



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

OCTOBER 30, 2019

TO: PLANNING COMMISSION
DEVELOPMENT REVIEW COMMITTEE

RE: **STAFF SUMMARY REPORT**
LARGE-SCALE DEVELOPMENT – FIRST STREET STORAGE

STAFF: ETHAN HUNTER, CITY PLANNER
KRIS PAXTON, DEVELOPMENT COMPLIANCE MANAGER

PROJECT INFORMATION:

PROJECT NAME:	First Street Storage
PROJECT DESCRIPTION:	Self-storage facility with office and commercial buildings totaling 63,846-sf
ADDRESS/LOCATION:	1911 S. 1 st Street
GROSS SITE AREA:	4.27 ± acres
RESIDENTIAL UNITS:	N/A
REQUESTED WAIVERS:	Street Improvements
REQUESTED VARIANCES:	N/A
FEES-IN-LIEU:	Street Improvements (amount TBD)

APPLICANT INFORMATION:

APPLICANT/REPRESENTATIVE:	Bates & Associates
PROJECT OWNER/DEVELOPER:	Dash Goff
PROPERTY OWNER:	DC Revocable Trust
REQUEST:	Large-Scale Development Plan approval

CITY INFORMATION:

CGM GROWTH DESIGNATION:	Neighborhood Center
GROWTH DESIGNATION CHARACTER:	Mixed-use centers located around intersections of arterial and collector streets. Polycentric pattern serves neighborhood populations within 1/2 mile radius of each center and supports efficient multi-modal transportation network. Goals include creating neighborhood character, conserving opportunity for non-residential activities, and providing accessibility to civic facilities, religious assembly, basic commercial services, and recreation.
ZONING DISTRICT:	C-2 (Highway Commercial) and RMF-12B (Residential Multifamily)
AUTHORITY:	Chapter 14, Article III, Rogers Code of Ordinances

VICINITY MAP:



BACKGROUND:

- The developer proposes to build a self-storage facility with 5 storage buildings totaling 63,104-sf, a 731-sf office building, and a 1,911-sf commercial building on 4.27 acres.
- The site is not located within a PUD. Surrounding properties are zoned C-2, RMF-12B, and R-AH.
- This project has gone through the technical review process and all required revisions have been made with the exception of requested waivers and/or variances.

ENGINEERING REVIEW:

1. ACCESS MANAGEMENT: The applicant's request meets the City of Rogers access management standards.
2. STORMWATER MANAGEMENT: The applicant proposes a retention along the north end of the project. **The applicant is required to show a Drainage Easement connecting from the retention to the property line at the spillway, and replace the proposed rip-rap with an appropriate material to be consistently shown across the plan. Engineered plans are required for the wall over 4' tall to carry a swale from the southeast of the property to the detention pond. The slopes along the detention pond are 2:1 and are required to be changed to a 3:1 or less slope.**
3. WATER QUALITY: Water quality will be provided in the proposed retention pond. Additionally the applicant will be required to provide an aeration fountain(s) for water quality adequately sized to meet code requirements for aeration. **The applicant is required to provide an O&M Manual and details for the fountain(s) to include number of fountains required and sizing information to prove adequate sizing for the pond.**
4. MASTER STREET PLAN IMPROVEMENTS:
 - a) Street Pavement and Condition:
 - i. The existing street is in substandard condition due to being 38' from BOC to BOC. The MSP designates S 1st Street as a Major Arterial and calls for a 68' minimum width with 6' greenspace and 10' sidepath. The applicant requests a **WAIVER** of Sec. 14-608 to build the street improvements stating the hardship that *"If installed according to specs, this would almost double the size of the street in this section only, and risk a possible safety hazard due to a single, outstanding island near the proposed project's drive."*
 - b) Connectivity Standards:
 - i. Connectivity standards do not apply.
 - c) Streetscape:
 - i. Right-of-Way:
 - 1) The Master Street Plan indicates S 1st Street is a Major Arterial and is shown to have adequate right-of-way within the portion of this property with street access.
 - ii. Sidewalks & Sidepaths:
 - 1) The MSP requires a 10' sidepath along this route, however, the applicant submitted a waiver request for street improvements, which would include this requirement. The waiver (*see Street Pavement and Condition ii.*) would allow the sidepath to remain 5' in width along the frontage of 91.12 feet.
 - d) Trails: There are no designated trails on the east side of S 1st Street other than the 10' sidepath.
 - e) Street Lights: The applicant proposes a streetlight which would meet the code requirements.
 - f) Street Trees: The MSP requires street trees in greenspace, however the applicant's previously discussed waiver request would excuse this requirement. The applicant has included landscape trees at the entrance, which would not be considered street trees.
5. RECOMMENDATIONS:
 - a) **Table** the LSDP pending resolving items addressed in the Stormwater Management and Water Quality sections of this report.
 - b) **Deny WAIVER of Sec. 14-608 from street improvements.** Staff supports a fee in-lieu of the construction of the streets. While staff agrees that the construction of the street in such a small segment would not be ideal for safety reasons, a fee in-lieu of the improvements would allow for these improvements at a later date when it would be more appropriate.

STAFF SIGNATURES:

Kris Paxton, Development Compliance Manager
City of Rogers Engineering Division



Lance Jobe, City Engineer
City of Rogers Engineering Division

PLANNING REVIEW:

1. LAND USE:
 - a) Use Definition: Per Sec. 14-695(b)(3)(tt), "Warehousing and Storage, Limited" is defined as "businesses that provide storage space for household or commercial goods within an enclosed building and for which the individual storage units are accessed via an interior access way or exterior entry to individual units."
 - b) Zoning Compliance: The proposed project is in compliance with the purpose and intent of the C-2 zoning district. CUP #19-27 authorized the proposed use with the requirement to provide wrought-iron fencing and landscape screening along the south and east property boundaries. Tenant infill of the proposed commercial building at the front of the property will be subject to the C-2 schedule of uses.
 - c) CGM Compliance: The proposed project is not compliance with the purpose, character, and goals of the Neighborhood Center Growth Designation; however, CUP #19-27 authorized the proposed use under C-2 zoning rather than requiring conversion to C-3 as required in Neighborhood Centers.
2. DEVELOPMENT STANDARDS: The proposed project conforms to all development standards required by Sec. 14-709 and Article III with the exception of any requested waivers and/or variances.
 - a) Building Disposition: All building setback and height requirements have been met.
 - b) Parking & Loading: All vehicle parking requirements have been met. Due to the nature of the development, parking spaces are made available in front of each unit rather than a dedicated parking area.
 - c) Screening & Transitions: All screening requirements have been met. See Tab 1 for Landscape Plan.
 - d) Landscaping: All landscaping requirements have been met. See Tab 1 for Landscape Plan.
3. REPORTS FROM OTHERS: The proposed project has been reviewed by the City of Rogers Risk Reduction Division and Rogers Water Utilities (see Tab 2 for RWU conditional approval letter). All projects are made available for review by franchise utilities and Benton County 911 Administration.
4. RECOMMENDATIONS: The Planning Commission should always consider requests with regard to land use compatibility and the health, safety, and general welfare of the public in making their decision.
 - a) **Approve Large-Scale Development subject to any pending Engineering requirements or recommendations.**

STAFF SIGNATURES:



Ethan Hunter, City Planner
City of Rogers Planning Division

TOTAL REQUESTED WAIVERS:

1. A waiver to Sec. 14-608 for required street improvements.

SUGGESTED MOTIONS:

1. FOR APPROVE: "Move to approve the Large-Scale Development Plan for First Street Storage as presented."
2. FOR APPROVE WITH CONDITIONS: "Move to approve the Large-Scale Development Plan for First Street Storage subject to [conditions, contingencies, or actions on waivers/variances/recommendations]."
3. FOR DENY: "Move to deny the request as presented."
4. FOR TABLE: "Move to table the request [indefinite or date certain]."

DIRECTOR'S COMMENTS:

1. Agree with recommendations.



John McCurdy, Director
City of Rogers Community Development

TABS:

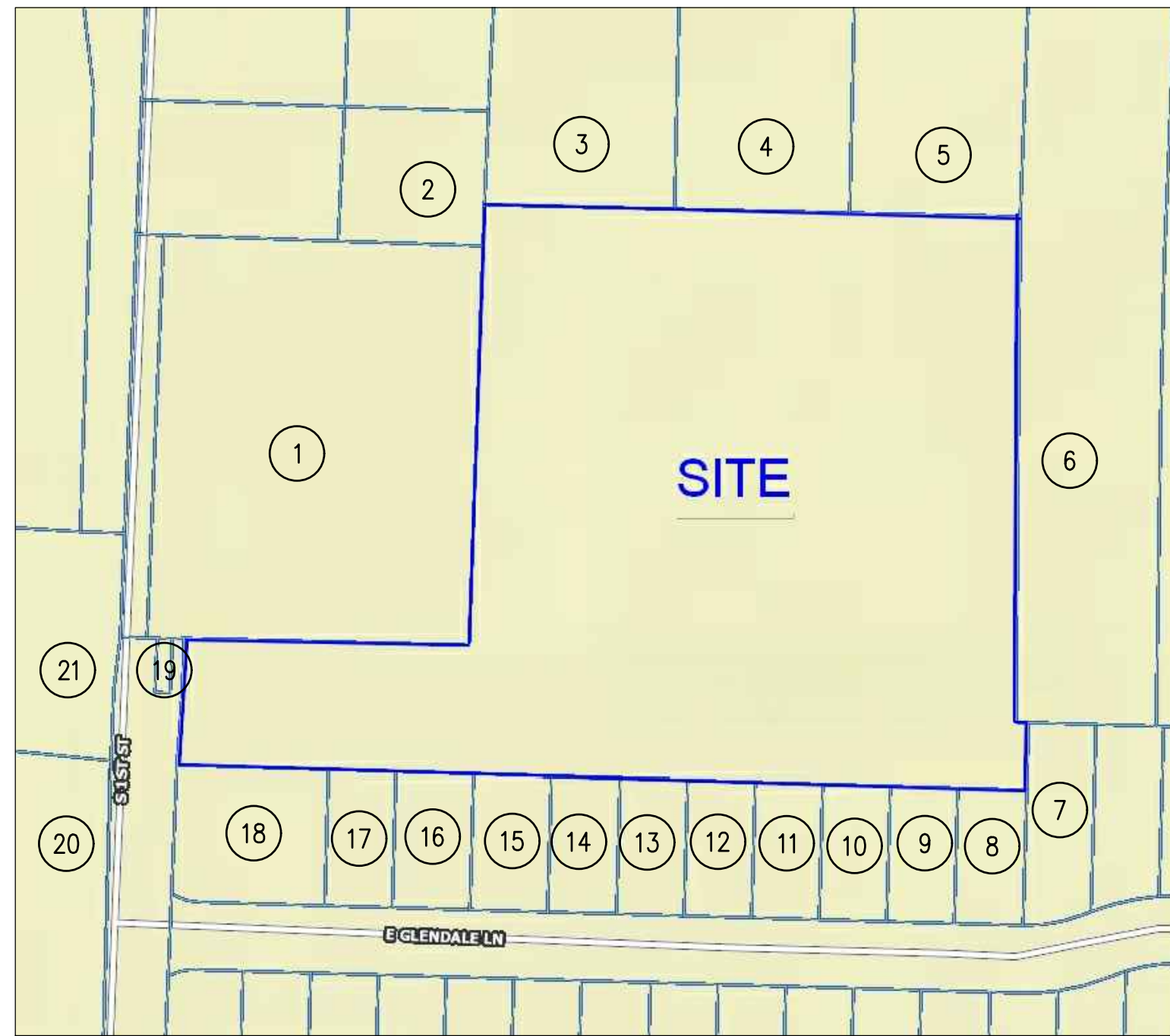
1. Large-Scale Development Plans
2. RWU conditional approval letter
3. Waiver and/or variance request letter
4. Maps/photos

DRAWING NO

01

DRAWN BY: J. Young

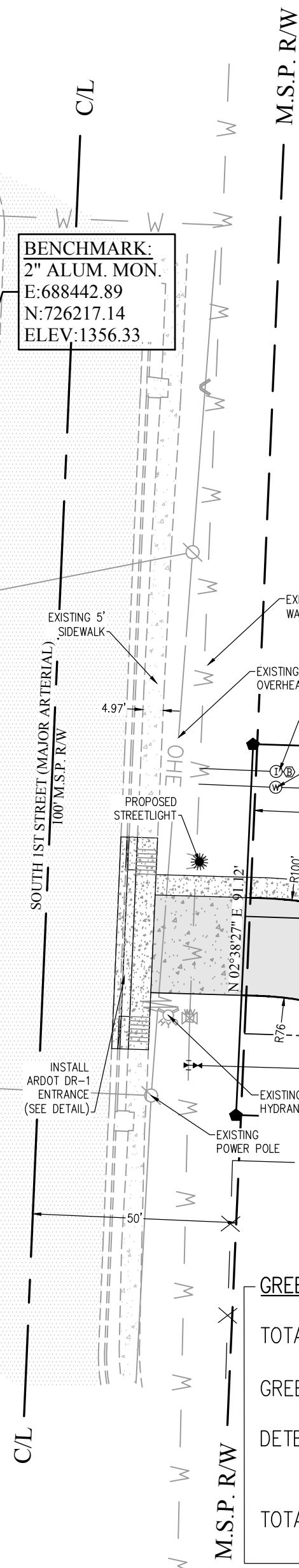
PROJECT NO	10	080
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MAP OF ADJACENT PARCELS

SITE AND UTILITY NOTES:

- ALL OUTDOOR LIGHTING SHALL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL FOR COMPLIANCE WITH THE OUTDOOR LIGHTING ORDINANCE.
- ALL MECHANICAL, ELECTRICAL, AND AIR CONDITIONING EQUIPMENT MUST BE SCREEN FROM PUBLIC VIEW.
- ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALL UTILITIES SHALL BE LOCATED UNDERGROUND.
- ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.
- DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
- TREES OVER 20' TALL MUST BE LOCATED 10' FROM PUBLIC UTILITIES.
- ALL WATER AND SEWER PLANS MUST BE APPROVED BY THE ROGERS WATER UTILITY DEPARTMENT PRIOR TO CONSTRUCTION.
- ALL SIGNS WILL REQUIRE SEPARATE PERMITS.
- THIS ENTIRE FACILITY MUST COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
- A PRE-CONSTRUCTION MEETING WITH THE ROGERS BUILDING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- DOMESTIC BACKFLOW PREVENTION DEVICES TO BE LOCATED INSIDE BUILDING. SEE RWJ STANDARD DETAILS FOR INSTALLATION REQUIREMENTS.
- IRRIGATION BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED IN A HEATED SPACE OR FROST-PROOF ENCLOSURE PRIOR TO ANY TEES OR BRANCHES.
- RPTA DEVICE SHALL BE WILKINS 975XL2 (LEAD FREE), HORIZONTAL ORIENTATION.
- METER SERVICE WILL BE CONSTRUCTED BY ROGERS WATER UTILITIES AT THE OWNER'S EXPENSE.
- TRASH SERVICE WILL BE PROVIDED BY ROLL-OFF CART. NO DUMPSTER ENCLOSURE IS PROPOSED.
- OWNER WILL BE RESPONSIBLE FOR BRINGING ANY EXISTING SIDEWALK ALONG THE PROPERTY LINE INTO COMPLIANCE WITH ADA STANDARDS.



