
DW	3		FLOWERING DOGWOOD	ORNAMENTAL TREE, B&B, 6' TALL, 2" CAL (2.5" CAL. FOR 2 INTERNAL TREES), PART SHADE, ZONE: 6-9 MH: 15'-30' MW: 15'-20'
			<i>Cornus florida</i>	
EL	46		ENGLISH LAUREL	5 GAL. SPACED AS SHOWN, 18" TALL, SUN/SHADE, MH:10'-12' MW: 8'-11'
			<i>Prunus laurocerasus</i>	
OA	2		ORIENTAL ARBORVITAE	5 GAL. SPACED AS SHOWN, 18" TALL, FULL SUN, MH:10'-12' MW: 4'-5'
			<i>Thuja orientalis</i> 'American, Pyramidal'	
1. H: HEIGHT, CP: CALIPER, C: CONTAINER, MH: MATURE HEIGHT, MW: MATURE WIDTH, MT: MULTI-TRUNK, B&B: BALLED & BURLAPPED ROOT BALL, DEC: DECIDUOUS, EVGR: EVERGREEN				
2. O.C. INDICATES APPROXIMATE SPACING. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.				

CITY OF ROGERS LANDSCAPE REQUIREMENTS			
LANDSCAPE AREA	REQUIREMENT	REQUIRED	PROVIDED
MINIMUM YARD REQUIREMENTS	FRONT YARD: 25' (PER OVERLAY DISTRICT) SIDE YARD: 5' (PER C-3 ZONING) REAR YARD: 10' (PER C-3 ZONING)	FRONT YARD: 25' SIDE YARD: 5'	FRONT YARD: 18.1' FOR WEST FRONTAGE (VARIANCE REQUESTED), 26.5' FOR EAST FRONTAGE INTERIOR SIDE YARD: 6' EAST, 10' WEST REAR YARD: 17 & 11'
MAXIMUM BUILDING COVERAGE	C-3 ZONING, MAXIMUM BUILDING COVERAGE IS 80%.	C-3 ZONING, TOTAL SITE IS 127,146 S.F. NO MORE THAN 101,717 S.F. ALLOWED FOR BLDG COVERAGE	32,533 S.F. TOTAL BUILDING COVERAGE PROVIDED (25.6%)
MINIMUM OPEN SPACE	NOT LESS THAN 10% OF THE TOTAL LOT AREA SHALL BE DEVOTED TO OPEN SPACE INCLUDING REQUIRED YARDS AND BUFFERZONES. OPEN SPACE SHALL NOT INCLUDE AREAS COVERED BY BUILDINGS, STRUCTURES, PARKING, LOADING AND OTHER PAVED AREAS AND INTERNAL STREETS. OPEN SPACE SHALL CONTAIN LIVING GROUND COVER AND OTHER LANDSCAPING MATERIALS.	C-3 ZONING, TOTAL SITE IS 127,146 S.F., OF WHICH, 12,715 S.F. REQUIRED OPEN SPACE (10%)	52,215 S.F. OF OPEN SPACE PROVIDED (41%)
