



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

MEETING DATE
MAR. 17 2020

TO: PLANNING COMMISSION
DEVELOPMENT REVIEW COMMITTEE

RE: **STAFF SUMMARY REPORT**
LARGE-SCALE DEVELOPMENT PLANS – HEDBERG ALLERGY BUILDING ADDITION

STAFF: ELIZABETH JOHNSON, PLANNER III
KRISTIFER PAXTON, DEVELOPMENT COMPLIANCE MANAGER

REQUEST DETAILS

PROJECT NAME:	Hedberg Allergy Building Addition
ADDRESS/LOCATION:	700 S 52 nd Street
PROPOSED USE:	Medical, Dental, and Health Practitioner Office
CURRENT ZONING:	R-O (Residential Office) and C-2 (Highway Commercial)
CGM GROWTH DESIGNATION:	Commerce Corridor
APPLICANT/REPRESENTATIVE:	Jorgensen and Associates
PROJECT OWNER/DEVELOPER:	Hedberg Allergy & Asthma Center – Michelle Hedberg
PROPERTY OWNER:	Hedberg Allergy & Asthma Center – Michelle Hedberg
NATURE OF REQUEST:	Approval of Large-Scale Development Plans
AUTHORITY:	Chapter 14, Article III, Rogers Code of Ordinances

SUMMARY

This request is to allow the construction of a building addition of 3,640-sf on 0.83± acres to a medical facility, bringing the overall building square footage to 7,798-sf. The proposed development plans meet all City requirements (except for requested waivers/variances) and have been forwarded to the Planning Commission for approval per Sec. 14-230(b). See STAFF REVIEW for additional findings.

Community Development recommends approval of this request subject to the following actions:

1. **Approve WAIVER from Sec. 14-256(14)(D) for the requirement that no more than 25% of the total number of trees may be ornamental.**
2. **Approve WAIVER from Sec. 14-256 from requiring street improvements and right-of-way dedication.**

STAFF REVIEW

ENGINEERING REVIEW

1. ACCESS MANAGEMENT:

The applicant's proposed project meets Access Management requirements.

2. STORMWATER MANAGEMENT:

The impact of the structure to the Stormwater system is minimal and does not require additional Stormwater management features.

3. WATER QUALITY:

Water quality requirements are not applicable because of the limited size of the area of disturbance.

4. FLOODPLAIN MANAGEMENT:

No portion of this project is within a Special Flood Hazard Area (SFHA). The project is located in Zone 'X'.

5. MASTER STREET PLAN IMPROVEMENTS:

a) Street Pavement and Condition:

The pavement along S 52nd Street is in good condition. The right-of-way is substandard and does not match the Typical Street Section. The applicant requests a **WAIVER** from Sec. 14-256 from requiring right-of-way dedication and street improvements.

b) Connectivity Standards:

Connectivity standards are not applicable to this project.

c) Streetscape:

i) Right-of-Way:

The existing S 52nd Street right-of-way is 80ft on center, and an additional 10ft of right-of-way dedication would be required unless waived, as requested, along this property.

ii) Sidewalks & Sidepaths:

The existing sidewalk along S 52nd Street is 5ft and does not meet the requirements per the Typical Street Section. A 10 foot wide sidepath would be required unless waived, as requested, along this property.

d) Trails:

S 52nd Street is a Major Arterial which requires sidepaths. No trails are proposed or required other than the sidepath, as previously discussed. An existing 10ft wide trail is located to the west side of the Metro Park North subdivision, which is not located on or along this parcel.

e) Streetlights:

The applicant's waiver request from Sec. 14-256 would include this requirement.

f) Street Trees:

The applicant's waiver request from Sec. 14-256 would include this requirement.

6. RECOMMENDATIONS:

Approve WAIVER from Sec. 14-256. The existing 5ft sidewalk and existing right-of-way aligns with developments along this path. There are existing utilities that would require relocation. There are mature trees that would be required to be removed in order to meet this requirement. When determining the amount of and necessity of a dedication or upgrade the City shall consider whether the upgrade or dedication has a reasonable nexus to the legitimate interest of the City and whether the details of the upgrade or dedication are reasonably proportional to the impacts of the project as required by state and federal law [per Sec 14-580(4)d].



KRIS PAXTON, Development Compliance Manager
Engineering Division



LANCE JOBE, City Engineer
Engineering Division

PLANNING REVIEW

1. LAND USE:

a) Use Definition:

"Medical, Dental, and Health Practitioner Office" is defined as "office or clinic uses related to diagnosis and treatment of human patients' illnesses, injuries and physical maladies that can be performed in an office setting with no overnight care. Medical, Dental, and Health Practitioner Office includes: Blood and plasma donation centers; Offices or clinics of physicians, dentists, psychiatrists, psychologists, chiropractors, and practitioners of massage therapy; Surgical, rehabilitation, and other medical centers that do not involve overnight patient; Medical and dental laboratories; and Ancillary sales of medications and medical that are attendant to the use as a medical, dental, or health practitioner office," (Sec. 14-695).

b) Zoning Compliance:

The proposed project is in compliance with R-O and C-2 zoning regulations.

c) CGM Compliance:

The proposed project aligns with the purpose, character, and goals of the Neighborhood Growth Designation.

2. DEVELOPMENT STANDARDS:

The proposed development plans conform to all development standards required by Sec. 14-706 and 709 and Article III with the exception of any requested waivers and/or variances.

a) Building Disposition:

All setback and height requirements have been met.

b) Building Design:

N/A

c) Parking & Loading:

All vehicle and bicycle parking requirements have been met.

d) Screening & Transitions:

All screening requirements have been met.

e) Landscaping:

The applicant requests a **WAIVER** from Sec. 14-256(14)(D) for the requirement that no more than 25% of the total number of trees may be ornamental. All other landscaping requirements have been met.

3. RECOMMENDATIONS:

- a) Approve **WAIVER** from Sec. 14-256(14)(D) for the requirement that no more than 25% of the total number of trees may be ornamental. This is an infill development project on a site that has existing landscaping trees, 3 of which are ornamental. Those existing trees bring the total percentage of ornamental trees on site to 33%. The applicant is not adding any additional ornamental trees and they are meeting all other landscaping requirements. Staff recommends approval of this waiver due to the existing trees.

ELIZABETH JOHNSON, Planner III
Planning Division

ETHAN HUNTER, City Planner
Planning Division

OTHER REVIEWS

The proposed development plans have been reviewed by the City of Rogers Risk Reduction Division and Rogers Water Utilities (see Tab 2 for RWU conditional approval letter). All projects are made available for review by franchise utilities, Benton County 911 Administration, and other affected agencies per Sec. 14-227.