GREENSPACE CALCULATIONS:

TOTAL AREA OF SITE	185,855 SQ FT
GREENSPACE (LESS DETENTION)	37,744 SQ FT (20.3%)
DETENTION AREA	14,746 SQ FT
- 9,293 COUNTED TOWARDS GREENSPACE (5% MAX CREDIT)	
TOTAL CALCULATED GREENSPACE	47,036 SQ FT (25.3%)

ADJACENT LAND OWNERS

- | | | | | | | |
|--|---|--|--|---|---|--|
| 1) BERGQUIST, DAVID B & KARLA CO - TRUSTEES
2805 W CAPPS RD
ROGERS AR 72758-1433
PARCEL #02-00608-002
ZONED: C-2 | 4) DE LA TORRE, JAIME SANCHEZ & SANCHEZ, ESTELLA
3407 N 2ND ST
ROGERS AR 72758-6963
PARCEL #02-21534-000
ZONED: C-2 | 7) UPTON, IRA & VICKI
125 E GLENDALE LN
ROGERS AR 72758
PARCEL #02-22230-000
ZONED: R-AH | 10) YOUNGER, MATTHEW A
119 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22233-000
ZONED: R-AH | 13) NIEVES-TAPIA, RAFAEL & NIEVES, PATRICIA
113 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22236-000
ZONED: R-AH | 16) STAMM, TRACY
107 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22239-000
ZONED: R-AH | 19) CITY OF ROGERS
ATTN: KING, KARA
301 W CHESTNUT ST
ROGERS AR 72756-4559
PARCEL #02-00608-003
ZONED: N/A |
| 2) BERGQUIST, DAVID B & KARLA CO - TRUSTEES
2805 W CAPPS RD
ROGERS AR 72758-1433
PARCEL #02-00615-000
ZONED: C-2 | 5) DE LA TORRE, JAIME SANCHEZ & SANCHEZ, ESTELLA
3407 N 2ND ST
ROGERS AR 72758-6963
PARCEL #02-21535-000
ZONED: C-2 | 8) FOWLER, DAVID
123 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22232-000
ZONED: R-AH | 11) LIN, SUQIN
115 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22234-000
ZONED: R-AH | 14) LOUGH, CHASE E
111 E GLENDALE LANE
BENTONVILLE AR 72758-4203
PARCEL #02-22237-000
ZONED: R-AH | 17) ENSLE, ACHIM W & RENATE KATHARINA
105 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22240-000
ZONED: R-AH | 20) COVINGTON, DAVID & JOANNE TRUSTEES
2808 S PLEASANT RIDGE RD
ROGERS AR 72756-8307
PARCEL #02-01901-000
ZONED: C-2 |
| 3) ESCH FAMILY LIMITED PARTNERSHIP
4100 CORPORATE CTR DR
STE 220
SPRINGDALE AR 72762-5768
PARCEL #02-21533-000
ZONED: C-2 | 6) COTTONGIM, LORN MANLEY & KAREN SUE TRUSTEES
2707 W KATHY LN
ROGERS AR 72758-3918
PARCEL #02-00615-003
ZONED: C-2 | 9) GRIGGS, DEVEN N & HEATHER M
121 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22232-000
ZONED: R-AH | 12) FOLEY, EMMA E
115 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22235-000
ZONED: R-AH | 15) CASWELL, NORENE A
109 E GLENDALE LN
ROGERS AR 72758-4203
PARCEL #02-22238-000
ZONED: R-AH | 18) FIRST PLACE PROPERTY OWNERS ASSOCIATION
1703 E 50TH ST
TEXARKANA AR 71854-1130
PARCEL #02-22241-000
ZONED: R-AH | 21) OVERLAND DEVELOPMENT INC
PO BOX 580
ROGERS AR 72757-0580
PARCEL #02-01899-001
ZONED: C-2 |

E:688735.40
N:726446.74

E:689133.75
N:726017.75

BUILDING SETBACKS:

PER C-2:
FRONT 65ft
SIDE 15ft INTERIOR
SIDE 45ft EXTERIOR
REAR 15ft

PER RMF 12-B:
FRONT 30ft
SIDE 10ft INTERIOR**
SIDE 30ft EXTERIOR
REAR 30ft

** INTERIOR SIDE SETBACK ALONG ONE SIDE MAY BE ZERO PROVIDED THERE IS A MINIMUM OF 20' OF SEPARATION ALONG THE OTHER INTERIOR SIDE LOT LINE

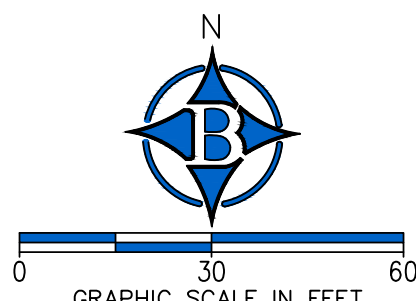
SITE COVERAGE CALCULATIONS:

TOTAL AREA OF SITE	185,855 SQ FT
TOTAL IMPERVIOUS AREA	133,411 SQ FT
PERCENTAGE OF IMPERVIOUS AREA	71.8%

BUILDING COVERAGE CALCULATIONS:

TOTAL AREA OF SITE	185,855 SQ FT
TOTAL GFA	63,846 SQ FT
PERCENTAGE OF BUILDING COVERAGE	34.35%

- MONUMENT LEGEND:
- FOUND 5/8" REBAR
 - FOUND 3/8" REBAR
 - ▼ FOUND NAIL
 - SET 5/8" REBAR/CAP



PARKING TABLE:

OFF-STREET PARKING STANDARDS:

WAREHOUSE AND STORAGE: 5 SPACES PLUS 1 SPACE PER 2,000 SQUARE FEET OF NET FLOOR AREA UP TO 50,000 SQUARE FEET; THEN, IN ADDITION TO THE ABOVE REQUIREMENT, 1 SPACE PER 10,000 SQUARE FEET ABOVE 50,000 SQUARE FEET OR PORTION THEREOF

SELF-STORAGE BUILDING AREA: 61114 S.F.
SPACES REQUIRED: 31

GENERAL BUSINESS AND RETAIL SALES: 1 SPACE PER 250 SQUARE FEET OF NET FLOOR AREA

OFFICE BUILDING AREA: 1911 S.F.
SPACES REQUIRED: 8

TOTAL SPACES REQUIRED: 39

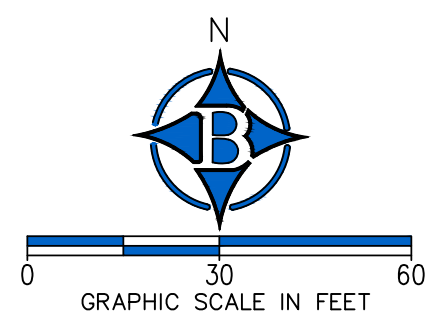
TOTAL SPACES PROVIDED: 10

*SELF-STORAGE PARKING AVAILABLE IN FRONT OF INDIVIDUAL UNITS

ADA SPACES REQUIRED/PROVIDED: 1

CONSTRUCT	EXISTING	DESCRIPTION
		ASPHALT (EDGE)
		ASPHALT (SURFACE)
		BOLLARD
		BUILDING
		BUILDING SETBACK LINE
		CABLE TV (UNDERGROUND)
		CABLE TV (OVERHEAD)
		CONCRETE (EDGE)
		CONCRETE (SURFACE)
		CONDUIT
		CONTOURS
		CURB & GUTTER
		DRAINAGE FLOW
		DUMPSTER
		EASEMENT
		ELECTRICAL (UNDERGROUND)
		ELECTRICAL (OVERHEAD)
		ELECT. TRANSFORMER
		EROSION CONTROL BALES
		EROSION CONTROL FENCE
		EROSION CONTROL RIP-RAP
		FENCE (WIRE/WOOD/CHAIN)
		FIBER OPTIC CABLE
		FIRE HYDRANT ASSEMBLY
		FLOWLINE
		FORCE MAIN
		GAS MAIN
		GAS METER/VALVE
		GRAVEL (EDGE)
		GRAVEL (SURFACE)
		IRON PIN - (RE-BAR)
		LANDSCAPE EDGING
		LIGHT
		MONUMENT (CONCRETE)
		POND
		POST INDICATOR VALVE
		POWER POLE
		PROPERTY LINE (EXTERNAL)
		RETAINING WALL
		RIGHT-OF-WAY
		SANITARY SEWER MANHOLE
		SANITARY SEWER PIPE
		SANITARY SEWER SERVICE
		CENTERLINE
		SIDEWALK
		STOP SIGN / FLAG POLE
		SPOT ELEVATION
		STABILIZED CONSTRUCTION ENT.
		STORM SEWER MANHOLE
		STORM SEWER PIPE
		STRIPES (PAINTED OR STICKY)
		TELEPHONE PED/MANHOLE
		TELEPHONE (UNDERGROUND)
		TELEPHONE (OVERHEAD)
		TREE LINE CANOPY
		TREE/TREE TO BE REMOVED
		WATER MAIN BLOWOFF VALVE
		WATER MAIN FIRE DEPT. CONN.
		WATER MAIN PIPE
		WATER MAIN REDUCER
		WATER MAIN THRUST BLOCK
		WATER METER
		WATER METER (IRRIGATION)
		WATER VALVE
		BACKFLOW PREVENTER

PLANT LIST					
QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOT	MIN. SIZE	NOTES
23	SL	SILVER LINDEN <i>Tilia tomentosa</i>	B&G	2.5" CAL 6" TALL	SHADE TREE
34	GG	GREEN GIANT ARBORVITAE <i>Thuja standishii</i> x <i>pilicata</i> "Green Giant"	B&G	2.5" CAL 8" TALL	EVERGREEN
2	RO	SOUTHERN RED OAK <i>Quercus falcata</i>	B&G	2.5" CAL 6" TALL	STREET TREE
15	LM	LITTLE GEM MAGNOLIA <i>Magnolia grandiflora</i> "Little Gem"	B&G	2" CAL 6" TALL	ORNAMENTAL TREE
16	AS	AMERICAN SMOKE TREE <i>Cotinus obovatus</i>	B&G	2" CAL 6" TALL	SHADE TREE
72	MH	ADAGIO MAIDEN HAIR <i>Asplenium adnigrum</i> "Adagio"		5 GAL.	
33	BX	BOWWOOD <i>Buxus sempervirens</i>		5 GAL.	
30	TS	THUNBERG SPIREA <i>Spiraea thunbergii</i>		5 GAL.	



PLANTINGS IN EXCESS OF MINIMUM
REQUIREMENTS MAY NOT BE REDUCED ONCE
APPROVED BY THE PLANNING COMMISSION.

50' tall ≥4' from curb or sidewalk
* Fruitless Kentucky Coffee Tree
Ginkgo (male only)
* Hackberry
Japanese Zelkova (Green Vase)
Lacebark Elm (Allee)
Littleleaf Linden (Greenspire)
London planetree
Oak
* Black
* Northern Red
Shingle
* Shumard
* Southern Red
* Swamp White
White
* Willow
* River Birch
* Shortleaf Pine
Silver Linden
* Sugarberry (Sugar Hackberry)
Turkish Filbert

- * American Hophornbeam
- American Holly
- Chinese Pistache
- English Oak
- Hawthorns
- Kousa Dogwood
- Persian Ironwood
- * Scarlet Oak
- Thornless Honeylocust (Shademaster)
- * Yellowwood

- * American Smoketree
- Amur Maple
- Crabapple
- Hedge Maple
- Magnolia (Little Gem)
- Nellie Stevens holly
- Possumhaw
- * Redbud
- Shadlow serviceberry
- Yaupon Holly

* - DENOTES A NATIVE SPECIES
() - DENOTES A RECOMMENDED VARIETY

1. SHALLOW ROOTED TREES SUCH AS MAPLE, ASH, SWEETGUM, TULIP TREE, PIN OAK AND POPLAR SHALL NOT BE PLANTED WITHIN 10' OF A CURB OR SIDEWALK.
2. USE OF ANY TREE NOT SHOWN ON THIS LIST REQUIRES APPROVAL BY CITY STAFF.
3. CRITERIA FOR TREES SHALL MATCH THOSE SHOWN IN THE LARGE SCALE DEVELOPMENT ORDINANCE SECTION 14-255.
4. TREE SPACING SHALL BE 30' FOR TREES LESS THAN 20' TALL, 40' FOR TREES 30-50' TALL AND 50' FOR TREES 50' OR TALLER OR AS REQUIRED BY ORDINANCE 18-259. TREE HEIGHTS ARE MATURE TREE HEIGHTS.
5. ONLY TREES ON THE <20' TALL LIST MAY BE USED WITHIN 20' OF OVERHEAD UTILITIES OR WITHIN 10' OF UNDERGROUND UTILITIES.
6. TREES SHALL NOT BE PLANTED WITHIN 20' OF LIGHT POLE.
7. TREES SHALL BE CENTERED IN THE GREENSPACE.