MAXIMUM IMPERVIOUS SURFACE	THE COMBINED AREA OCCUPIED BY ALL MAIN AND ACCESSORY BUILDINGS OR STRUCTURES, PARKING, LOADING AND OTHER PAVED AREAS AND ANY OTHER SURFACES WHICH REDUCE AND PREVENT ABSORPTION OF STORMWATER SHALL NOT EXCEED 90% OF THE TOTAL AREA.	C-3 ZONING, TOTAL SITE IS 127,146 S.F., OF WHICH, NO MORE THAN 114,431 S.F. MAY BE IMPERVIOUS SURFACE (90%)	74,931 S.F. OF IMPERVIOUS SURFACE PROVIDED (59%)
% OF TOTAL LAND AREA	IF THE TOTAL CURRENT DEVELOPMENT AREA IS TWO ACRES OR MORE, THE DEVELOPER MUST PROVIDE A MINIMUM OF 30 PERCENT GREEN SPACE WITH AT LEAST ONE NEW TREE OR SHRUB MEETING THE PLANT CRITERIA HEREIN FOR EACH 2,000 SQUARE FEET OF THE TOTAL CURRENT DEVELOPMENT AREA.	TOTAL SITE IS 127,146 S.F., 25,429 S.F. OF GREEN SPACE REQUIRED WITH 63.57 NEW TREES OR SHRUBS	TOTAL SITE IS 127,146 S.F., 52,215 S.F. OF GREEN SPACE PROVIDED (41%) WITH 16 NEW TREES AND 48 NEW SHRUBS FOR A TOTAL OF 64 NEW PLANTS.
MINIMUM 25% TREES	25% OF ALL REQUIRED PLANTS MUST BE TREES. STREET TREES DO NOT COUNT TOWARDS THIS REQUIREMENT	64 TREES OR SHRUBS REQUIRED, 16 OF WHICH MUST BE TREES	16 TREES PROVIDED (25%) AND 48 SHRUBS PROVIDED (75%)
PARKING LOT LANDSCAPING	OPTION 2, TREE ISLAND: SINGLE BAY PARKING AREAS MUST HAVE AN 18'X18' TREE ISLAND (MIN. 324 S.F.) WITH A MAX. RUN OF 15 PARKING SPACES PERMITTED WITHOUT A TREE ISLAND	MUST HAVE AN 18'X18' TREE ISLAND (MIN. 324 S.F.) WITH A MAX. RUN OF 15 PARKING SPACES PERMITTED WITHOUT A TREE ISLAND	PLAN CONFORMS WITH ISLANDS SPACED AT EVERY 8 PARKING SPACES FOR A TOTAL OF 7 LANDSCAPE ISLANDS FOR 69 TOTAL PARKING SPACES.
MINIMUM 25% ORNAMENTAL	NO MORE THAN 25% OF THE TOTAL NUMBER OF TREES MAY BE ORNAMENTAL TREES, AND AT LEAST 10% OF THE TREES SHALL BE EVERGREEN.	16 REQUIRED TREES. NO MORE THAN 4 TREES MAY BE ORNAMENTAL. MUST HAVE AT LEAST 2 EVERGREEN	10 SHADE TREES, 4 ORNAMENTAL AND 2 EVERGREEN TREES PROVIDED
TREE PRESERVATION/ MITIGATION	IF A SIGNIFICANT TREE IS REMOVED FROM A NONCONSTRUCTION AREA IT MUST BE REPLACED AT A REPLACEMENT RATE OF FIVE-TO-ONE.	NO SIGNIFICANT TREES EXIST ON SITE	NO SIGNIFICANT TREES EXIST ON SITE