DIRECTOR'S COMMENTS

1. Agree with recommendations.



JOHN C. McCURDY, Director
Community Development

SUGGESTED MOTIONS

1. IF APPROVING:
Move to approve the Large-Scale Development Plans as presented.
2. IF APPROVING SUBJECT TO OTHER ACTIONS:
Move to approve the Large-Scale Development Plans subject to [conditions, contingencies, waivers/variances].
3. IF DENYING:
Move to deny the request as presented.
4. IF TABLING:
Move to table the request [indefinite or date certain].

TABS

1. RWU conditional approval letter
2. Waiver and/or variance request letter
3. Vicinity maps (aerial, zoning, CGM)
4. Large-Scale Development Plans

February 21, 2020

Mr. Charles Zardin, PE
Jorgensen & Associates
124 West Sunbridge, Suite 5
Fayetteville, AR 72703

RE: Technical Advisory Committee Review and Conditional Approval of Plans
Hedberg Allergy Clinic

Dear Mr. Zardin:

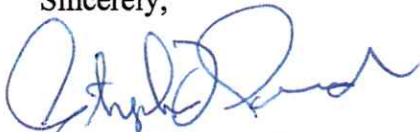
We have reviewed the Large Scale Development Plans for Hedberg Allergy Clinic. We have the following comments:

1. The following portions of the project, while not part of the site design, must also be approved by the Utility before water or sewer service is established:
 - a. Provide plumbing plans for review. The plumbing plans must include an approved RPZA for backflow protection.
 - b. Provide fire suppression plans if required. Approved backflow protection is required on a fire protection system.

Please forward these requirements to the appropriate design firm(s) and to your client.

Approval of this project is void if construction has not commenced within one year of the date of this letter.

Sincerely,



Stephen Ponder, PE
Project Engineer



JORGENSEN
+ASSOCIATES
Civil Engineering · Surveying
Landscape Architecture Services

124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703

Office: 479.442.9127
Fax: 479.582.4807
www.jorgensenassoc.com

March 3, 2020

City of Rogers
301 W. Chestnut St.
Rogers, AR 72756

Attn: Planning Department
Re: Waiver Request for Hedberg Allergy Building Addition LSDP

Lori Ericson, Planning Administrator:

Please accept this request from Hedberg Allergy Clinic for a waiver from the Code of Ordinances for the City of Rogers, Arkansas, Section 14-256 regarding right-of-way dedication and sidewalk improvements along S. 52nd Street. The development code requires an additional 10' of right-of-way dedication and construction of a 10' wide sidewalk with 6' greenspace, and street trees planted in the greenspace. The property currently has a 5' sidewalk along S. 52nd Street, which matches with the surrounding properties on S. 52nd Street that also have 5' sidewalks. The developer feels that the removal of the existing sidewalk and construction of a 10' sidewalk along the property's frontage at this point will create a situation that doesn't conform with the surrounding properties. There are also established 6" maple trees along the back side of the sidewalk that would have to be removed, along with an electrical box that would have to be relocated. The developer is asking for a waiver from these requirements at this time, but is willing to dedicate right-of-way in the future if improvements are made to S. 52nd Street all at once.

The developer would also like to request a waiver from Section 14-256 (14)(d), which states that no more than 25 percent of the total number of trees may be ornamental trees. The proposed development includes 7 existing trees that shall be preserved, as well as 2 newly proposed trees, for a total of 9 trees total. Of the existing trees, 3 are Redbuds, which are classified as ornamental. This will create a situation where 33% of the trees are ornamental. The developer is asking for a waiver from this requirement, due to the existing Redbuds being well established trees in good condition.

We thank you for your consideration of this proposal, and please contact us with any questions or comments.

Sincerely;