CITY OF ROGERS
301 WEST CHESTNUT STREET
ROGERS, ARKANSAS 72756
(479) 621-1186

6 OF 6

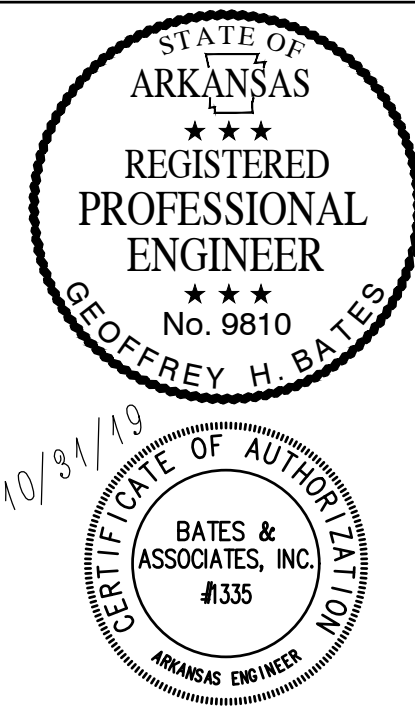
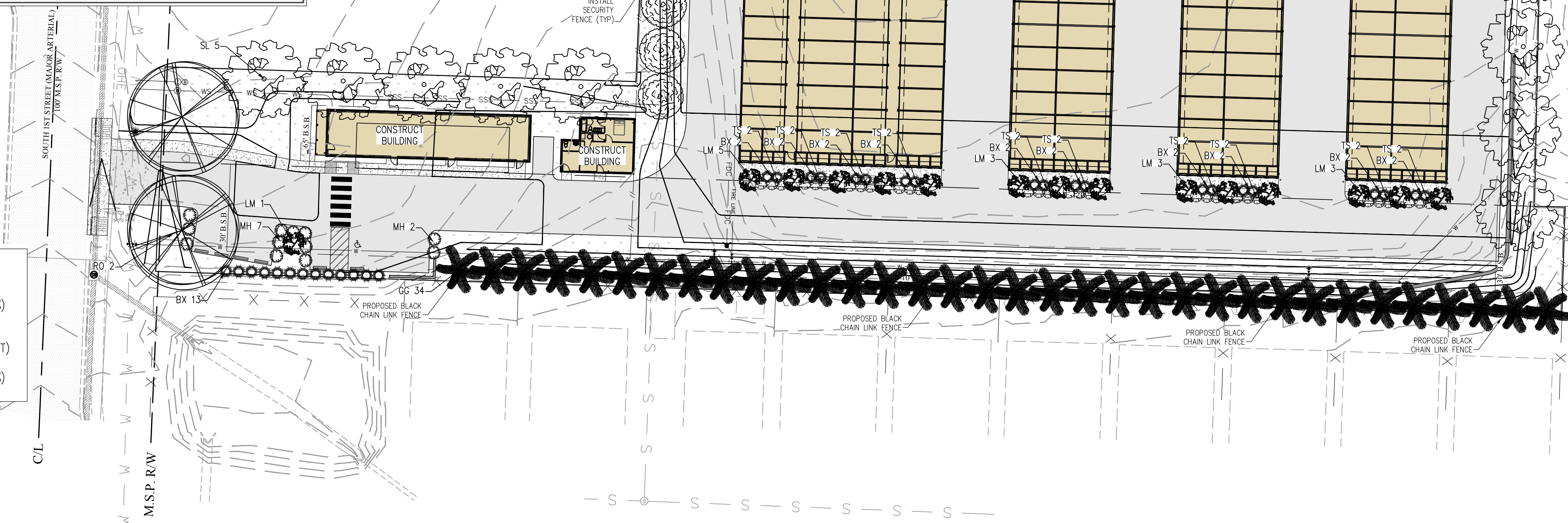
NOT TO SCALE

OCTOBER 18, 2016



– GREENSPACE CALCULATIONS:


TOTAL AREA OF SITE	185,855 SQ FT
GREENSPACE (LESS DETENTION)	37,744 SQ FT (20.3%)
DETENTION AREA	14,746 SQ FT
- 9,293 COUNTED TOWARDS GREENSPACE (5% MAX CREDIT)	
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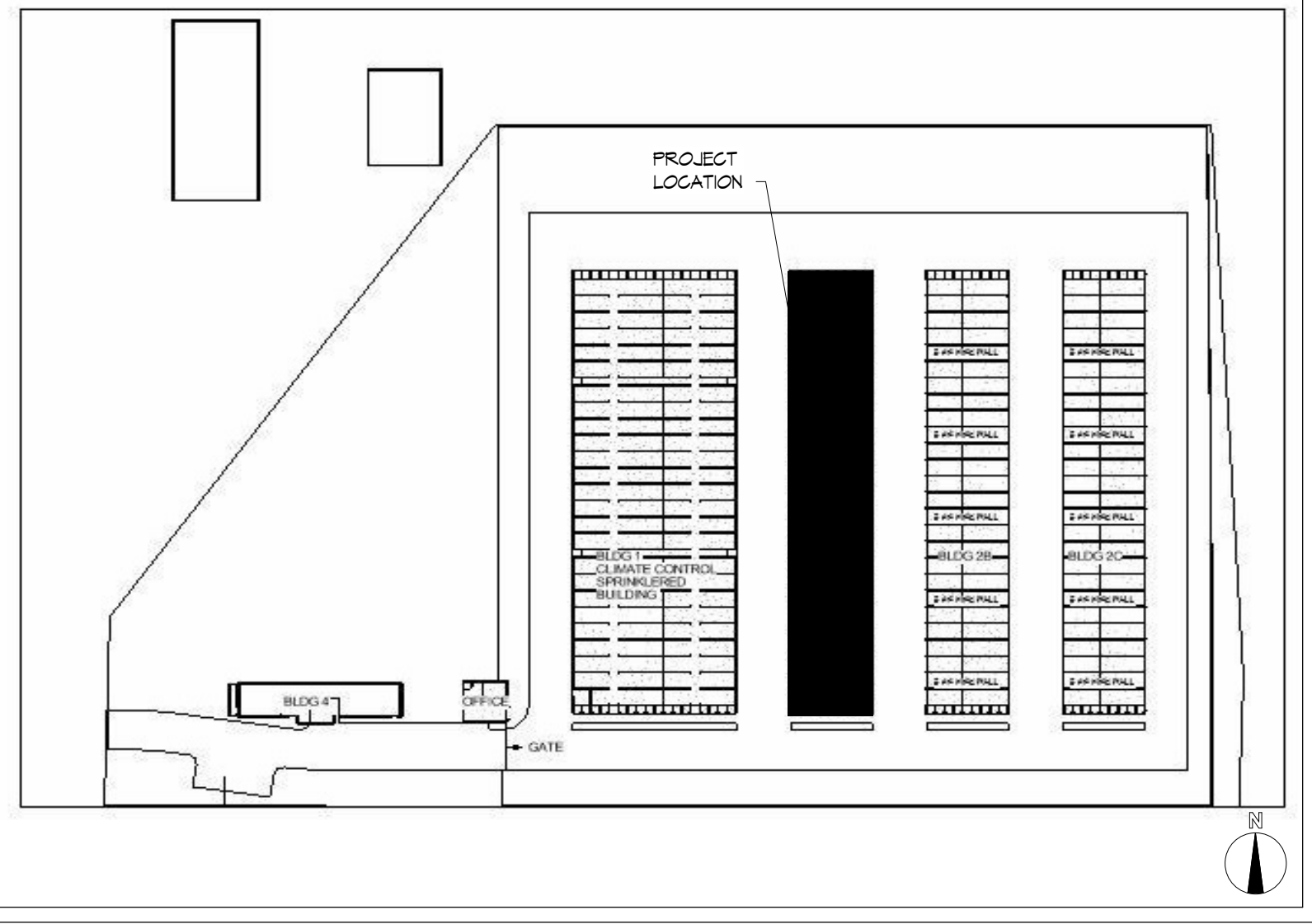
REVISIONS	DATE
1ST SUBMITAL	05/03/19
REVISIONS PER 1ST PLANNING & ENGINEERING STAFF REVIEW	05/30/19
REVISIONS PER 2ND PLANNING & ENGINEERING STAFF REVIEW	08/14/19

FIRST STREET SELF STORAGE
LARGE SCALE DEVELOPMENT PLAN
LANDSCAPE PLAN
CITYVIEW #PL2019000321
ROGERS, ARKANSAS



 **Civil Engineering & Surveying**
www.batesonwa.com
7230 S. Pleasant Ridge Drive • Favettville, Arkansas 72704 • 479.442.9350 • Fax 479.521.9350

KEY PLAN



CODE SUMMARY

APPLICABLE CODES:
INCLUDED BUT NOT LIMITED TO, THE LATEST ADOPTED ADDITIONS OF THESE CODES AS AMENDED BY THE CITY OF ROGERS AND THE STATE OF ARKANSAS
2012 International Building Code (IBC), Vol. 1 with Arkansas State amendments
2012 International Residential Code (IRC), Vol. 2 with Arkansas State amendments
2012 International Fire Code (IFC), Vol. 3 with Arkansas State amendments

2010 Edition Arkansas State Mechanical Code,
2014 Edition National Electric Code (NEC),
2006 Edition Arkansas State Plumbing Code,
2006 Edition Arkansas State Fuel Gas Code,
2004 Edition Arkansas Energy Code,

THIS PROJECT IS A NEW BUILDING ON A PREVIOUSLY UNDEVELOPED SITE. SITE PLANS HAVE BEEN DESIGNED BY A CIVIL ENGINEER UNDER A SEPARATE COVER.

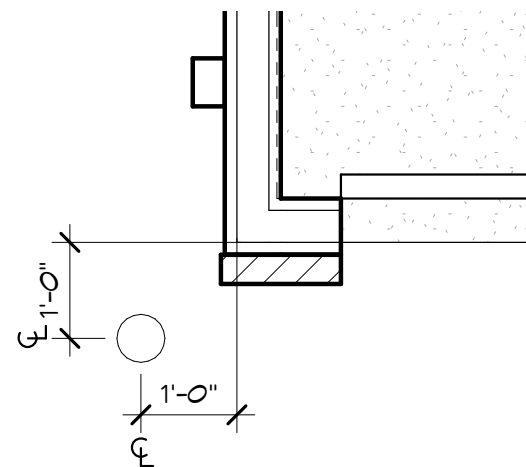
THIS IS A NON-SPRINKLERED - SEPARATED BUILDING. BUILDING AREAS ARE SEPARATED BY A 3 HR FIRE RATED WALL TO KEEP THE BUILDING AREAS UNDER 2,500 SF.

CODE DATA:
PROPOSED USE: SELF STORAGE
OCCUPANCY TYPE: S-1 STORAGE

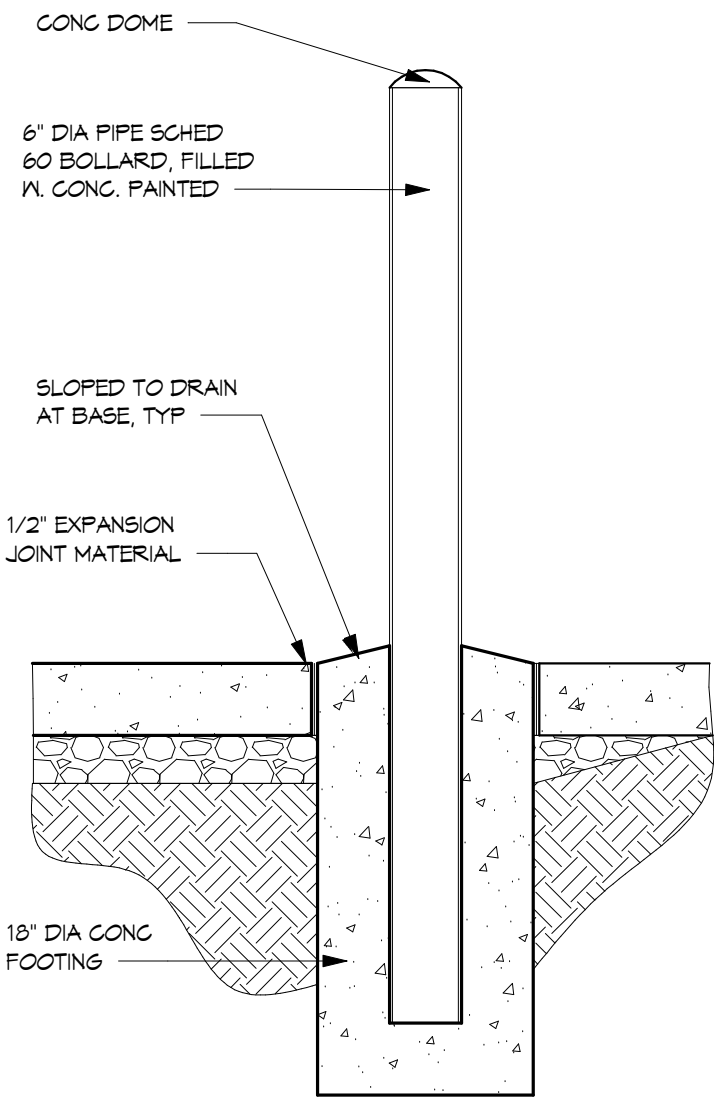
CONSTRUCTION TYPE: 2B - NON SPRINKLERED - SEPARATED
ALLOWABLE AREA = 17,500
ALLOWABLE HT/STORIES = 55' AND 2 STORY

ACTUAL AREA :
BUILDING 2A = 12,153 SF

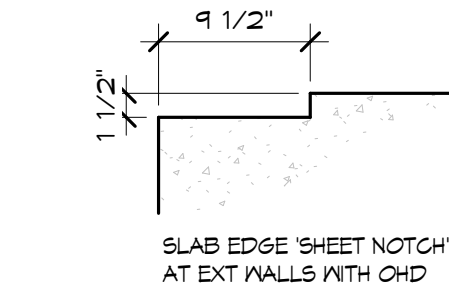
SEE CODE DIAGRAM



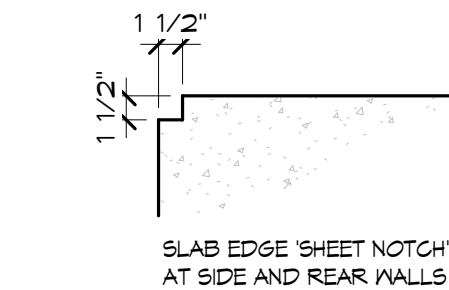
10 TYP. BOLLARD PLACEMENT
1/2" = 1'-0"