NOTE TO OWNER

A LETTER FROM THE OWNER/DEVELOPER IS REQUIRED THAT GUARANTEES TO MAINTAIN AND/OR REPLACE THE LANDSCAPING FOR A PERIOD OF THREE YEARS STARTING ONCE THE INSTALLATION IS COMPLETE.

GREENSPACE RATIO CALCULATIONS

TOTAL SITE: 127,146 S.F.
IMPERVIOUS AREA: 74,931 (59%)
PERVIOUS AREA: 52,215 S.F. (41%)

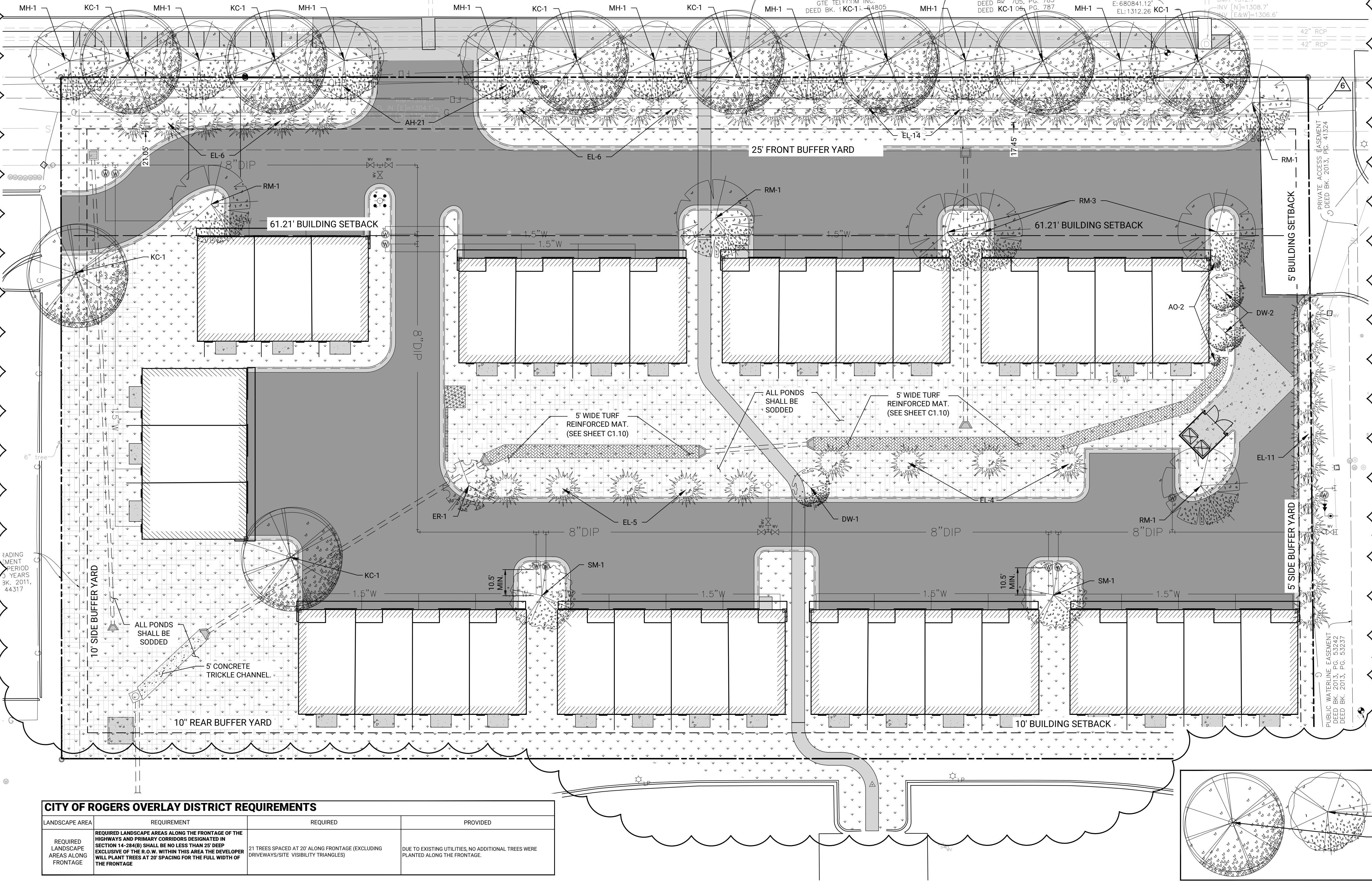
CITY APPROVAL STAMP

PROPOSED FEATURES	
REFER TO SURVEY FOR EXISTING FEATURES	
	PROPERTY LINE
	CONCRETE CURB AND GUTTER (REFER TO SITE PLAN FOR TYPE)
	STORM SEWER REFER TO GRADING PLAN FOR TYPE AND SIZE
	SEWER LINES REFER TO UTILITY PLAN FOR TYPE AND SIZE
	WATER LINES REFER TO UTILITY PLAN FOR TYPE AND SIZE
	UNDERGROUND ELECTRIC SERVICE
	OVERHEAD ELECTRIC SERVICE
	UNDERGROUND TELEPHONE SERVICE
	OVERHEAD TELEPHONE SERVICE
	FIBER OPTIC CABLE SERVICE
	GAS SERVICE
	RIP RAP REFER TO EROSION CONTROL PLANS FOR TYPE AND SIZE
LANDSCAPING FEATURES	
	STEEL EDGING. SEE LENGTH ON PLANS.
	NATIVE, DROUGHT TOLERANT, SODDED TURF AREA.
	AREAS TO BE MULCHED
	ACTIVE RECREATION OPEN SPACE