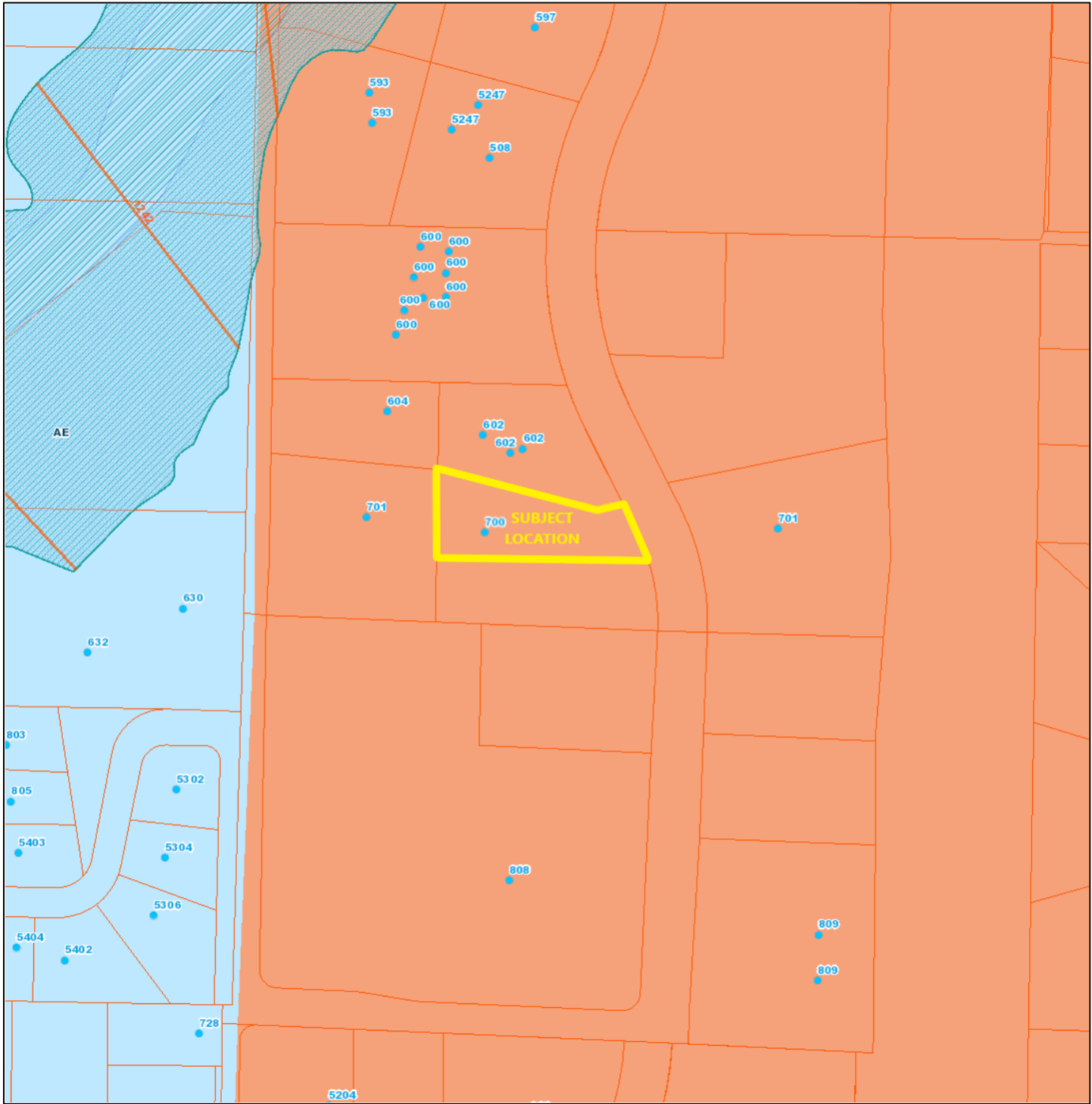


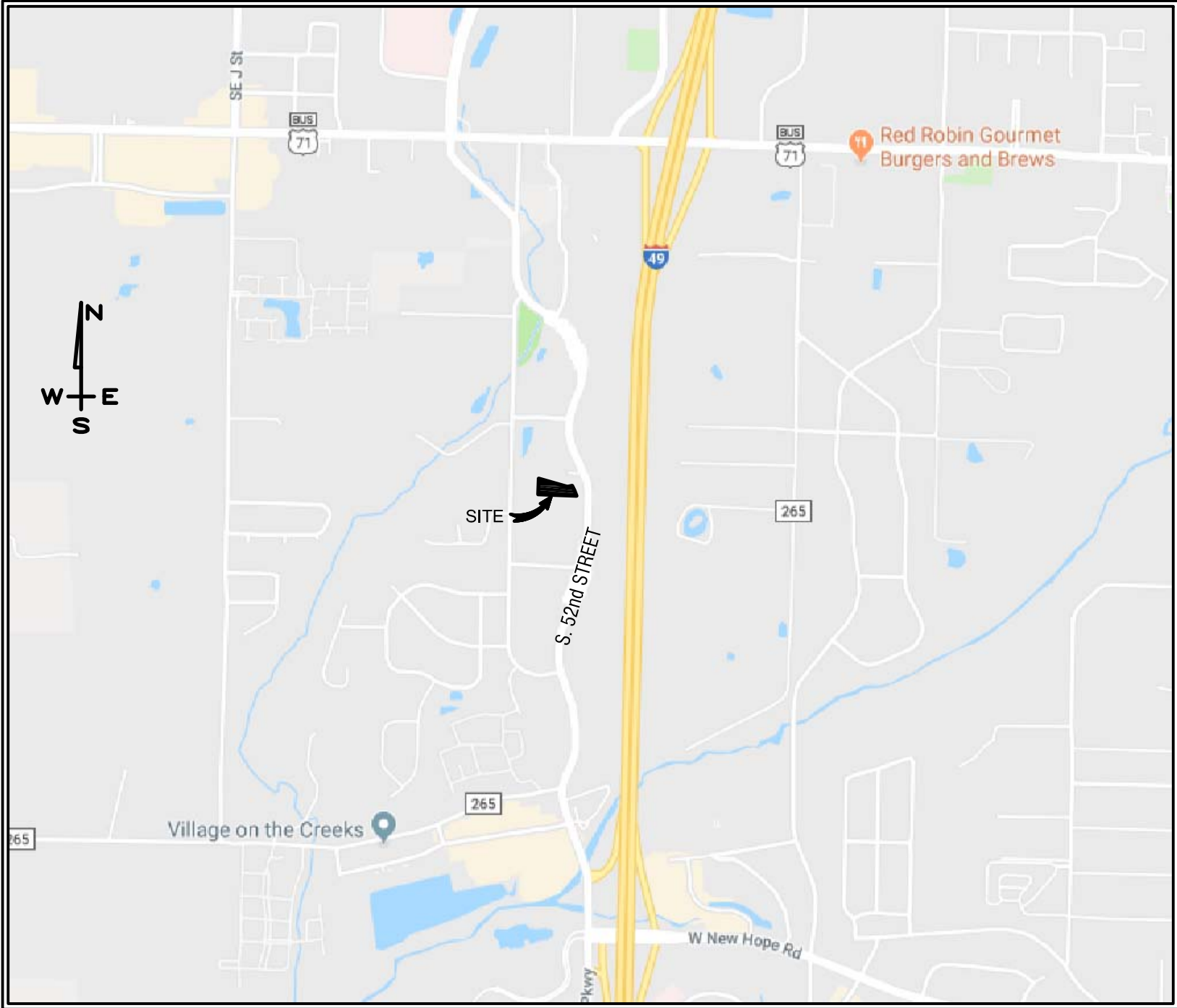
Charles Zardin, PE

HEDBERG ALLERGY BUILDING ADDITION AERIAL MAP:



HEDBERG ALLERGY BUILDING ADDITION CGM MAP:





VICINITY MAP
ROGERS, ARKANSAS

LEGAL DESCRIPTION:

Lot 14 of Metro Park North to the City of Rogers, Benton County, Arkansas, as shown on Revised Final Plat filed for record in Plat Book 2006 at Pages 1249, 1250 and 1251.

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION AND/OR DAMAGE TO UTILITIES.
2. ALL WATER AND SEWER IMPROVEMENTS SHALL CONFORM TO THE CITY OF ROGERS WATER AND SEWER SPECS AND STREET AND DRAINAGE SHALL CONFORM TO THE CITY OF ROGERS STREET AND DRAINAGE SPECS.
3. THERE ARE NUMEROUS PUBLIC AND PRIVATE UTILITIES WITHIN AND ADJACENT TO THE LIMITS OF CONSTRUCTION AND AN ATTEMPT HAS BEEN MADE TO INDICATE THEIR PRESENCE ON THE PLAN. PRIOR TO BEGINNING ANY TYPE OF EXCAVATION THE CONTRACTOR SHALL CONTACT THE VARIOUS UTILITY COMPANIES AND MAKE ARRANGEMENTS FOR THE LOCATION OF THE UTILITY ON THE GROUND. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE UTILITY LOCATION MARKINGS UNTIL THEY ARE NO LONGER NECESSARY.
4. CONTACT ALL UTILITIES PRIOR TO CONSTRUCTION TO ENSURE THAT ALL EXISTING UTILITIES ARE LOCATED.
5. RESTORATION AND CLEAN-UP ON-SITE AS WELL AS OFFSITE PROPERTIES AFFECTED BY IMPROVEMENTS, SHALL BE COMPLETE BEFORE ACCEPTANCE OF JOB.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING BMP'S, POSTING SWPPP ON SITE, AND MONITORING/MAINTENANCE OF EROSION CONTROL MEASURES.
7. ANY DAMAGE TO THE EXISTING PUBLIC STREET DUE TO CONSTRUCTION SHALL BE REPAIRED/REPLACED AT THE OWNER/DEVELOPERS EXPENSE.
8. EASEMENT PLAT IS REQUIRED TO BE RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.
9. THE CONTRACTOR SHALL MAINTAIN 10" HORIZONTAL & 18" VERTICAL CLEARANCE BETWEEN SEWER LINES AND WATER LINES.
10. PROVIDE 3" MIN. COVER OVER 8" WATER LINES.
11. WATER VALVES & FIRE HYDRANTS SHALL BE PLACED TO AVOID BEING WITHIN THE PROPOSED SIDEWALK LOCATIONS.
12. ALL STORM DRAIN SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS.
13. CONTRACTOR SHALL RESTORE ALL OFFSITE PROPERTIES AFFECTED BY IMPROVEMENTS TO THEIR ORIGINAL CONDITION.
14. IF THE PROJECT COSTS EXCEED \$20,000, A STATE CONTRACTOR'S LICENSE IS REQUIRED PER ROGERS CODE SEC. 14-228(6).
15. ALL HVAC AND OTHER MECHANICAL EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.
16. ALL CIVIL PLANS USED ON SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.