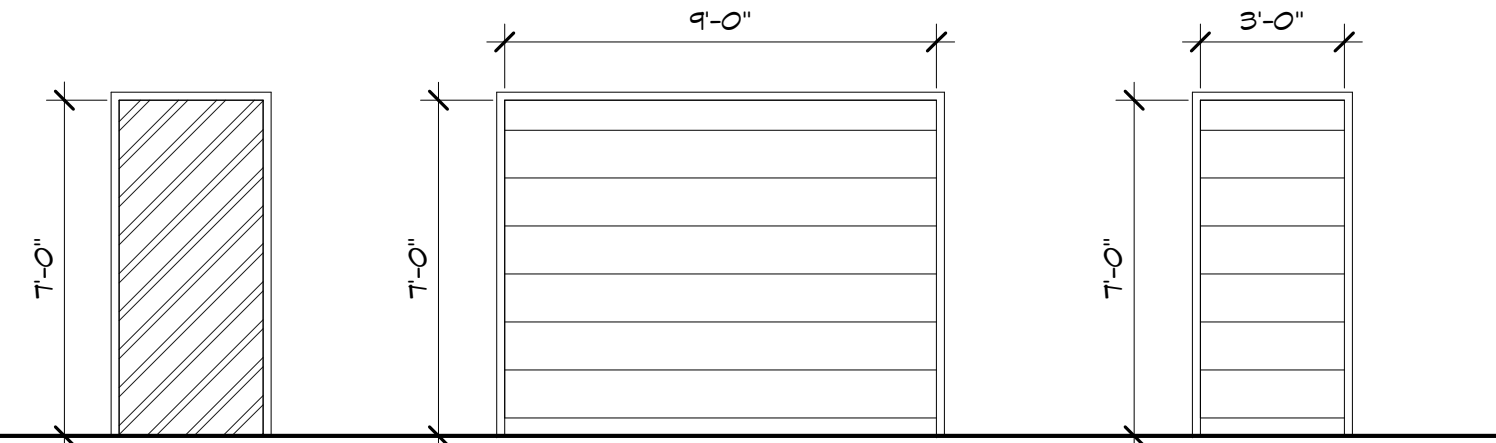
6 BOLLARD
3/4" = 1'-0"



8 9-1/2" SLAB EDGE DETAIL
1" = 1'-0"



7 1-1/2" SLAB EDGE DETAIL
1" = 1'-0"

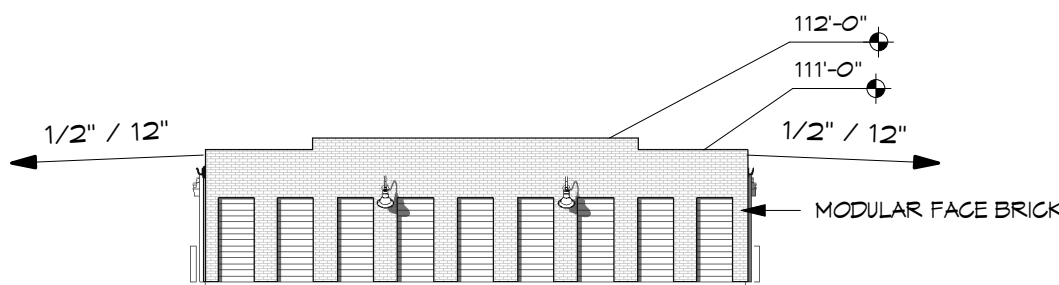


Door Type 1
INSULATED HOLLOW
METAL DOOR
IN HOLLOW METAL FRAME
WITH PANIC BAR AND CLOSER

Door Type 2
ROLLING OHD

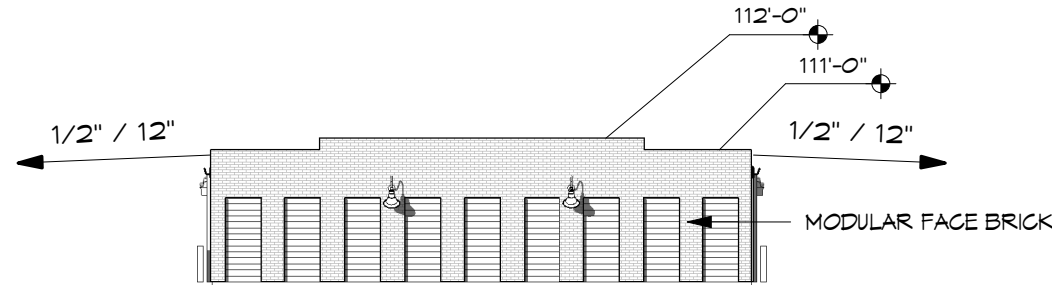
Door Type 3
ROLLING OHD

9 DOOR ELEVATIONS
1/4" = 1'-0"



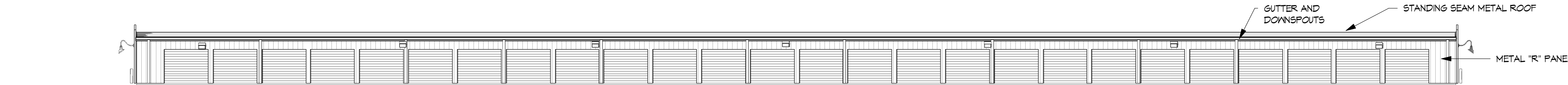
5 NORTH ELEVATION
1/16" = 1'-0"

100% BRICK



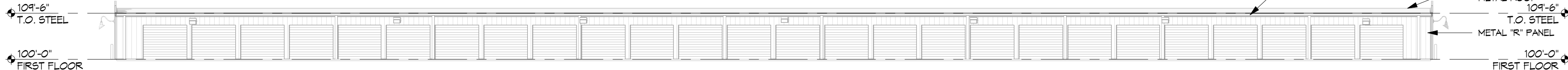
4 SOUTH ELEVATION
1/16" = 1'-0"

100% BRICK



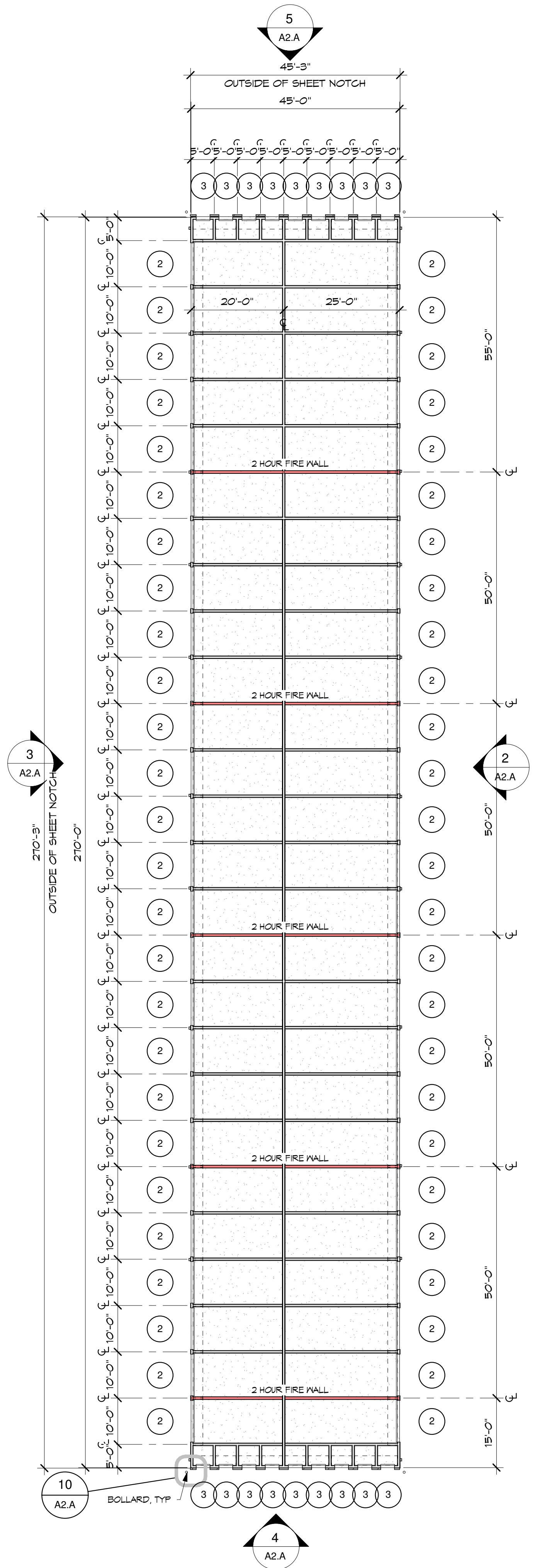
3 WEST ELEVATION
1/16" = 1'-0"

100% METAL PANEL

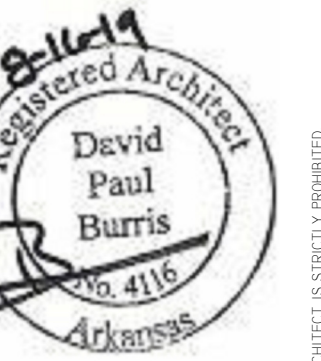


2 EAST ELEVATION
1/16" = 1'-0"

100% METAL PANEL



1 FIRST FLOOR PLAN
1/16" = 1'-0"



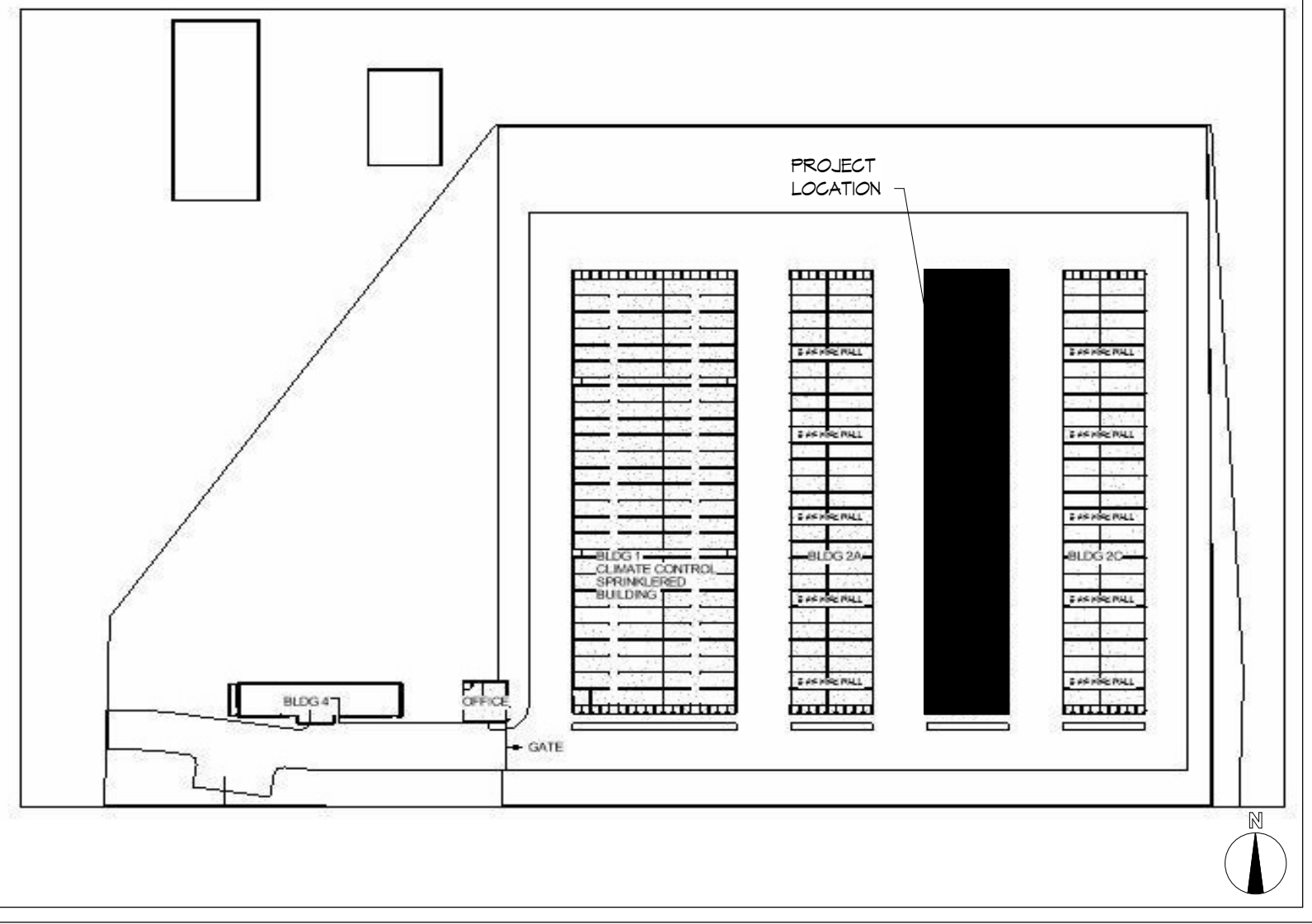
Burris
Architecture
8208 Tiger Blvd, Suite 4, Bentonville, AR 72712
479-319-6045

1st STREET SELF STORAGE
S. 1ST ST
ROGERS, AR

DATE
8-16-19
JOB NO.
19053
REVISIONS

A2.A
BUILDING 2A

KEY PLAN



CODE SUMMARY

APPLICABLE CODES:
INCLUDED BUT NOT LIMITED TO, THE LATEST ADOPTED ADDITIONS OF THESE CODES AS AMENDED BY THE CITY OF ROGERS AND THE STATE OF ARKANSAS

2012 International Building Code (IBC), Vol. 1 with Arkansas State amendments
2012 International Residential Code (IRC), Vol. 2 with Arkansas State amendments
2012 International Fire Code (IFC), Vol. 3 with Arkansas State amendments

2010 Edition Arkansas State Mechanical Code,
2014 Edition National Electric Code (NEC),
2006 Edition Arkansas State Plumbing Code,
2006 Edition Arkansas State Fuel Gas Code,
2004 Edition Arkansas Energy Code,

THIS PROJECT IS A NEW BUILDING ON A PREVIOUSLY UNDEVELOPED SITE. SITE PLANS HAVE BEEN DESIGNED BY A CIVIL ENGINEER UNDER A SEPARATE COVER.

