

SHADOWBROOKE AT THE PEAKS PH III

ROGERS, ARKANSAS

Large Scale Development Plan

City View #PL 201800022

GENERAL NOTES TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CONTACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
2. CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION.
3. EXISTING GRADE CONTOURS ARE AT ONE FOOT INTERVALS.
4. PROPOSED CONTOURS ARE AT FINISH GRADE AND ARE AT ONE FOOT INTERVALS.
5. PROPOSED SPOT ELEVATIONS ARE TOP OF FINISH CURB UNLESS OTHERWISE INDICATED OR SHOWN.
6. THE CONTRACTOR SHALL ADHERE TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
7. CONTRACTOR TO INSTALL MUD ABATEMENT ENTRANCES ANYWHERE PROPOSED STREETS ENTER EXISTING PUBLIC STREETS. ENTRANCE TO BE CONSTRUCTED A MIN. OF 50' IN LENGTH BY WIDTH OF PROPOSED STREET AND TO A DEPTH OF 8 INCHES.
8. CONTRACTOR TO INSTALL EROSION CONTROL FENCING PRIOR TO BEGINNING ANY CONSTRUCTION. FENCING SHALL BE MAINTAINED & REPAIRED AS NECESSARY BY THE CONTRACTOR DURING CONSTRUCTION.
9. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. ALL CONCRETE TO HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH OF 3500 PSI.
11. DAMAGE DURING CONSTRUCTION TO ANY EXISTING STRUCTURES TO REMAIN SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE.
12. ALL MATERIALS AND CONSTRUCTION SHALL COMPLY WITH THE CITY OF ROGERS'S REQUIREMENTS. IN THE CASE OF CONFLICTS, THE CITY'S CRITERIA SHALL GOVERN.
13. ALL SIDEWALKS AND HANDICAP RAMPS SHALL BE BUILT TO THE CURRENT STANDARDS OF THE AMERICANS WITH DISABILITIES ACT REQUIREMENTS.
14. ACCORDING TO CITY CODE: IT SHALL BE UNLAWFUL FOR ANY PERSON, FIRM OR CORPORATION TO OCCUPY THE IMPROVEMENTS MADE PURSUANT TO THE APPROVED LARGE-SCALE DEVELOPMENT PLAN WITHOUT FIRST OBTAINING A CERTIFICATE OF OCCUPANCY. FAILURE TO OBTAIN A CERTIFICATE OF OCCUPANCY SHALL BE A MISDEMEANOR PUNISHABLE BY A FINE NOT TO EXCEED \$250 PER DAY THAT SAID VIOLATION EXISTS.
15. ALL CIVIL PLANS USED ON-SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.

CONDITIONS OF APPROVAL:

1. A COPY OF THE NOTICE OF TERMINATION WITH ADEQ MUST BE PROVIDED IN ORDER TO RECEIVE A CERTIFICATE OF OCCUPANCY (PROJECTS OVER 5 AC).
2. A GRADING PERMIT WILL NOT BE ISSUED UNTIL THE PLANNING COMMISSION HAS APPROVED THIS LARGE SCALE DEVELOPMENT PLAN. PERMIT REQUIREMENTS ARE AVAILABLE AT THE PLANNING OFFICE.
3. A PERIMETER BUFFER STRIP SHALL BE TEMPORARILY MAINTAINED AROUND THE DISTURBED AREA. THE MINIMUM WIDTH FOR THE BUFFER STRIP IS 25FT WITH A MAXIMUM WIDTH OF 40FT.
4. A TRUCK WASH DOWN AREA MUST BE SHOWN ON THE PLANS. A TYPICAL DETAIL WILL BE PROVIDED BY THE PLANNING DEPARTMENT AND MUST BE SHOWN ON A DETAIL SHEET.
5. IT SHALL BE A VIOLATION OF CITY CODE FOR ANY PERSON, FIRM OR CORPORATION TO OCCUPY THE IMPROVEMENT MADE PURSUANT TO THE APPROVED LARGE SCALE DEVELOPMENT PLAN WITHOUT FIRST OBTAINING A CERTIFICATE OF OCCUPANCY. FAILURE TO OBTAIN A CERTIFICATE OF OCCUPANCY COULD RESULT IN A CITATION BEING ISSUED.
6. ALL MECHANICAL, ELECTRICAL AND AIR CONDITIONING EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.
7. ALL PARKING LOTS AND DRIVES MUST BE HARD SURFACED.
8. ALL WATER AND SEWER PLANS MUST BE APPROVED BY THE ROGERS WATER UTILITY DEPARTMENT PRIOR TO CONSTRUCTION. THIS IS A SEPARATE REVIEW PROCESS AND A PRE-CONSTRUCTION MEETING WILL BE REQUIRED.
9. CONSTRUCTION DEBRIS MUST BE CLEARED FROM ALL STORMWATER STRUCTURES AND VERIFIED BY A SITE INSPECTION FROM THE PLANNING DEPARTMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
10. DRAINAGE IMPROVEMENTS MUST BE COMPLETED AND CERTIFIED BY THE ENGINEER OF RECORD, BATES AND ASSOCIATES, WITH ALL DITCHES AND BASINS SOLID-SODDED, CONCRETE-LINED, OR UNDERGROUND CONDUIT INSTALLED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. EROSION CONTROL METHODS MUST BE USED DURING CONSTRUCTION.
11. ENGINEER TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ROGERS PLANNING DEPARTMENT PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL PHASE 1 EROSION CONTROL MUST BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING AND A REDUCED SET OF CONSTRUCTION PLANS (11IN X 17IN) WILL BE REQUIRED.
12. IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE WITH THE UTILITIES REGARDING PLANTS IN THE UTILITY EASEMENT.
13. LANDSCAPING MUST BE INSTALLED AND A THREE-YEAR GUARANTEE SUBMITTED ON PLANT REPLACEMENT OR A LETTER OF CREDIT POSTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. MINIMUM SIZE OF SHRUBS IS FIVE GALLONS, FOR SHADE TREES IT IS 2 1/2" B & B, AND FOR ORNAMENTAL TREES IT IS 1 1/2" B & B.
14. MUST COMPLY WITH ALL CITY OF ROGERS BUILDING AND FIRE CODES.
15. PDF OF APPROVED PLANS AND DRAINAGE REPORT MUST BE SUBMITTED ALONG WITH HARD COPIES PRIOR TO LS DP APPROVAL LETTER
16. PROVIDE THE CITY PLANNER A COMPACT DISK WITH THE AS-BUILT PLANS REFERENCING 2 GPS POINTS TIED TO THE ROGERS MONUMENT SYSTEM AND FORMATTED IN BOTH AUTOCAD 2010 .DWG AND A PDF DOCUMENT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
17. SIDEWALKS MUST BE 5/6 FEET IN WIDTH AND RAMPED AT ALL CURB CUTS TO MEET ADA AND AHTD SPECIFICATIONS AND INSTALLED THE FULL WIDTH OF THE PROPERTY OR A LETTER OF CREDIT POSTED PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. SIDEWALKS MUST MATCH ANY EXISTING SIDEWALKS IN THE AREA, INCLUDE TRUNCATED DOMES AT THE HANDICAP RAMPS AND BE LOCATED A MIN. OF 5/6 FEET BEHIND THE CURB. TWO HANDICAP RAMPS ARE REQUIRED AT EACH STREET RADIUS FOR ANY STREET THAT IS A COLLECTOR AND ABOVE.
18. THE ENTIRE FACILITY MUST COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
19. THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY UPSTREAM OR DOWNSTREAM FLOODING AS A DIRECT RESULT OF THIS DEVELOPMENT.
20. THE PERSON FINANCIALLY RESPONSIBLE FOR THE PROJECT MUST OBTAIN A GRADING PERMIT INCLUDING A COPY OF THE NOI, A COPY OF THE STORMWATER POLLUTION PREVENTION PLAN, AND A COPY OF THE GRADING AND EROSION CONTROL PLAN.
21. INDIVIDUAL ROLL-OFF CARTS WILL BE USED FOR TRASH SERVICE.
22. A PRE-CONSTRUCTION MEETING WITH THE ROGERS BUILDING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A BUILDING PERMIT.
23. ESTABLISH A POA TO MAINTAIN ALL COMMON AREAS AND PROVIDE THE CITY PLANNER WITH A DRAFT OF THE COVENANTS PRIOR TO CITY COUNCIL ACCEPTANCE OF THE FINAL PLAT. RECORDED COVENANTS WILL BE REQUIRED AT THE TIME OF THE CERTIFICATE OF OCCUPANCY.
24. APPROVED AND RECORDED EASEMENT PLAT REQUIRED FOR CERTIFICATE OF OCCUPANCY.