Clarification of Requirements

Water, Sewer, Streets, Drainage, and Inspections

A) Inspections and Testing Procedures:

1. All field tests required for a project shall be witnessed by the city in the presence of the Engineer and Contractor, or their representative.
2. The City requires a 48-hour notice on all tests. Calls to the City for the purpose of setting test times should be made by 10:00 am for test on the following day. Tests delayed by weather or other factors will be rescheduled on the same basis.
3. It is the responsibility of the Engineer and Contractor to coordinate the scheduling of such tests with the City.
4. All equipment, materials, and labor required for testing shall be furnished by the Contractor at his expense.
5. Prior to final acceptance by the City, the project shall be subject to a joint final inspection by a designated representative of the City Engineer's Office, a representative of the Rogers Water and Sewer Maintenance Department, the Engineer of record for the project, and the Contractor.

Review of these plans is limited to general compliance with city codes and regulations and does not warrant the engineer's design or relieve the developer of any requirements, even if errors, omissions, or any inadequacies are discovered after plan approval. The city's requirements shall govern over any conflicts with the plans or specifications. Any conditions determined in the field which require changes shall be subject to further review and corrective action.

NOTE:
WATER & SEWER CONTRACTOR SHALL CLEARLY MARK ALL WATER & SEWER SERVICE LOCATIONS. FINAL INSPECTION SHALL INCLUDE THESE MARKED SERVICES. FINAL PAYMENT WILL NOT BE MADE UNTIL SERVICES ARE MARKED.

LARGE SCALE DEVELOPMENT PLAN FOR: HEDBERG ALLERGY - BUILDING ADDITION

LOCATION:

700 S. 52ND STREET
ROGERS, AR. 72758

OWNER/DEVELOPER:

HEDBERG ALLERGY & ASTHMA CENTER

700 S. 52ND STREET
ROGERS, AR 72758
MICHELLE HEDBERG
479-464-8887

hedberg.michelle@gmail.com

ENGINEERING FIRM:

JORGENSEN & ASSOCIATES
124 W. SUNBRIDGE, STE. 5
FAYETTEVILLE, AR 72703
479-442-9127

charles@jorgensenassoc.com

CITYVIEW # PL202000094

NOTES:

- 1) ADDRESS: 700 S. 52nd ST., ROGERS, AR
- 2) THIS PROPERTY IS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN AS PER FIRM #0500000255K DATED JUNE 05, 2012.
- 3) ALL HVAC AND OTHER MECHANICAL EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.
- 4) BUILDING USAGE: MEDICAL OFFICE
- 5) BICYCLE RACKS SHALL CONFORM TO THE ASSOCIATION OF PEDESTRIAN AND BICYCLE PROFESSIONAL GUIDELINES

ZONE R-O (RESIDENTIAL OFFICE) & C-2 (HIGHWAY COMMERCIAL)
SITE AREA 0.83 ACRES (36,317 SQ. FT.)
PRE-DEVELOPMENT BUILDING COVERAGE AREA: 4,158 SQ. FT. BUILDING COVERAGE PERCENTAGE: 11.4% IMPERVIOUS AREA: 0.49 ACRES IMPERVIOUS PERCENTAGE: 58.8% OPEN SPACE AREA: 0.34 ACRES OPEN SPACE PERCENTAGE: 41.2%
POST-DEVELOPMENT BUILDING COVERAGE AREA: 7,798 SQ. FT. BUILDING COVERAGE PERCENTAGE: 21.4% IMPERVIOUS AREA: 0.57 ACRES IMPERVIOUS PERCENTAGE: 68.8% OPEN SPACE AREA: 0.26 ACRES OPEN SPACE PERCENTAGE: 31.2%
BUILDING HEIGHT 21' 4"
BUILDINGS EXISTING: 4,158 SQ. FT. PROPOSED: 3,640 SQ. FT. TOTAL: 7,798 SQ. FT.
PARKING: (R-O) PARKING REQUIREMENT FOR BUSINESS AND PROFESSIONAL OFFICE: 1 SPACE FOR 300 SQ. FT. 7798 / 300 = 26 SPACES 37 EXISTING SPACES 0 PROPOSED SPACES
BICYCLE RACKS REQUIREMENT: 1 BIKE RACK PER 20 PARKING SPACES PROVIDED: 2 BIKE RACKS
LOADING SPACE REQUIREMENT FOR BUILDINGS WITH 5,000 - 25,000 SQ. FT.: 1 LOADING SPACE PROVIDED: 1 LOADING SPACE

R-O ZONING BUILDING SETBACK TABLE	
FRONT	30'
FRONT W/ PARKING	50'
SIDE INTERIOR	10'
SIDE EXTERIOR	25'
REAR	25'

C-2 ZONING BUILDING SETBACK TABLE	
FRONT	65'
SIDE INTERIOR	15'
SIDE EXTERIOR	45'
REAR	15'



INDEX OF SHEETS:

- C1.00 COVER SHEET
- C1.01 LARGE SCALE DEVELOPMENT PLAN
- C1.02 DEMOLITION, GRADING & EROSION CONTROL PLAN
- C1.03 LANDSCAPE PLAN
- C5.01 EROSION CONTROL DETAILS

JORGENSEN + ASSOCIATES
124 W Sunbridge Drive, Suite 5
Fayetteville, AR 72703
Office: 479.442.9127
www.jorgensenassoc.com
Civil Engineering - Land Surveying Established 1985



LEGEND

- ✕ CALCULATED POINT
- FOUND IRON PIN
- SET IRON PIN & CAP
- ⦿ POWER POLE
- △ CENTERLINE MARKER
- ⊙ SEWER MANHOLE
- ⦿ FIRE HYDRANT
- ✕ STREET LIGHT