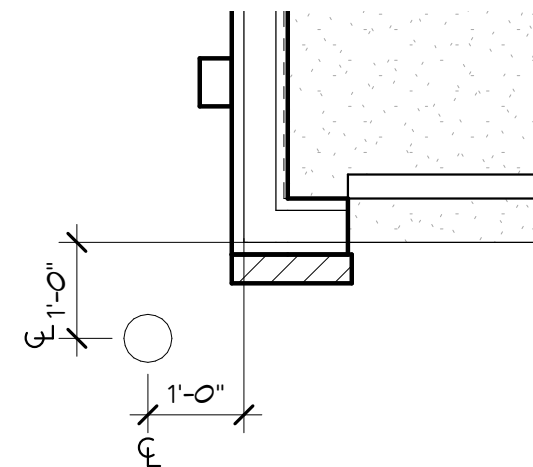
THIS IS A NON-SPRINKLERED - SEPARATED BUILDING. BUILDING AREAS ARE SEPARATED BY A 3 HR FIRE RATED WALL TO KEEP THE BUILDING AREAS UNDER 2,500 SF.

CODE DATA:
PROPOSED USE: SELF STORAGE
OCCUPANCY TYPE: S-1 STORAGE

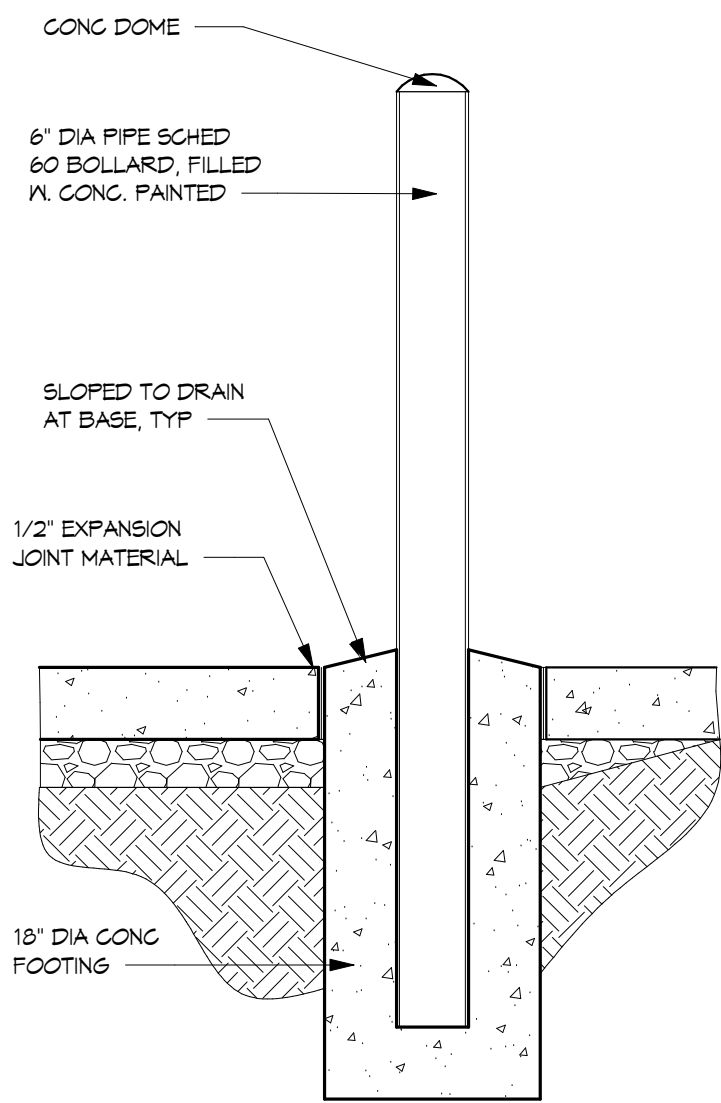
CONSTRUCTION TYPE: 2B - NON SPRINKLERED - SEPARATED
ALLOWABLE AREA = 17,500
ALLOWABLE HT/STORIES = 55' AND 2 STORY

ACTUAL AREA :
BUILDING 2B = 12,158 SF

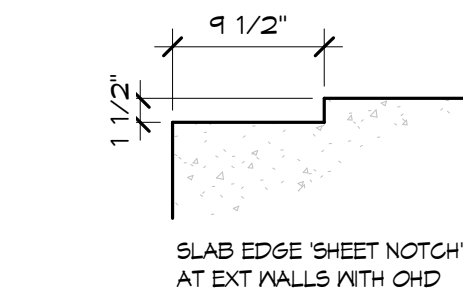
SEE CODE DIAGRAM



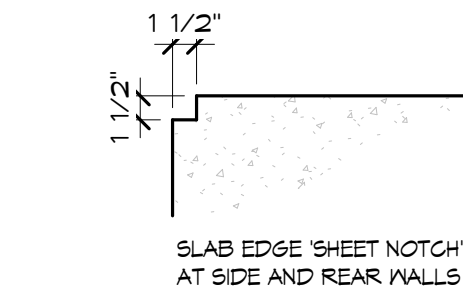
10 TYP. BOLLARD PLACEMENT
1/2" = 1'-0"



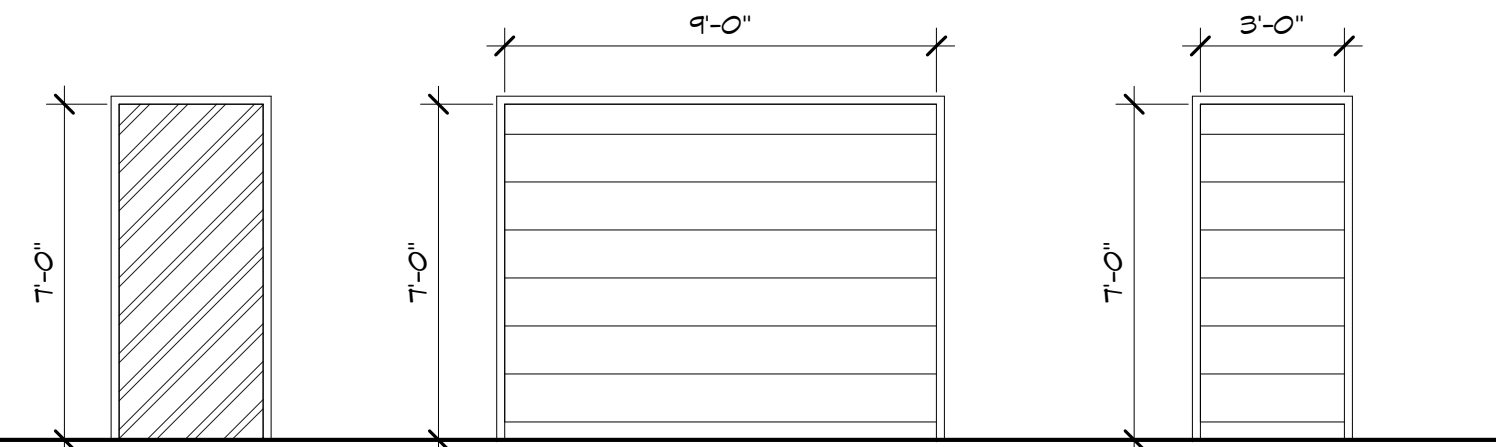
6 BOLLARD
3/4" = 1'-0"



8 9-1/2" SLAB EDGE DETAIL
1" = 1'-0"



7 1-1/2" SLAB EDGE DETAIL
1" = 1'-0"

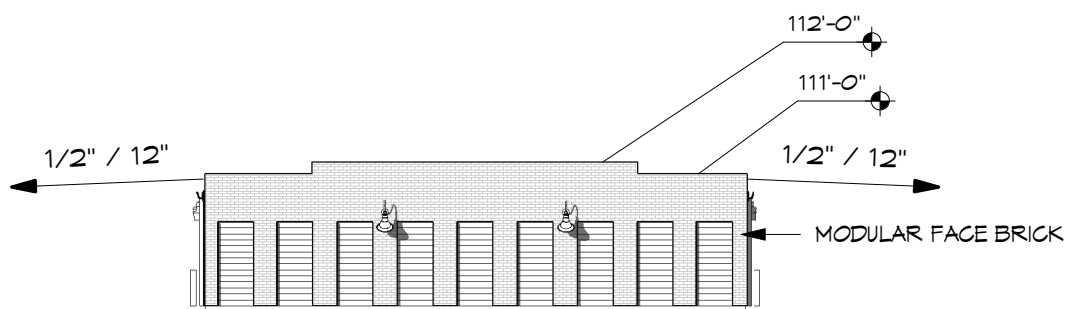


Door Type 1
INSULATED HOLLOW
METAL DOOR
IN HOLLOW METAL FRAME
WITH PANIC BAR AND CLOSER

Door Type 2
ROLLING OHD

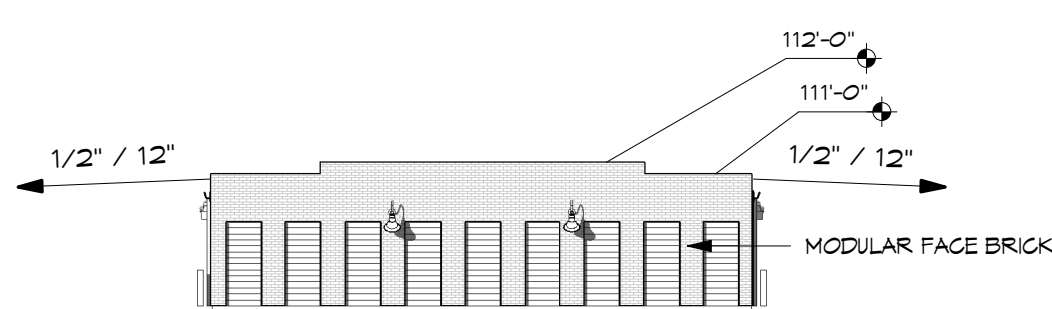
Door Type 3
ROLLING OHD

9 DOOR ELEVATIONS
1/4" = 1'-0"



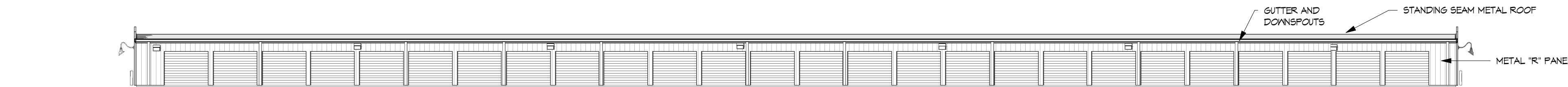
5 NORTH ELEVATION
1/16" = 1'-0"

100% BRICK



4 SOUTH ELEVATION
1/16" = 1'-0"

100% BRICK



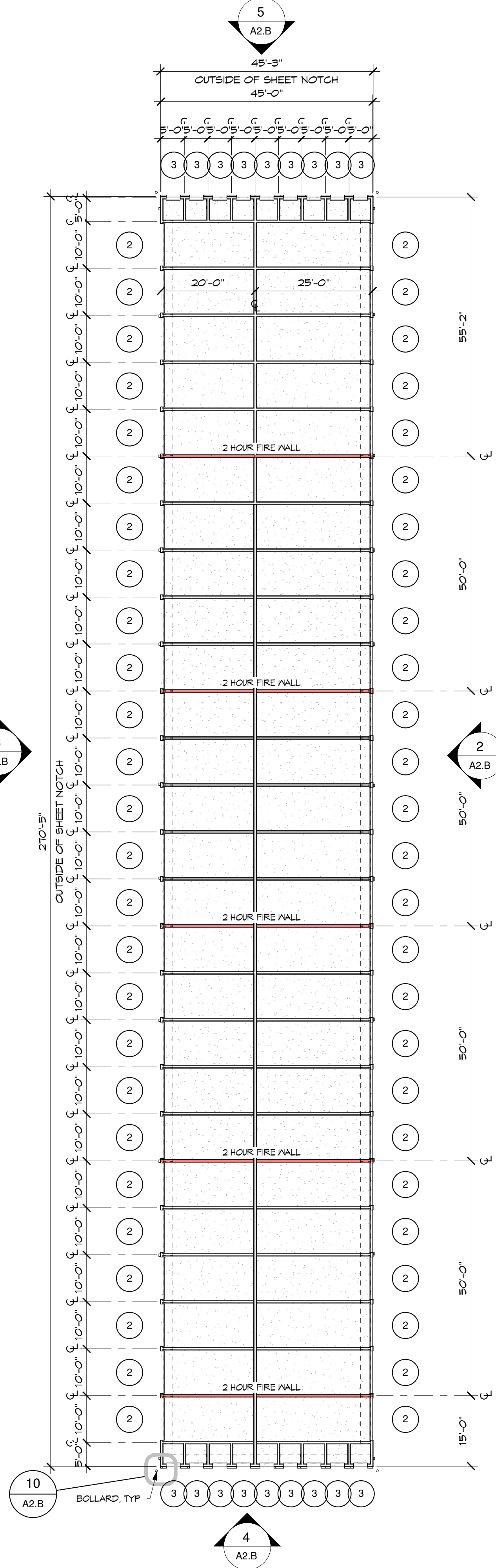
3 WEST ELEVATION
1/16" = 1'-0"