OWNERSHIP OF DOCUMENTS

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICES, IS THE PROPERTY OF BATES + ASSOCIATES, INC., AND IS NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF BATES + ASSOCIATES, INC.

SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE DOES NOT INTEND TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN OR NEAR THE CONSTRUCTION SITE.

ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE DRAWINGS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS, TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE DRAWINGS AND WE ASSUME NO RESPONSIBILITY AS TO THE ACCURACY OF THEIR DEPICTED LOCATION ON THESE DRAWINGS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ALL OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE DRAWINGS BY VERIFICATION OF THEIR LOCATION IN THE FIELD PRIOR TO THE INITIATION OF THE ACTUAL PORTION OF THEIR WORK.

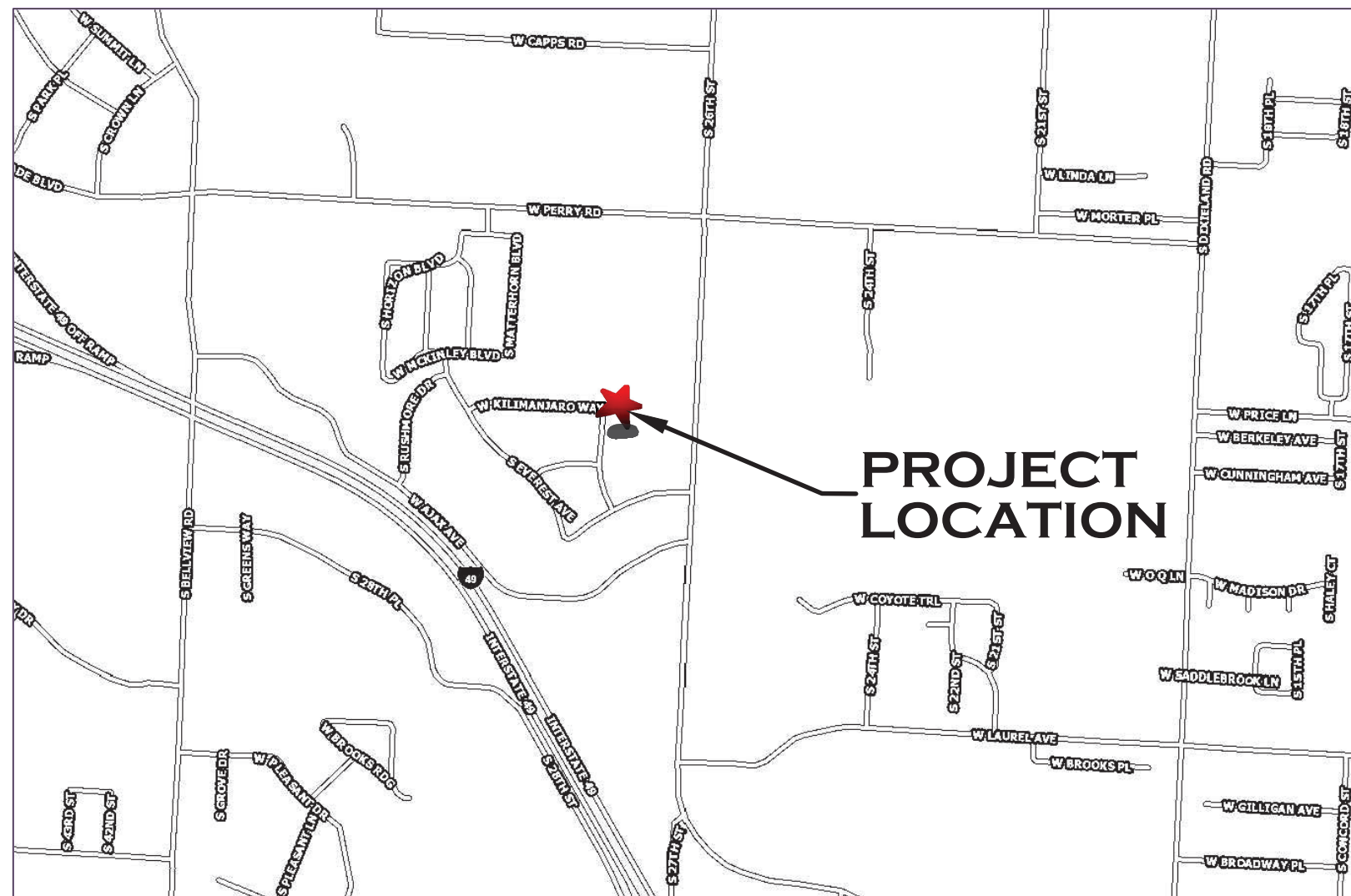
FLOOD CERTIFICATION:

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN FLOOD ZONE "A" OR "AE" AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS. (FIRM PANEL #05007C0265K & #05007C0270K. DATED JUNE 5, 2012)

BASIS OF ELEVATION:
CITY OF ROGERS GIS MONUMENT #7

BASIS OF BEARING:
GPS OBSERVATION - ARKANSAS NORTH ZONE

THERE ARE NO EXISTING WETLANDS ON THIS SITE.



STRUCTURE HEIGHT: 30.6' MAX.

NEW CONSTRUCTION CALCULATIONS:

BUILDING SQUARE FOOTAGE: 72718.18
CONCRETE DRIVEWAY SQUARE FOOTAGE: 23148.76
ASPHALT DRIVEWAY SQUARE FOOTAGE: 24614.57
SIDEWALK SQUARE FOOTAGE: 8172.43

ROGERS PLANNING NOTES:

1. DEVELOPER IS RESPONSIBLE FOR BRINGING EXISTING ALL NON-COMPLIANT ADA HANDICAP RAMPS INTO COMPLIANCE WITH ADA GUIDELINES.
2. REMOVE ALL EXISTING STREETLIGHTS AND REPLACE WITH UTILITY COMPANY-PROVIDED STREETLIGHTS.
3. SIDEWALKS TO BE 5' IN WIDTH AT RIGHT-OF-WAY. GREENSPACE WILL VARY SLIGHTLY DUE TO VARIATION IN LOCATION OF BACK OF CURB.

SITE AND UTILITY NOTES:

1. ALL OUTDOOR LIGHTING SHALL BE REVIEWED PRIOR TO BUILDING PERMIT APPROVAL FOR COMPLIANCE WITH THE OUTDOOR LIGHTING ORDINANCE.
2. ALL MECHANICAL, ELECTRICAL, AND AIR CONDITIONING EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.
3. ALL EXISTING UTILITIES BELOW 12KV SHALL BE RELOCATED UNDERGROUND. ALL INSTALL UTILITIES SHALL BE LOCATED UNDERGROUND.
4. ALL CONDUITS PLACED BY CONTRACTOR MUST HAVE 48" OF COVER AT FINAL GRADE AND MARKED WITH POST TO IDENTIFY THE END OF CONDUITS. THERE MUST BE A MINIMUM SEPARATION OF 12" BETWEEN CONDUITS FOR ELECTRIC AND CONDUITS FOR OTHER UTILITIES.
5. DAMAGE TO OR RELOCATION OF EXISTING UTILITIES SHALL BE AT THE DEVELOPER'S EXPENSE.
6. TREES MUST BE LOCATED 7.5' FROM PUBLIC UTILITIES.
7. ALL WATER AND SEWER PLANS MUST BE APPROVED BY THE ROGERS WATER UTILITY DEPARTMENT PRIOR TO CONSTRUCTION.
8. ALL SIGNS WILL REQUIRE SEPARATE PERMITS.
9. THIS ENTIRE FACILITY MUST COMPLY WITH THE REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT OF 1990.
10. A PRE-CONSTRUCTION MEETING WITH THE ROGERS BUILDING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
11. DOMESTIC BACKFLOW PREVENTION DEVICES TO BE LOCATED INSIDE BUILDING. SEE RWU STANDARD DETAILS FOR INSTALLATION REQUIREMENTS.
12. IRRIGATION BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED IN A HEATED SPACE OR FROST-PROOF ENCLOSURE PRIOR TO ANY TEES OR BRANCHES.
13. RPZA DEVICE SHALL BE WILKINS 975XL, HORIZONTAL ORIENTATION
14. RPZA MUST BE INSTALLED 12-30 INCHES ABOVE FINISHED FLOOR ELEVATION AND A MINIMUM OF 12 INCHES FROM ANY WALL OR OTHER OBSTRUCTION.
15. WATER AND SEWER SERVICES TO BE ABANDONED BY ROGERS WATER UTILITIES, AT OWNER'S EXPENSE.
16. DO NOT REMOVE COVER OVER EXISTING WATER MAINS.
17. WATER SERVICE BANKS HAVE (9) 5/8" METERS SETS IN 4 METER BOXES AND A 1" IRRIGATION METER. SOME BANKS WILL NEED ADDITIONAL METERS.
18. EACH WATER METER MUST BE TAGGED BY CONTRACTOR WITH A NON-CORRODING METAL TAG SHOWING THE ADDRESS THAT IT SERVES.
19. EXISTING SEWER SERVICE BANKS HAVE MULTIPLE TAPS AVAILABLE. UNUSED SERVICES SHALL BE ABANDONED.