EXISTING 8" SEWER LINE EX SS-8
PROPOSED 8" SEWER LINE SS-8
EXISTING WATERLINE WL-8
PROPOSED 8" WATER LINE WL-8
CENTERLINE STREET
BUILDING SETBACK
UTILITY EASEMENT
EXISTING SIDEWALK
FENCE
EXISTING CONTOUR
FINISHED CONTOUR

PROJECT DETAILS

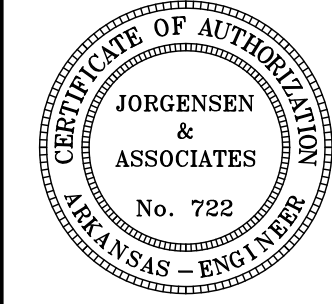
PROJECT TITLE:
HEDBERG ALLERGY
CLINIC

PROJECT LOCATION:
ROGERS, AR

REVISIONS

02.21.2020

DATE: 02-07-2020
DRAWN BY: CAZ
PROJECT # 2019074
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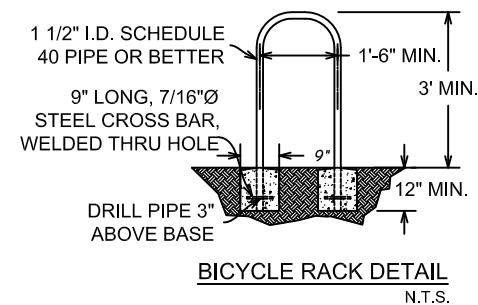
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COVER SHEET

SHEET NUMBER

C 1.00

1. EACH BICYCLE SPACE REQUIRES 3'-0" BY 8'-0" OF CLEAR SPACE BEHIND THE RACK. THE 3'-0" DIMENSION MAY OVERLAP ANOTHER BICYCLE SPACE SUCH THAT PARALLEL RACKS MAY BE 3' ON CENTER.
2. BICYCLE RACKS MUST HAVE 6'-0" CLEARANCE FROM EDGE OF FIRE HYDRANTS.
3. BICYCLE RACKS MUST HAVE 4'-0" CLEARANCE FROM EXISTING STREET FURNITURE, INCLUDING MAILBOXES AND LIGHT POLES.
4. BICYCLE RACK REQUIRED IF ADDING 25 OR MORE PARKING SPACES.



SITE AREA
0.83 ACRES (36,317 SQ. FT.)

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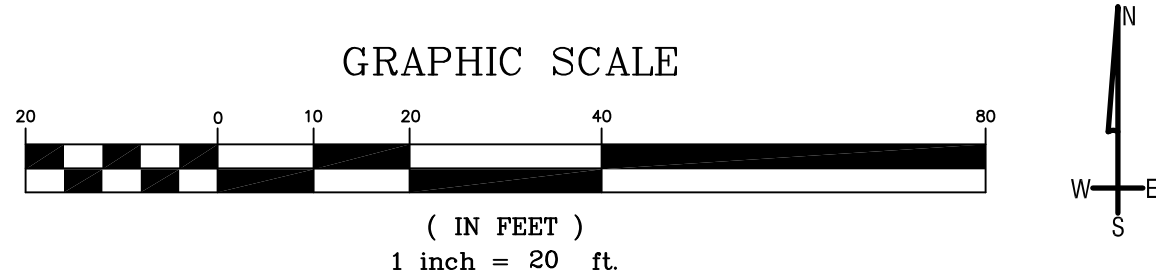
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7798 / 300 = 26 SPACES

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PROVIDED: 2 BIKE RACKS

LOADING SPACE
REQUIREMENT FOR BUILDINGS WITH 5,000 - 25,000 SQ. FT.: 1 LOADING SPACE
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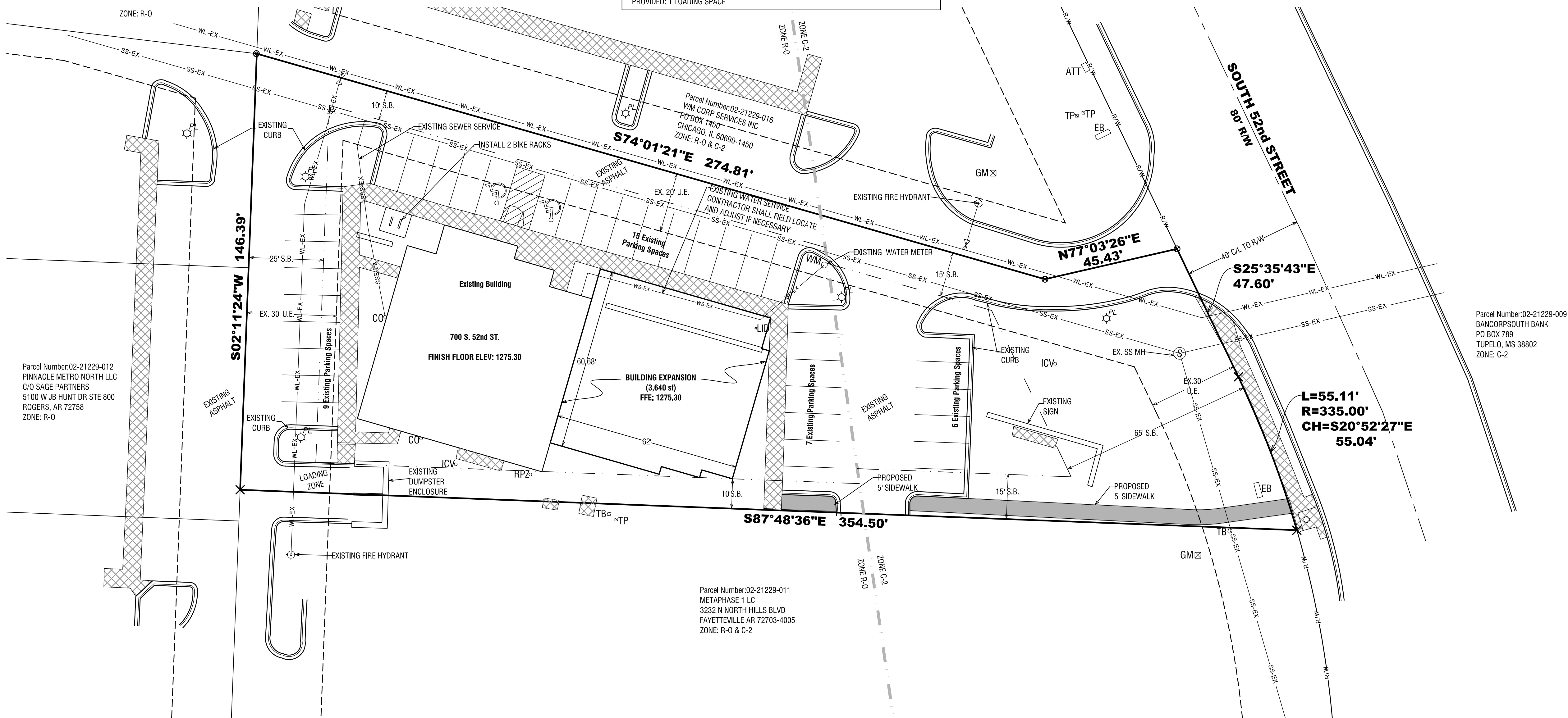