100% METAL PANEL



2 EAST ELEVATION
1/16" = 1'-0"

100% METAL PANEL



1 FIRST FLOOR PLAN
1/16" = 1'-0"



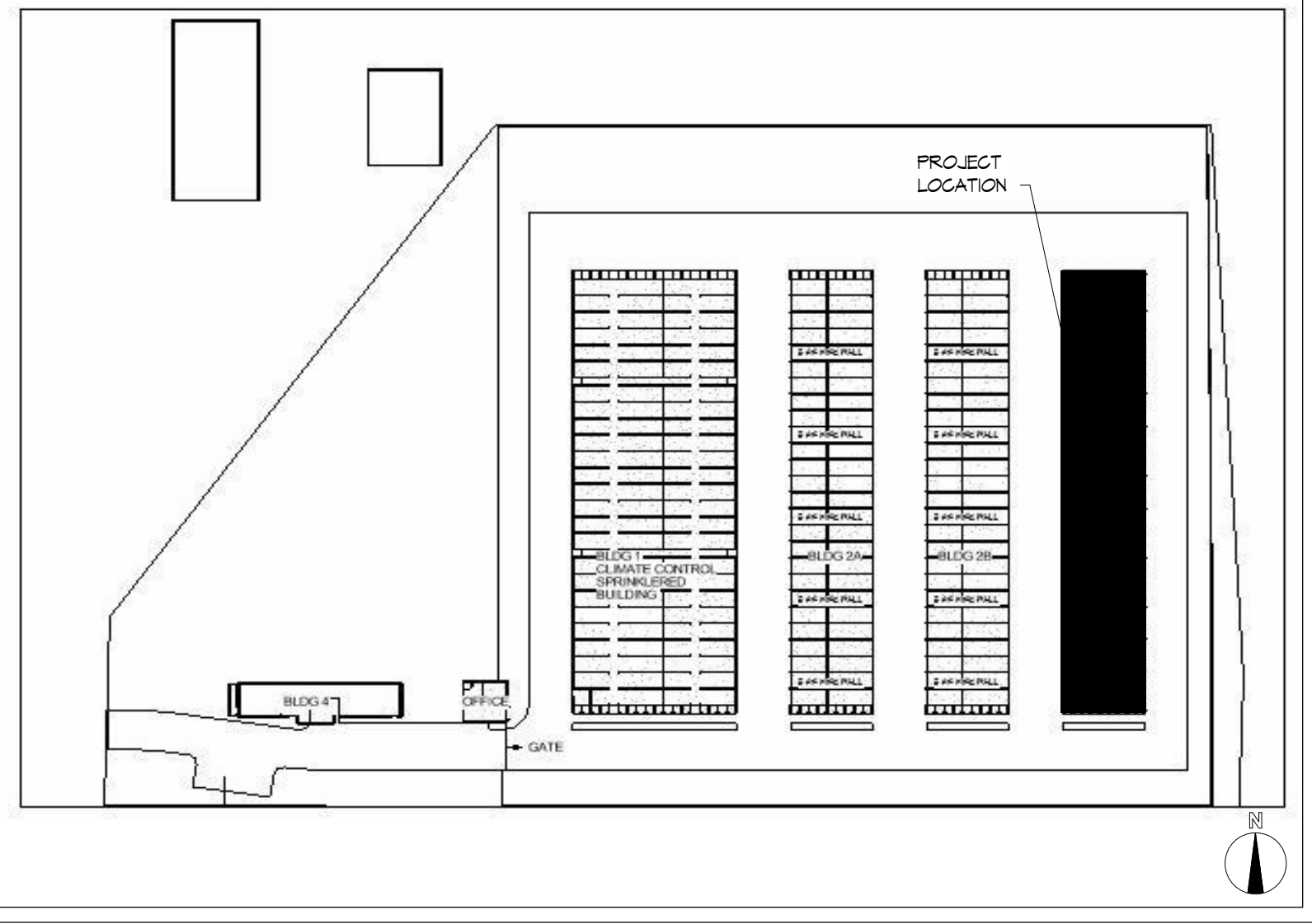
Burris
Architecture
8208 Tiger Blvd, Suite 4, Bentonville, AR 72712
479-319-6045

1st STREET SELF STORAGE
S. 1ST ST
ROGERS, AR

DATE
8-16-19
JOB NO.
19053
REVISIONS

A2.B
BUILDING 2B

KEY PLAN



CODE SUMMARY

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INCLUDED BUT NOT LIMITED TO, THE LATEST ADOPTED ADDITIONS OF THESE CODES AS AMENDED BY THE CITY OF ROGERS AND THE STATE OF ARKANSAS

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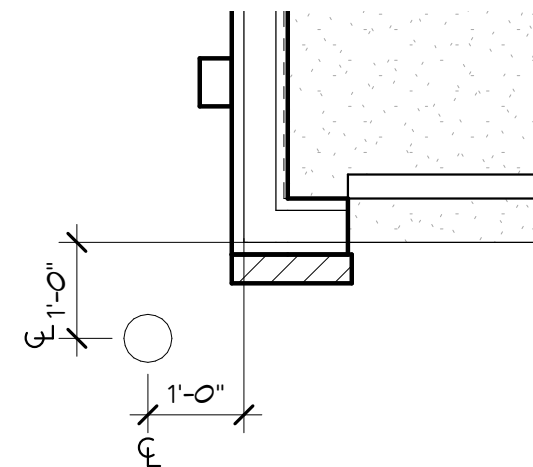
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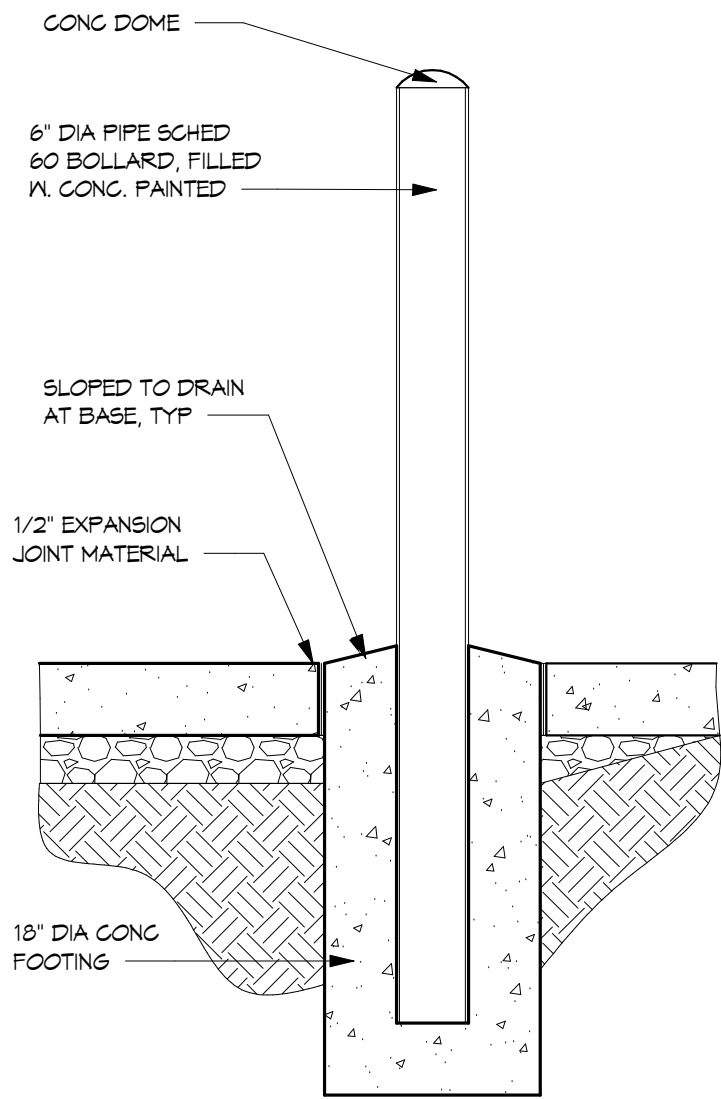
CONSTRUCTION TYPE: 2B - NON SPRINKLERED - SEPARATED
ALLOWABLE AREA = 17,500
ALLOWABLE HT/STORIES = 55' AND 2 STORY

ACTUAL AREA :
BUILDING 2C = 12,158 SF

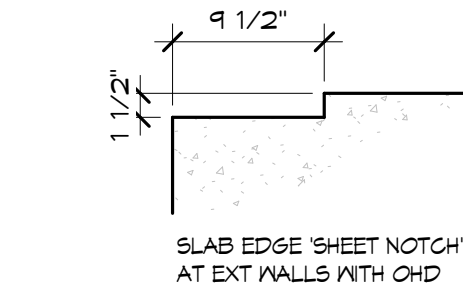
SEE CODE DIAGRAM



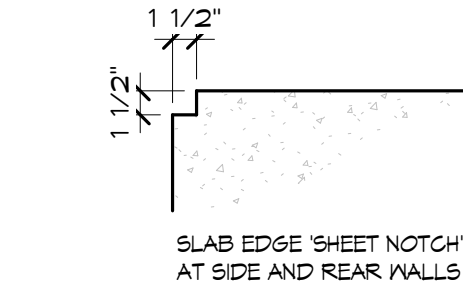
10 TYP. BOLLARD PLACEMENT
1/2" = 1'-0"



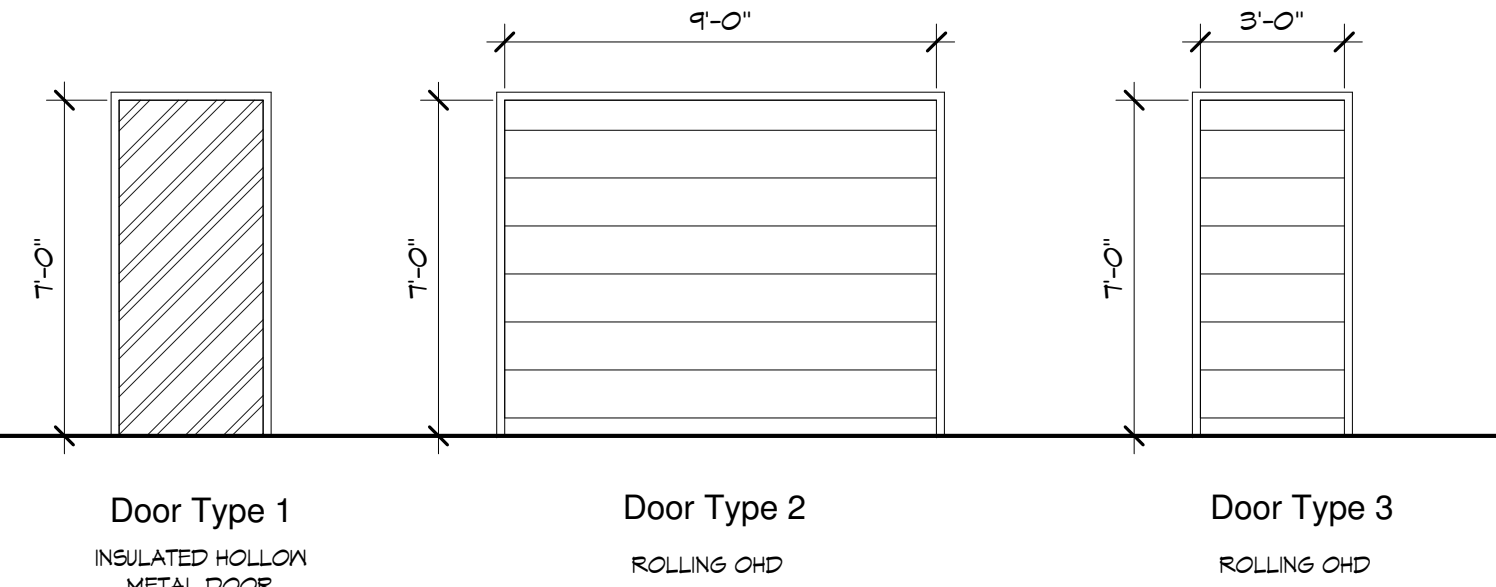
6 BOLLARD
3/4" = 1'-0"



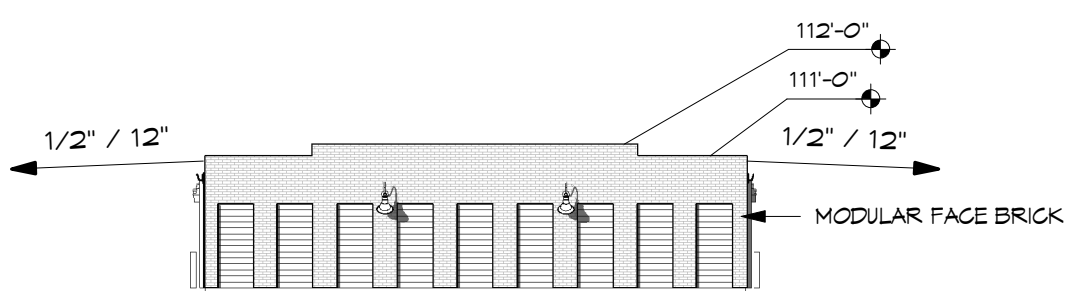
8 9-1/2" SLAB EDGE DETAIL
1" = 1'-0"



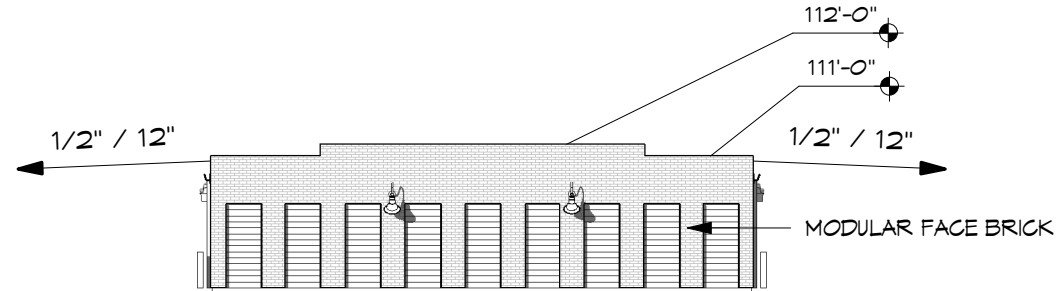
7 1-1/2" SLAB EDGE DETAIL
1" = 1'-0"



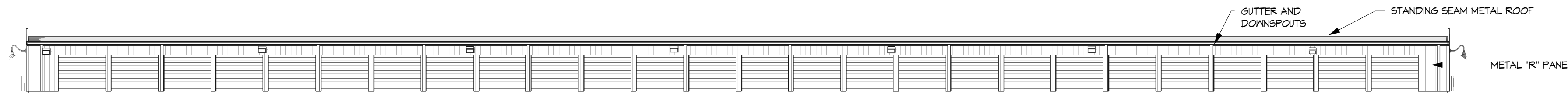
9 DOOR ELEVATIONS
1/4" = 1'-0"