GENERAL NOTES	
1. THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT (LA) OR DESIGNATED REPRESENTATIVE (DR) REGARDING ANY DISCREPANCIES.	
2. THE CONTRACTOR SHALL NOTIFY (LA) OR (DR) OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.	
3. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDITIONS WITHIN THE PROJECT SITE, BEFORE LANDSCAPE CONSTRUCTION BEGINS.	
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.	
5. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DIGGING A SHARP SHOOTER SPADE 18" (INCHES) INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 24 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE TOO POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.	
6. ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.	
7. PLANT MATERIAL: <ul style="list-style-type: none">a. SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS (REFER TO DETAIL SHEETS) AND CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT.b. THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION LANDSCAPING DEPICTED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.c. QUALITY SHALL COMPLY TO THE NURSERY INDUSTRY, GRASS SOD, AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.d. SHALL NOT BE PLANTED IN PROGRESSING.e. ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.f. ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF 30% COMPOST (COW, MUSHROOM OR COTTON BUR), 20% PEAT MOSS AND 50% TOPSOIL BY VOLUME. ALSO, MIX IN 1LB 10-20-10 SLOW RELEASE PLANT FERTILIZER PER 100 SQ. FT. OR AS RECOMMENDED BY THE SOIL ANALYSIS.g. STAKES FOR TREE SUPPORT SHALL BE STEEL 1" BAR FENCE POST, 6' LONG, PAINTED DARK GREEN WITH TOP 6' PAINTED WHITE. TREE TIE SYSTEMS SHALL BE EASILY ADJUSTABLE, STRONG, IN ALL WEATHERS AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE.h. FOR STAKED TREES, TREE TIE SYSTEMS SHALL BE 20" DEWITT (BLACK) TREE STRAPPING TIES ALLOWED. WIRE, 14 GAUGE.i. ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY 4" X 4" PAINTED BROWN STEEL EDGING AND HYPERSON OR APPROVED EQUAL WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL)j. MULCH ALL TREE PLANTINGS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH. DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.k. ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" FABRIC BY "EAG GARDENER" OR DEWITT WEED BARRIER. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).l. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION, EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEETS FOR TOPSOIL AND SEEDING SPECIFICATIONS).m. CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER (AS REQUIRED BY THE CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT). THE CONTRACTOR SHALL REPAIR, REPLACE AND/OR PROVIDE FOR THE LANDSCAPE IRRIGATION ZONES AND HEAD PLACEMENT FOR SHRUB AREAS AND TURF AREAS. 100% HEAD TO HEAD COVERAGE WILL BE REQUIRED. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE IRRIGATION SYSTEM. PROVIDE SUBMITTALS AS REQUIRED.n. ALL PLANTING TYPES SHALL COMPLY WITH LOCAL GOVERNING CODES AND REGULATIONS. CONFORM TO REQUIREMENTS OF PLANT LIST AND TO THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARD OF NURSERY STOCK" AND "HORTICULTURAL STANDARDS" AS TO SPECIES, AGE, SIZE, AND PLANTING RECOMMENDATIONS.o. LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO ENSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADED COLORS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.p. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE ARCHITECT'S PRIOR WRITTEN APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.q. PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.r. QUANTITIES OF MATERIALS SHOWN ON LANDSCAPING PLAN ARE TAKE PRECEDENCE OVER QUANTITIES SHOWN ON PLANTING SCHEDULE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPING PLAN.	

CITY OF ROGERS REQUIRED NOTES:	
IF THE PROJECT COSTS EXCEED \$20,000, A STATE CONTRACTOR'S LICENSE IS REQUIRED. ROGERS CODE SEC. 14-228(6).	
EASEMENT PLAT MUST BE APPROVED AND RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.	
ALL CIVIL PLANS USED ON SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.	
ALL HVAC AND OTHER EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.	
PLANTINGS THAT EXCEED THE MINIMUM REQUIREMENTS MAY NOT BE REDUCED ONCE APPROVED BY PLANNING COMMISSION.	