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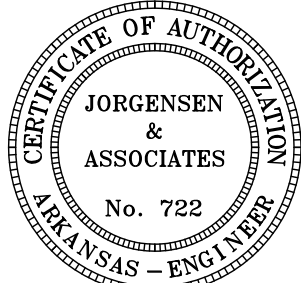
EXISTING 8" SEWER LINE
EX SS-8
PROPOSED 8" SEWER LINE
SS-8
EXISTING WATERLINE
EX WL-3
PROPOSED 8" WATER LINE
WL-8
CENTERLINE STREET
BUILDING SETBACK
UTILITY EASEMENT
EXISTING SIDEWALK
UTILITY CROSSING
UTX
EXISTING CONTOUR
FINISHED CONTOUR

**PROJECT TITLE:
HEDBERG ALLERGY
CLINIC**

PROJECT LOCATION:
ROGERS, AR

1 02.21.2020

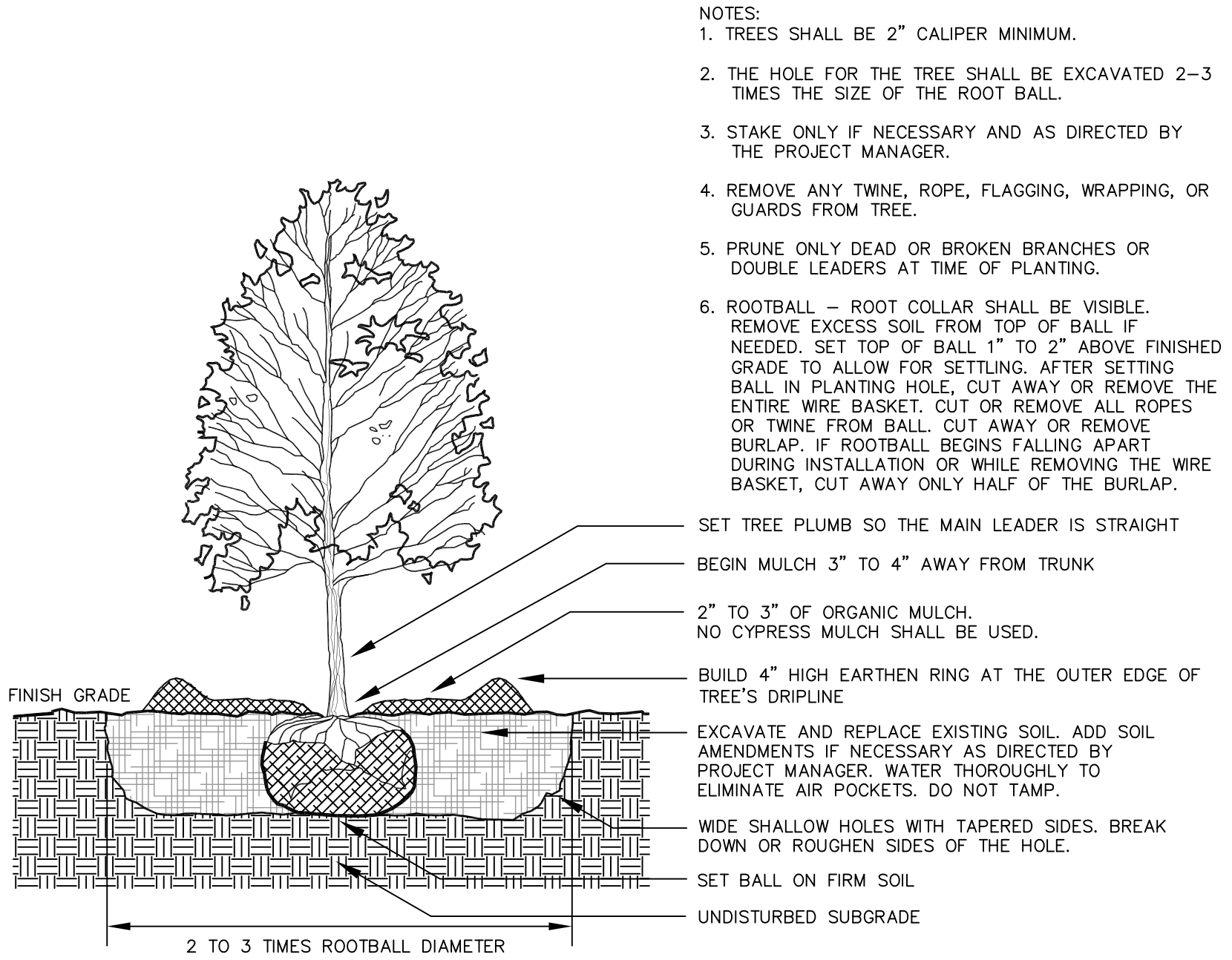
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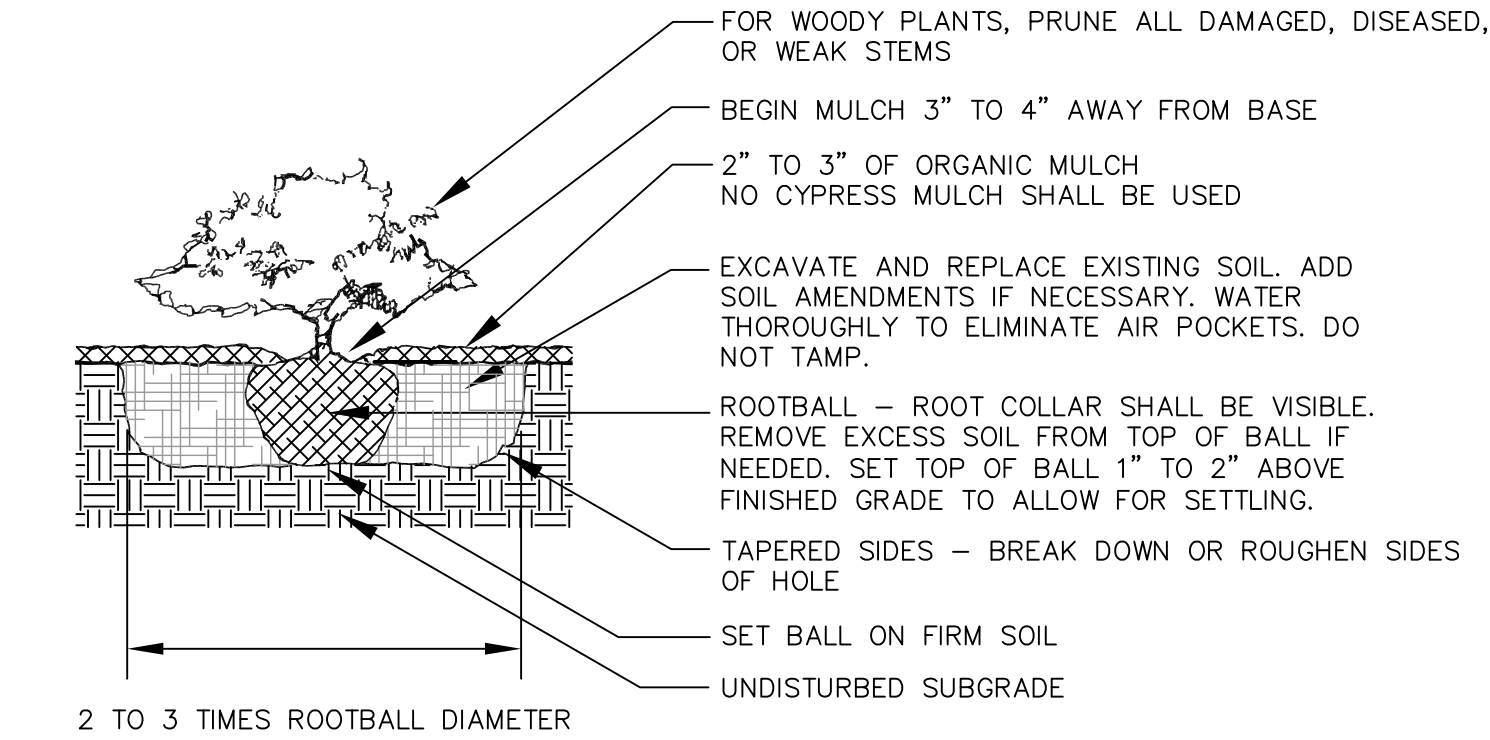
SHEET TITLE
LARGE SCALE DEVELOPMENT PLAN