5 NORTH ELEVATION
1/16" = 1'-0"



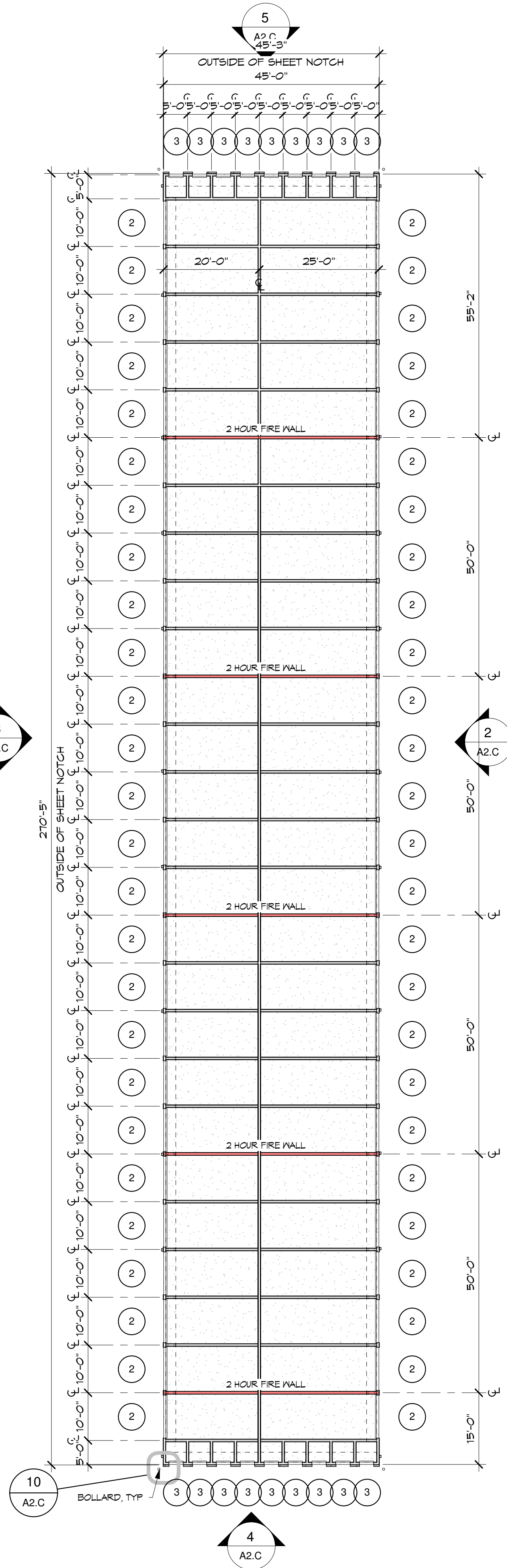
4 SOUTH ELEVATION
1/16" = 1'-0"



3 WEST ELEVATION
1/16" = 1'-0"



2 EAST ELEVATION
1/16" = 1'-0"



1 FIRST FLOOR PLAN
1/16" = 1'-0"



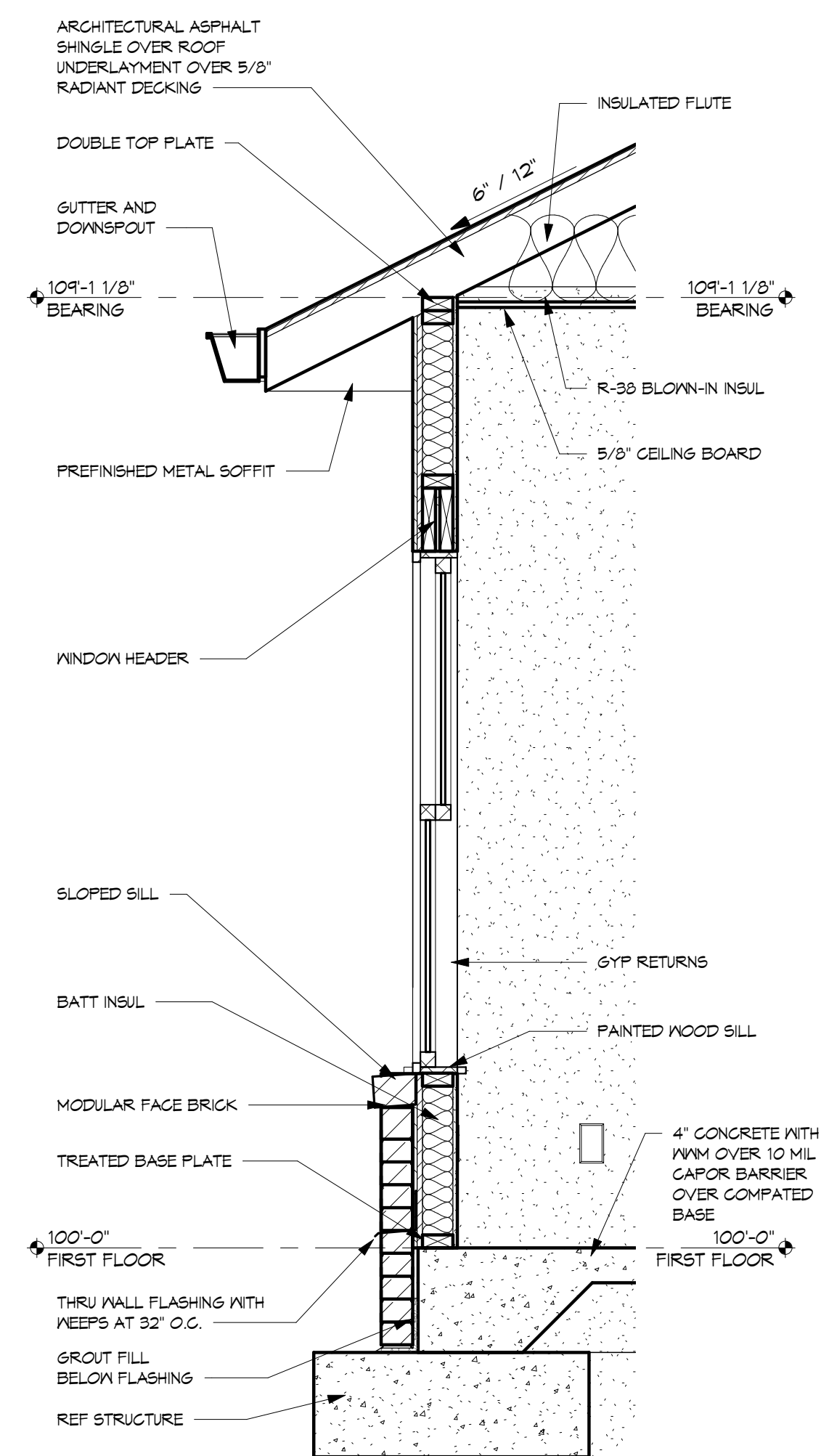
Burris
Architecture
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479-319-6045

1st STREET SELF STORAGE
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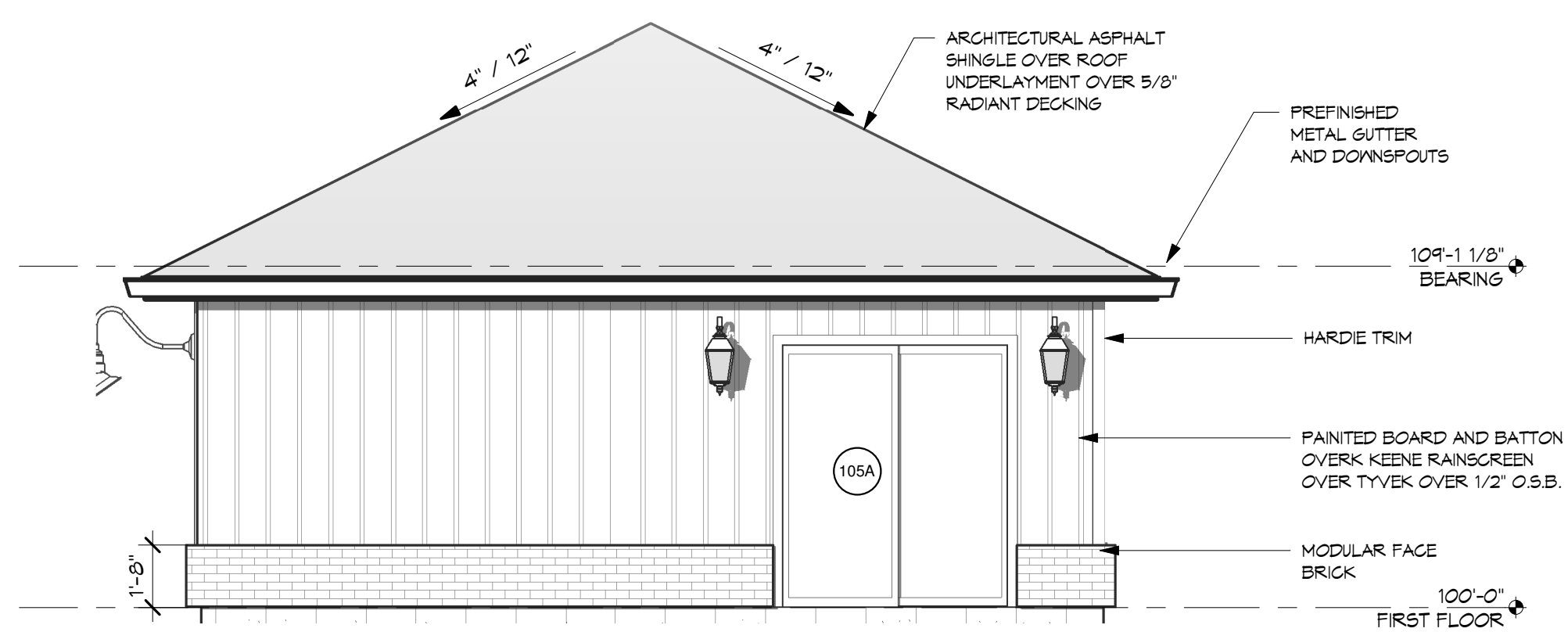
DATE
8-16-19
JOB NO.
19053
REVISIONS

A2.C
BUILDING 2C

THIS DRAWING IS PROVIDED AS AN INSTRUMENT OF SERVICE BY THE ARCHITECT. IT IS THE PROPERTY OF THE ARCHITECT AND SHALL BE RETURNED TO HIM OR HER UPON COMPLETION OF THE PROJECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DRAWING. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIM OR HER.

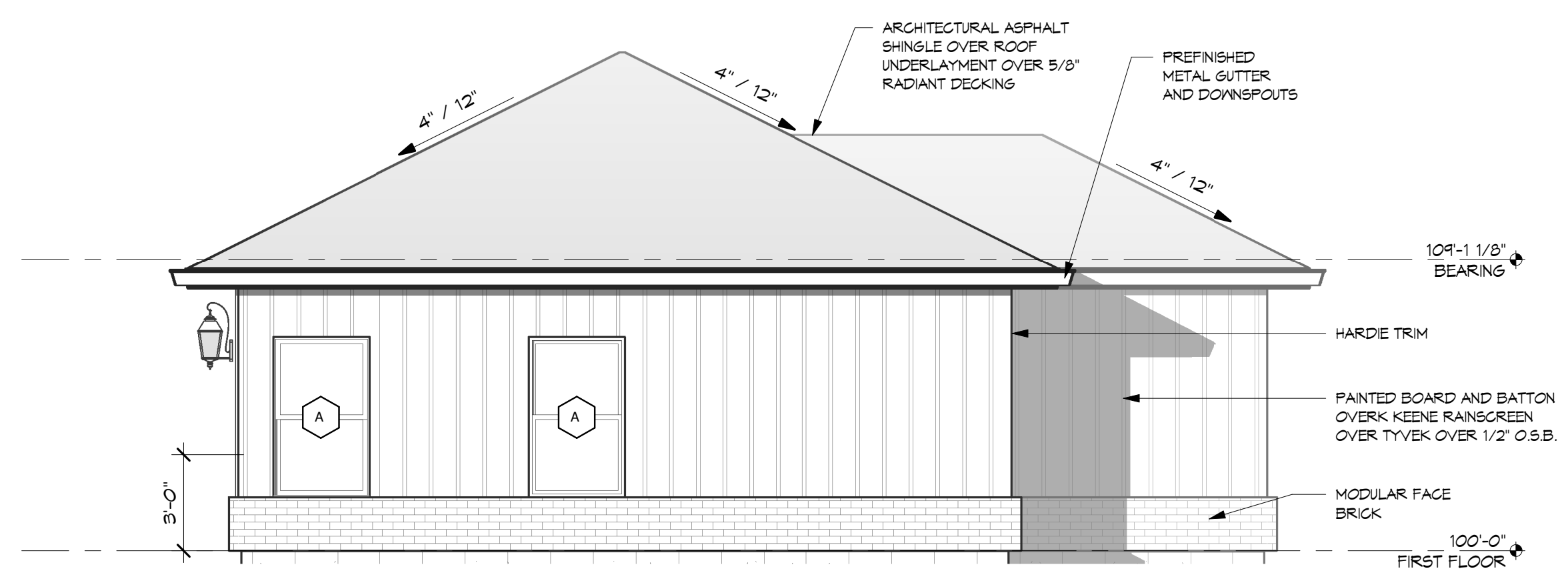


⑤ **Section 1 - Callout 1**
3/4" = 1'-0"



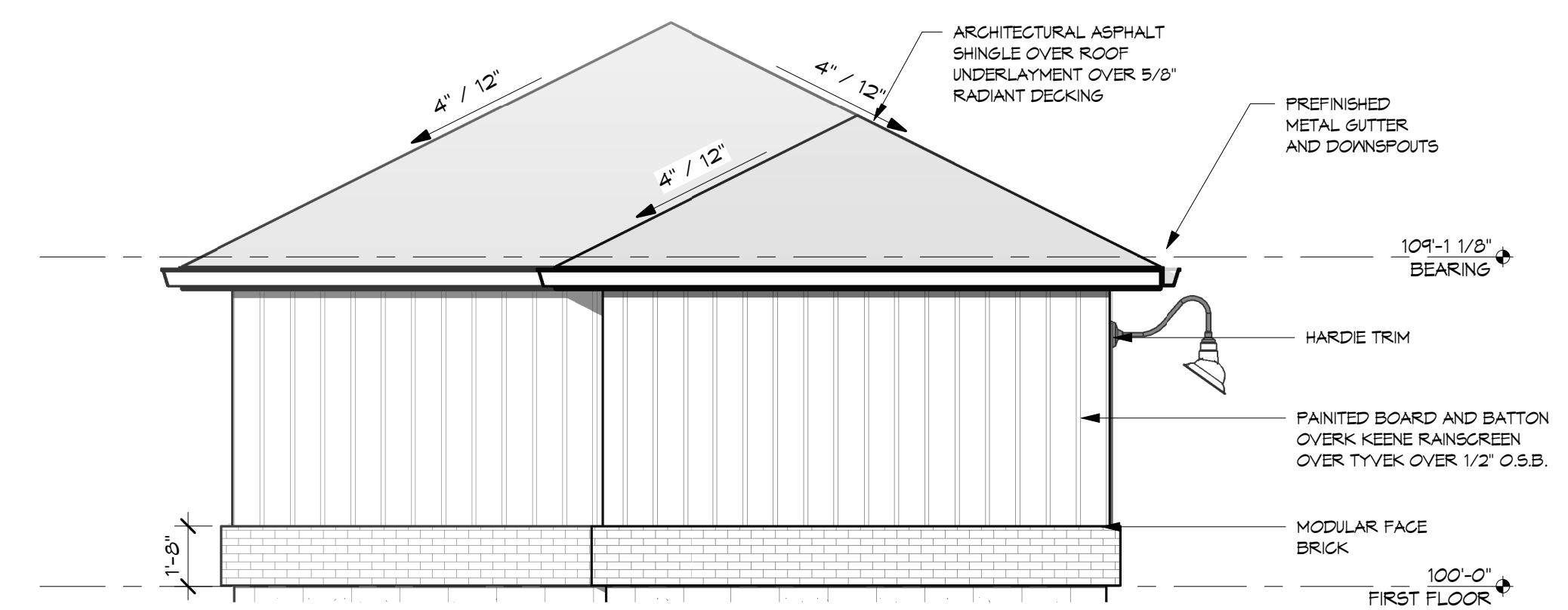
③ **EAST ELEVATION**
1/4" = 1'-0"