ROGERS STREET TREE REQUIREMENTS			
LANDSCAPE AREA	REQUIREMENT	REQUIRED	PROVIDED
STREET TREE PLANTING REQUIREMENTS	1 TREE FOR EVERY 30 L.F. OF STREET FRONTAGE, WITHIN STREET ROW OR WITHIN 10' OF ROW. IRRIGULALLY SPACED AND MUST BE EITHER BROADLEAF WITH MIN. 2" CAL. OR EVERGREEN WITH MIN. 5" PLANTED HEIGHT	14.06 TREES FOR 421.85 L.F. OF STREET FRONTAGE (EXCLUDING DRIVEWAYS/SITE VISIBILITY TRIANGLES)	15 TREES FOR 421.85 L.F. OF STREET FRONTAGE (EXCLUDING DRIVEWAYS/SITE VISIBILITY TRIANGLES)
STREET TREES PLANT SCHEDULE			
SYM.	KEY	QTY	COMMON NAME Botanical Name SIZE SPACING COMMENTS
MH	8		MAIDENHAIR TREE Ginkgo biloba SHADE TREE, B&B, 2.5" CAL, 8' TALL
KC	7		KENTUCKY COFFEE TREE Gymnocladus dioica SHADE TREE, B&B, 2.5" CAL, 8' TALL
1. H: HEIGHT, CP: CALIPER, C: CONTAINER, MH: MATURE HEIGHT, MW: MATURE WIDTH, MT: MULTI-TRUNK, B&B: BALLED & BURLAPPED ROOT BALL, DEC: DECIDUOUS, EVGR: EVERGREEN			
2. O.C. INDICATES APPROXIMATE SPACING. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.			



CITY OF ROGERS OVERLAY DISTRICT REQUIREMENTS			
LANDSCAPE AREA	REQUIREMENT	REQUIRED	PROVIDED
REQUIRED LANDSCAPE AREAS ALONG THE FRONTAGE OF THE HIGHWAYS AND PRIMARY CORRIDORS DESIGNATED IN SECTION 14-284(B) SHALL BE NO LESS THAN 25' DEEP EXCLUSIVE OF THE R.O.W. WITHIN THIS AREA THE DEVELOPER WILL PLANT TREES AT 20' SPACING FOR THE FULL WIDTH OF THE FRONTAGE	21 TREES SPACED AT 20' ALONG FRONTAGE (EXCLUDING DRIVEWAYS/SITE VISIBILITY TRIANGLES)	DUE TO EXISTING UTILITIES, NO ADDITIONAL TREES WERE PLANTED ALONG THE FRONTAGE.	

ANDERSON ENGINEERING
EMPLOYEE OWNED

ENGINEERING • SURVEYING • LABORATORIES
LANDSCAPE ARCHITECTURE • DRILLING • GIS

5311 W. Village Pkwy • Rogers, AR 72758 • 479.286.8181

DRAWING NO. L1.0
SHEET NUMBER 16 of 21

HUDSON ROAD TOWNHOMES LLC
10203 HOOT OWL ROAD
BENTONVILLE, AR 72712
LANDSCAPE PLAN
HUDSON ROAD TOWNHOMES
HUDSON ROAD (HWY 62)
ROGERS, AR 72758

REVISIONS

NO.	DESCRIPTION	BY	DATE
1	PER CITY COMMENTS	NCR	1-16-20
2	PER CITY COMMENTS	NCR	2-19-20
3	PER CITY COMMENTS	NCR	3-12-20
4	PER CITY COMMENTS	NCR	3-23-20
6	PER CITY COMMENTS	MRR	6-15-20

DRAWING INFO.

DRAWN BY:	CHECKED BY:	DATE:
MOLLY ROBB	FERDINAND FOURIE, PE	12-05-2019

DATE: 12-05-2019

JOB NUMBER: 18ART0008

© COPYRIGHT ANDERSON ENGINEERING, INC. 2018