SHEET NUMBER

C 1.01



TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE

PLANT LIST						
QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOT	MIN. SIZE	MIN. HEIGHT	NOTES
2	AH	AMERICAN HOLLY <i>Ilex opaca</i>	B&B	2.5" CAL.	8'	EVERGREEN
18	IH	INKBERRY HOLLY <i>Ilex glabra</i>	CONT.	5 GAL.		
9	NB	DIABLO NINEBARK <i>Physocarpus opulifolius 'Diabolo'</i>	CONT.	5 GAL.		

	SPECIES	TYPE	DIAMETER	HEIGHT	CONDITION
3	REDBUD	ORNAMENTAL	6"	15-20'	GOOD
4	MAPLE	SHADE	6"	20-25'	GOOD

36 PLANTS TOTAL
9 TREES TOTAL

LANDSCAPE REQUIREMENTS:

- A percentage of the total land area then currently under development will be devoted to landscaping.
- If the total current development area is two acres or more, the developer must provide either a minimum of 20 percent green space with at least one new tree or shrub meeting the plant criteria herein for each 1,000 square feet of the total current development area; or, a minimum of 15 percent green space with one tree or shrub for every 500 square feet of total current development area. If the developer opts to use the 15 percent green space option, tree size must be increased from two and one-half-inch ball and burlap to four-inch ball and burlap.
 - If the total current development area is less than two acres, at least one new tree or shrub meeting the plant criteria herein must be provided for each 1,000 square feet of the total land area for developments up to two acres.

PROPOSED DEVELOPMENT AREA = 36,317 SF or 0.83 ACRES

36,317 / 1,000 = 36 TREES & SHRUBS REQUIRED
25% OF REQUIRED PLANTS ARE TO BE TREES = 9 TREES REQUIRED
10% OF REQUIRED TREES TO BE EVERGREEN = 1 TREE TO BE EVERGREEN

LANDSCAPING PROVIDED
7 EXISTING TREES TO REMAIN
2 PROPOSED TREES
27 PROPOSED SHRUBS

36 TREES AND SHRUBS IN TOTAL ARE PROVIDED

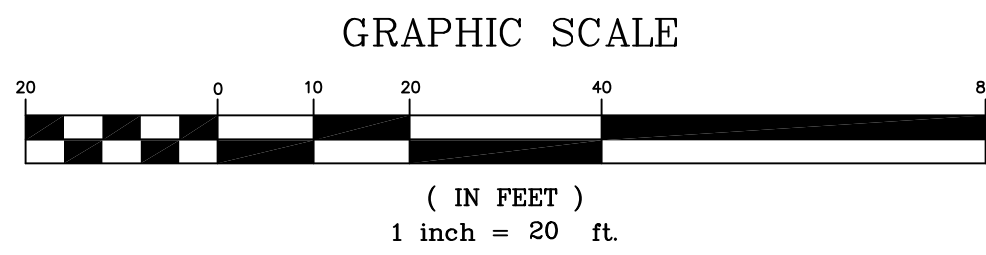
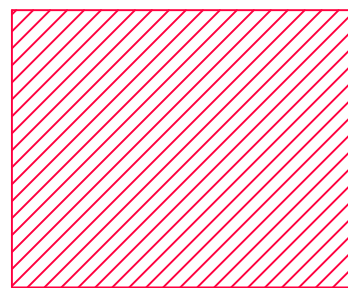
SITE AREA CALCULATIONS:

TOTAL AREA: 0.83 AC/ 36,317 S.F.
GREENSPACE: 11,330 S.F. (31.2%)

NOTES:

- BEFORE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE OWNER / DEVELOPER IS REQUIRED TO PROVIDE A 3-YEAR GUARANTEE FOR MAINTAINING AND REPLACING LANDSCAPING, BEGINNING ONCE INSTALLATION IS COMPLETE.
- PLANTINGS IN EXCESS OF MINIMUM REQUIREMENTS MAY NOT BE REDUCED ONCE APPROVED BY PLANNING COMMISSION.