30% BRICK
70% WOOD



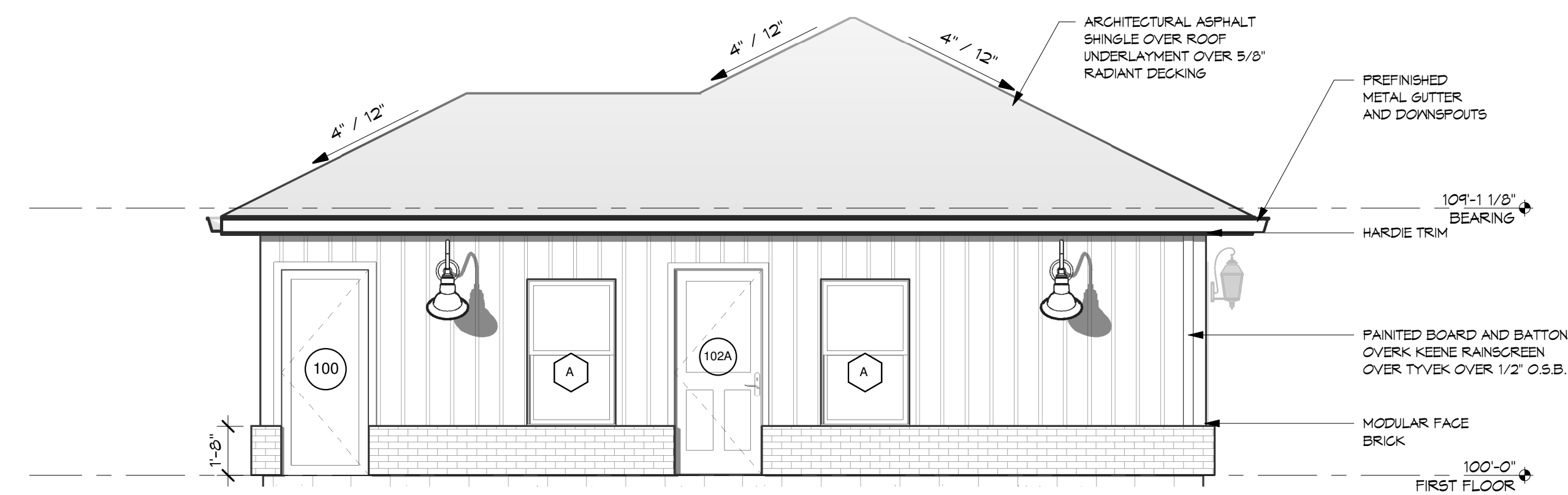
④ **NORTH ELEVATION**
1/4" = 1'-0"

30% BRICK
70% WOOD



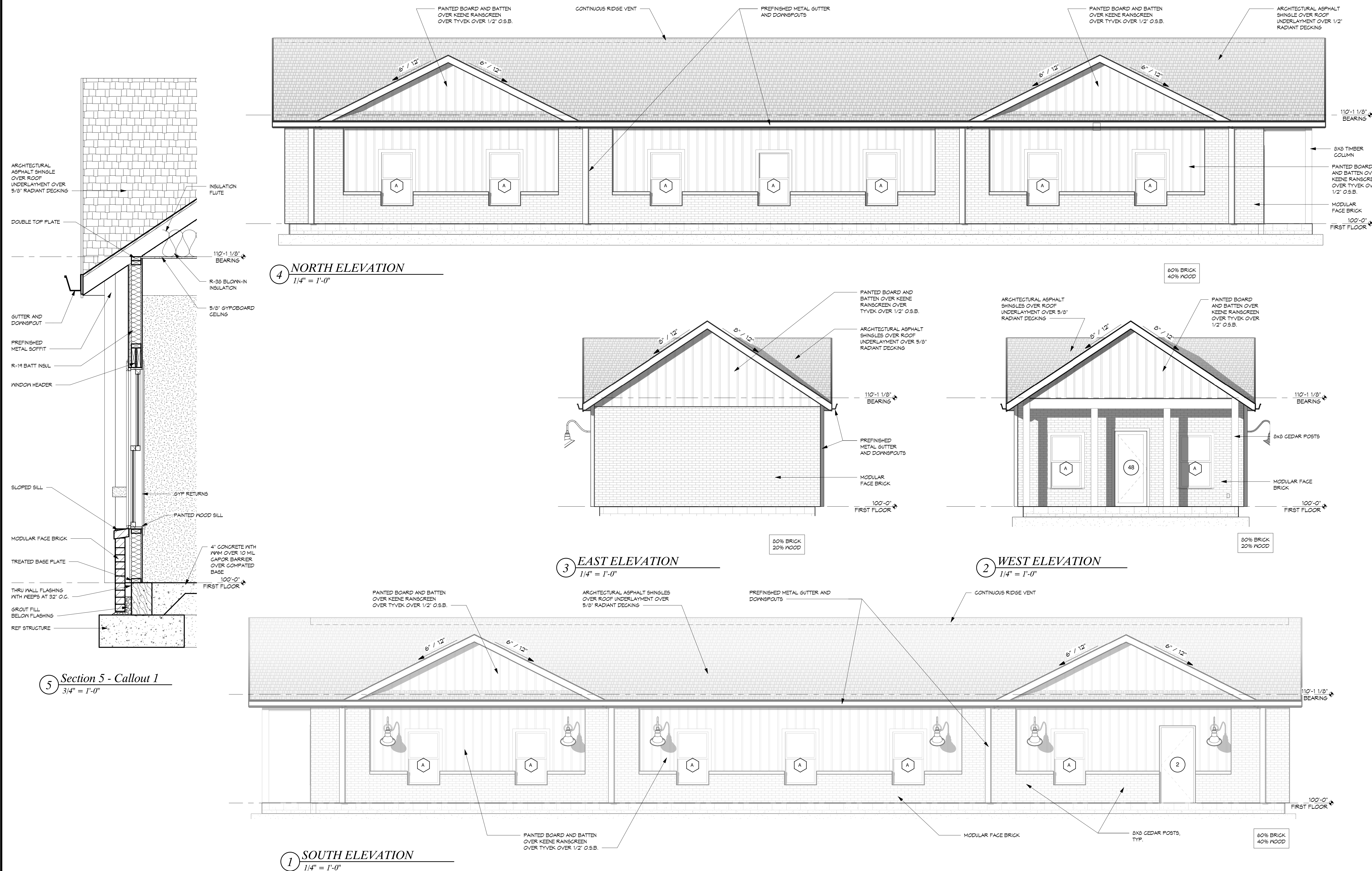
② **WEST ELEVATION**
1/4" = 1'-0"

30% BRICK
70% WOOD



① **SOUTH ELEVATION**
1/4" = 1'-0"

30% BRICK
70% WOOD





ROGERS WATER UTILITIES

"SERVING ROGERS - PROTECTING THE ENVIRONMENT"

May 16, 2019

Mr. Geoffrey Bates, PE
Bates & Associates, Inc.
7230 S. Pleasant Ridge Drive
Fayetteville, AR 72704

Re: Conditional Approval of Civil Plans
Dash Storage

Dear Mr. Bates:

We have reviewed the plans that were received for the referenced project and are approving them with the following conditions:

1. The following portions of the project, while not part of the site design, must also be approved by the Utility before water or sewer service is established:
 - a. Provide plumbing plans for review. The plumbing plans must include an approved RPZA for backflow protection.
 - b. Provide fire suppression plans, if required, once they are complete. Approved backflow protection is required on a fire protection system.

Please forward these requirements to the appropriate design firm(s) and to your client.

2. If the fire department requires that fire hydrants be installed for fire protection on this project, we will need to review the changes to the plans, and this approval will need to be revised.

Cover Sheet

3. Clearly identify the location of the project on the cover sheet Vicinity Map.
4. Identify the project address on the cover sheet.

Site and Utility Plan

5. The proposed water meters will need to be shown within the right-of-way or provide a utility easement.
6. Show the existing easements with dimensions, along with book and page information. The book and page for the utility easement for the existing sanitary sewer main is 2007-41987.

Grading Plan

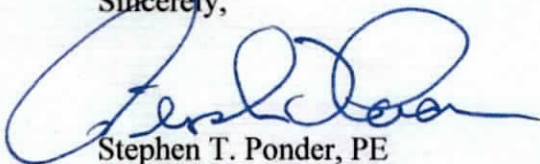
7. If the rim elevation of an existing manhole needs to be adjusted, display the existing and proposed rim elevations. Reference the appropriate RWU Standard Detail for adjustment with each application.

Landscape Plan

8. Large trees (over 20' tall at maturity in City Code 14-46-paragraph G) must be located at least 10 feet from any water or sanitary sewer main. (There appears to be a cypress tree that will be too close to the existing sewer main.)

Approval of this project is void if construction is not started within one year of the date affixed hereto.

Sincerely,

A handwritten signature in blue ink, appearing to read "Stephen T. Ponder", with a large, stylized initial "S" and "P".

Stephen T. Ponder, PE
Project Engineer

SP:DG



**Bates &
Associates, Inc.**

Civil Engineering & Surveying

7230 S. Pleasant Ridge Dr / Fayetteville, AR 72704

PH: 479-442-9350 * FAX: 479-521-9350

September 19, 2019

Planning Department
City of Rogers
301 West Chestnut
Rogers, AR 72756

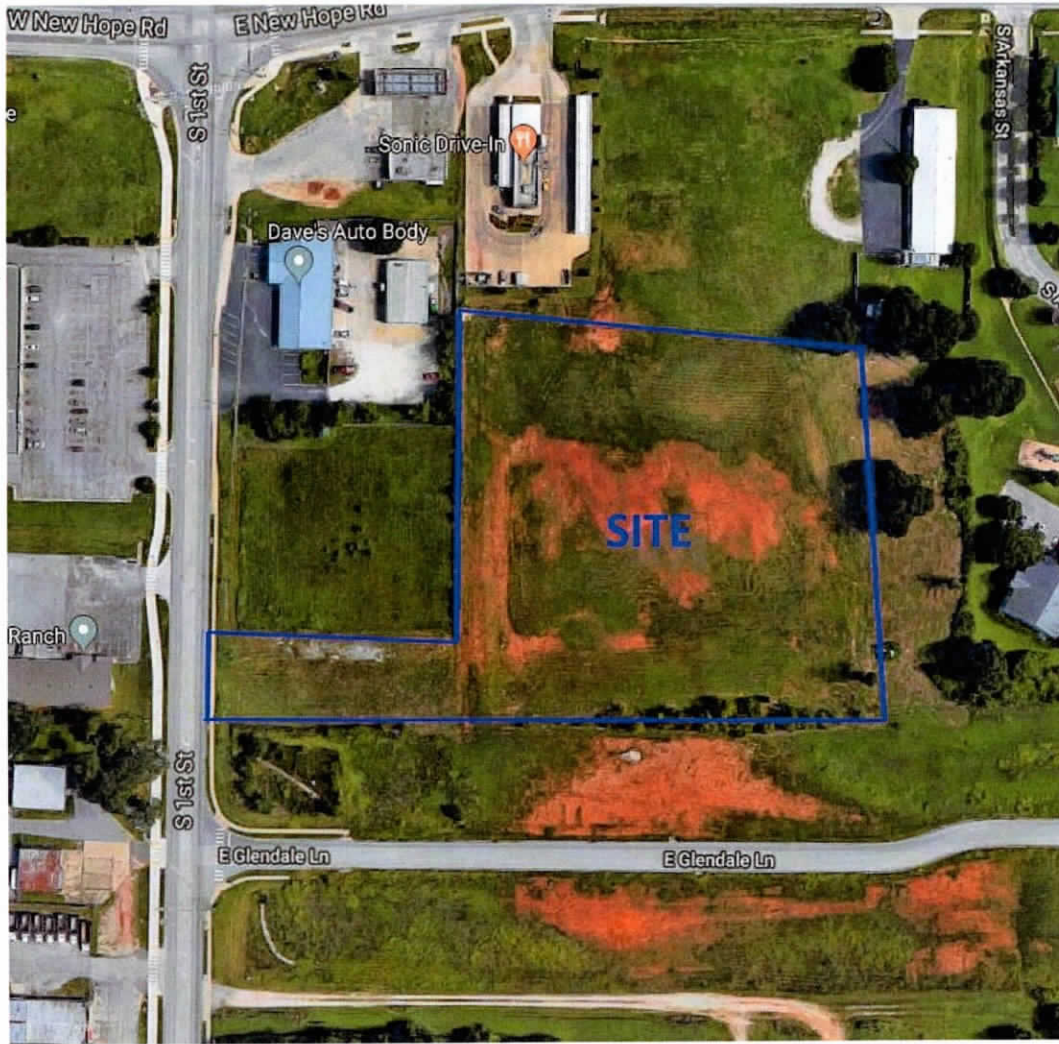
RE: 1st Street Storage Waiver Request

To whom it may concern,

On behalf of our client, we would like to request the following waiver:

1. A WAIVER FROM THE REQUIREMENT OF STREET IMPROVEMENTS:

The current street is only 38' from back of curb to back of curb, and runs from the intersection of w Nursery rd. to the intersection of Veterans way, roughly 1 mile. The Major Arterial Street specs call for a 68' minimum back-to-back width with 6' of green space and 10' sidewalks on either side. If installed according to specs, this would almost double the size of the street in this section only, and risk a possible safety hazard due to a single, outstanding island near the proposed project's drive. The current streets seem to be in good condition as well, so there is no need for demolition.



If you have any questions or require additional information, please feel free to contact me at your convenience.

Sincerely

Jeffery Chavis
Bates & Associates, Inc.