TREE TO BE REMOVED



APPROVED STREET TREES

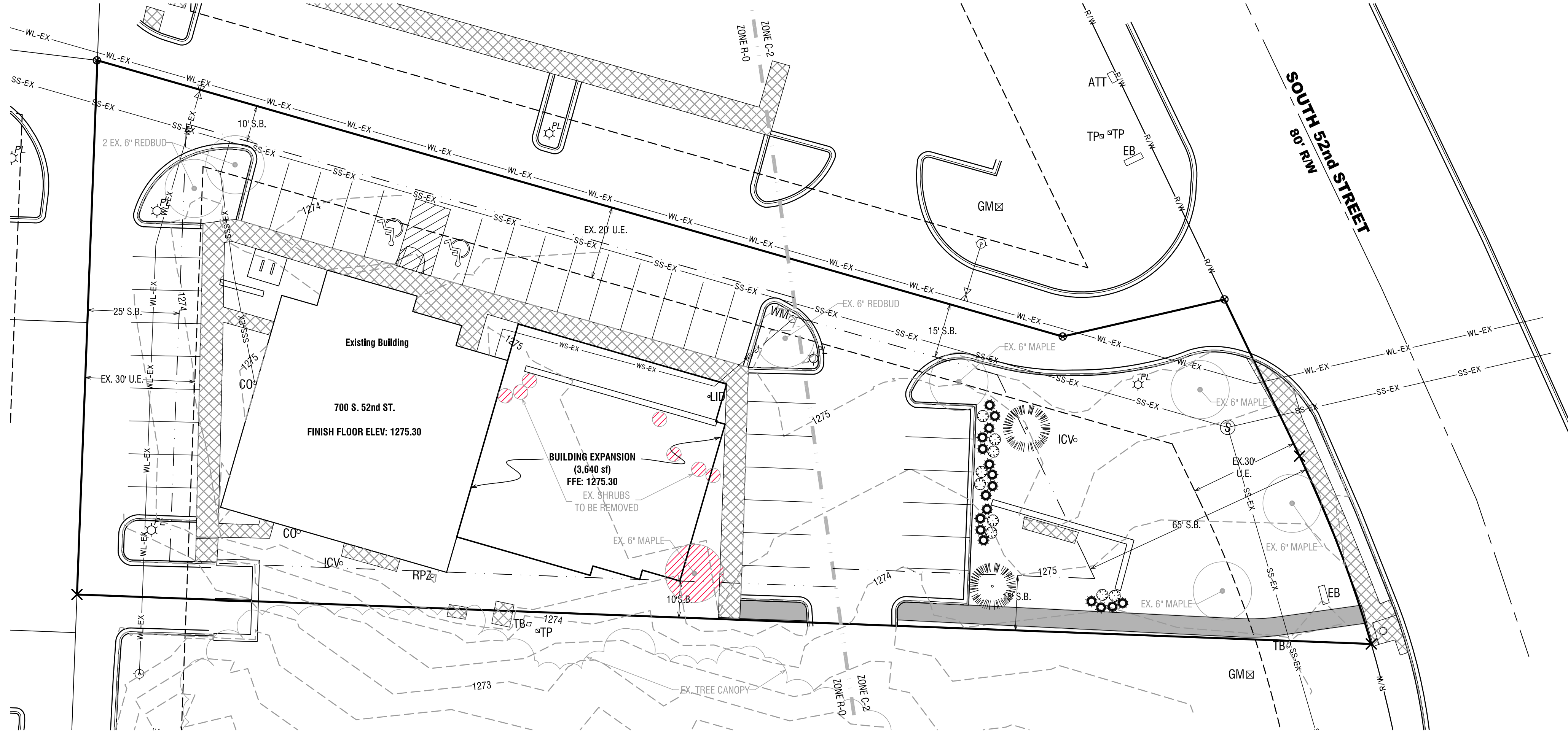
50' tall ≥4' from curb or sidewalk
* Fruitless Kentucky Coffee Tree Ginkgo (male only) * Hackberry Japanese Zelkova (Green Vase) Lacebark Elm (Allee) Littleleaf Linden (Greenspire) London planetree Oak * Black * Northern Red Shingle * Shumard * Southern Red * Swamp White White * Willow * River Birch * Shortleaf Pine Silver Linden * Sugarberry (Sugar Hackberry) Turkish Filbert

30-50' tall ≥3' from curb or sidewalk
* American Hophornbeam American Holly Chinese Pistache English Oak Hawthorns Kousa Dogwood Persian Ironwood * Scarlet Oak Thornless Honeylocust (Shademaster) * Yellowwood

<20' tall ≥2' from curb or sidewalk
* American Smoketree Amur Maple Crabapple Hedge Maple Magnolia (Little Gem) Nellie Stevens holly Possumhaw * Redbud Shadow service berry Yaupon Holly

* - DENOTES A NATIVE SPECIES
() - DENOTES A RECOMMENDED VARIETY

- SHALLOW ROOTED TREES SUCH AS MAPLE, ASH, SWEETGUM, TULIP TREE, PIN OAK AND POPLAR SHALL NOT BE PLANTED WITHIN 10' OF A CURB OR SIDEWALK.
- USE OF ANY TREE NOT SHOWN ON THIS LIST REQUIRES APPROVAL BY CITY STAFF.
- CRITERIA FOR TREES SHALL MATCH THOSE SHOWN IN THE LARGE SCALE DEVELOPMENT ORDINANCE SECTION 14-256.
- TREE SPACING SHALL BE 30' FOR TREES LESS THAN 20' TALL, 40' FOR TREES 30-50' TALL AND 50' FOR TREES 50' OR TALLER OR AS REQUIRED BY ORDINANCE 18-258. TREE HEIGHTS ARE MATURE TREE HEIGHTS.
- ONLY TREES ON THE <20' TALL LIST MAY BE USED WITHIN 20' OF OVERHEAD UTILITIES OR WITHIN 10' OF UNDERGROUND UTILITIES.
- TREES SHALL NOT BE PLANTED WITHIN 20' OF LIGHT POLE.
- TREES SHALL BE CENTERED IN THE GREENSPACE.



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Civil Engineering - Land Surveying Established 1985

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+ ASSOCIATES

LEGEND

- ✕ CALCULATED POINT
- FOUND IRON PIN
- SET IRON PIN & CAP
- POWER POLE
- △ CENTERLINE MARKER
- ⊕ SEWER MANHOLE
- ⊕ FIRE HYDRANT
- ✱ STREET LIGHT
- EXISTING 8" SEWER LINE
- EX SS-8
- PROPOSED 8" SEWER LINE
- SS-8
- EXISTING WATERLINE
- WL-8
- PROPOSED 8" WATER LINE
- WL-8
- CENTERLINE STREET
- BUILDING SETBACK
- UTILITY EASEMENT
- EXISTING SIDEWALK
- UTILITY CROSSING
- UTX
- EXISTING CONTOUR
- FINISHED CONTOUR

PROJECT DETAILS

PROJECT TITLE:
HEDBERG ALLERGY
CLINIC

PROJECT LOCATION:
ROGERS, AR

REVISIONS

1	02.21.2020
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DATE: 02-07-2020
DRAWN BY: CAZ
PROJECT # 2019074
FILE PATH: Z:\STREETS\2019074\lsd
SHEET SIZE: 22" x 34"
SCALE: 1" = 20'

CERTIFICATE OF AUTHORIZATION
JORGENSEN
&
ASSOCIATES
No. 722
ARKANSAS - ENGINEER

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
C 1.03