ADJOINING PARCEL MAP

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	47.11'	30.00'	89°58'58"	S 47°17'56" W	42.42'
C2	399.08'	900.00'	28°24'23"	S 79°35'09" W	395.82'
C3	120.24'	1831.33'	3°45'43"	S 65°00'06" W	120.22'
C4	46.24'	30.00'	88°18'29"	N 72°55'27" W	41.80'
C5	282.17'	475.00'	34°02'10"	N 11°33'16" E	278.04'
C6	31.70'	60.00'	30°16'07"	N 20°35'59" E	31.33'
C7	133.57'	50.00'	153°03'50"	N 40°47'32" W	97.25'
C8	31.70'	60.00'	30°16'07"	S 77°48'58" W	31.33'

LINE	BEARING	DISTANCE
L1	S 01°59'46" W	32.83'
L2	N 28°34'21" W	53.92'

LIST OF ADJOINING PROPERTY OWNERS:

- 1) PARCEL NUMBER: 02-01712-040
OWNER NAME: MCCRAW, GLORIA MAE TRUSTEE
MAILING ADDRESS: 2430 S 26TH ST
ROGERS AR 72758-6145
ZONING: A-1
- 2) PARCEL NUMBER: 02-02087-264
OWNER NAME: BRILEY, DERRIEL R & DORIS O, TRUSTEES
MAILING ADDRESS: 2460 S 26TH ST
ROGERS AR 72758-6145
ZONING: A-1
- 3) PARCEL NUMBER: 02-02087-267
OWNER NAME: KEENE, BEVERLY D TRUSTEE
MAILING ADDRESS: 2542 S 26TH ST
ROGERS AR 72758-6147
ZONING: A-1
- 4) PARCEL NUMBER: 02-02087-250
OWNER NAME: IMMANUEL BAPTIST CHURCH OF ROGERS ARKANSAS INC
MAILING ADDRESS: 2531 S 26TH ST
ROGERS AR 72758-6147
ZONING: A-1
- 5) PARCEL NUMBER: 02-02087-260
OWNER NAME: IMMANUEL BAPTIST CHURCH OF ROGERS ARKANSAS INC
MAILING ADDRESS: 5507 WALSH LN STE 202
ROGERS AR 72758-8711
ZONING: A-1
- 6) PARCEL NUMBER: 02-16715-009
OWNER NAME: CH PEAKS LLC
MAILING ADDRESS: 599 HORSEBARN RD STE 100
ROGERS AR 72758-8711
ZONING: R-0
- 7) PARCEL NUMBER: 02-16715-006
OWNER NAME: EMERITROG LLC
MAILING ADDRESS: 3131 ELLIOTT AVE #500
SEATTLE WA 98121-1032
ZONING: RMF-9A
- 8) PARCEL NUMBER: 02-16715-003
OWNER NAME: SHADOWBROOKE HOLDING LLC
MAILING ADDRESS: 14034 S 145 E STE 301
DRAPER UT 84020-5756
ZONING: RMF-9A
- 9) PARCEL NUMBER: 02-16715-002
OWNER NAME: J&M INVESTMENTS OF NWA LLC
MAILING ADDRESS: 4034 N OLD WIRE RD
FAYETTEVILLE AR 72703-4715
ZONING: RMF-9A



SANITARY SEWER MANHOLE INFORMATION:

- MH 1, LINE P:
RIM ELEV: 1285.00
INVERT IN: 1274.72
INVERT OUT: 1274.62
- MH 2, LINE P:
RIM ELEV: 1288.75
INVERT OUT: 1275.78
- MH 5, LINE O:
RIM ELEV: 1281.00
INVERT IN: 1270.90
INVERT OUT: 1270.80
- MH 6, LINE O:
RIM ELEV: 1286.00
INVERT IN: 1278.10
INVERT OUT: 1278.00
- MH 7, LINE O:
RIM ELEV: 1288.60
INVERT OUT: 1278.60
- MH 3, LINE B:
RIM ELEV: 1288.00
INVERT IN: 1274.92
INVERT OUT: 1275.82
- MH 4, LINE B:
RIM ELEV: 1284.50
INVERT IN: 1275.91
INVERT OUT (S): 1275.81
- MH 5, LINE B:
RIM ELEV: 1288.00
INVERT IN (W/N): 1276.58
INVERT OUT (S): 1276.48
- MH 6, LINE B:
RIM ELEV: 1291.50
INVERT IN (N): 1283.35
INVERT OUT (S): 1283.25
- MH 7, LINE B:
RIM ELEV: 1296.00
INVERT IN (W): 1284.42
INVERT OUT (S): 1284.32

CONSTRUCT	EXISTING	DESCRIPTION
○	●	REBAR (PROPERTY CORNER)
○	○	ASPHALT SURFACE
○	○	BACKFLOW PREVENTION VALVE
○	○	BENCHMARK
○	○	BOLLARD
○	○	BOUNDARY
○	○	BUILDING
○	○	CABLE PEDESTAL
○	○	CONCRETE SURFACE
○	○	CONDUIT
○	○	CURB & GUTTER
○	○	CENTERLINE OF ROAD
○	○	DUMPSITE
○	○	ELECTRIC LINE (OVERHEAD)
○	○	ELECTRIC LINE (UNDERGROUND)
○	○	ELECTRIC METER
○	○	ELECTRIC PEDESTAL
○	○	ELECTRIC TRANSFORMER
○	○	EROSION CONTROL (RIP-RAP)
○	○	EROSION CONTROL (SILT FENCE)
○	○	FENCE
○	○	FIRE HYDRANT
○	○	FLOW LINE
○	○	FIBEROPTIC LINE
○	○	FORCE MAIN
○	○	GAS LINE
○	○	GAS METER
○	○	GRAVEL SURFACE
○	○	HOSE BIB
○	○	POWER POLE
○	○	REBAR (PROPERTY CORNER)
○	○	RETAINING WALL
○	○	RIGHT-OF-WAY LINE
○	○	SANITARY SEWER CLEANOUT
○	○	SANITARY SEWER LINE
○	○	SANITARY SEWER MANHOLE
○	○	SANITARY SEWER SERVICE LINE
○	○	SECTION LINE / ADJ. PROP. LINE
○	○	SETBACK LINE
○	○	SIGN / FLAGPOLE
○	○	SPOT ELEVATION
○	○	STORM SEWER MANHOLE
○	○	STORM SEWER PIPE
○	○	STREETLIGHT
○	○	TELEPHONE LINE
○	○	TELEPHONE PEDESTAL
○	○	TREE
○	○	TREE CANOPY LINE
○	○	UTILITY EASEMENT
○	○	WATER LINE
○	○	WATER MAIN FDC
○	○	WATER METER
○	○	WATER SERVICE
○	○	WATER VALVE

Drawing Name: 15\300\15-368\Engineering\02 Site & Utility Plan.dwg
Scale: 1"=15' (PS)
Date: 12/22/2015
Xrefs Used: BATES-AR w signature, BASE, 24x36, COA BBA, BATES-AR



STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 9810
GEOFFREY H. BATES

CERTIFICATE OF AUTHORITY
BATES & ASSOCIATES, INC.
#335
ARKANSAS ENGINEER

ENGINEER: G. Bates
DRAWN BY: J. Young
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DATE	REVISIONS
10/04/19	
1ST SUBMITTAL	

SHADOWBROOKE AT THE PEAKS PH III
LARGE SCALE DEVELOPMENT PLANS
SITE & UTILITY PLAN
ROGERS, ARKANSAS

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Fayetteville, Arkansas 72704

DATE
02

PROJECT NO 16-012

IMPERVIOUS AREA CALCULATIONS:

TOTAL AREA OF SITE	340,642 SQ FT
IMPERVIOUS AREA	125,483 SQ FT
% OF IMPERVIOUS AREA	37%

ROGERS PLANNING COMMENTS:

- ENGINEER TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE ROGERS PLANNING DEPARTMENT PRIOR TO ISSUANCE OF A GRADING PERMIT. ALL PHASE 1 EROSION CONTROL MUST BE INSTALLED PRIOR TO THE PRE-CONSTRUCTION MEETING AND A REDUCED SET OF CONSTRUCTION PLANS (11"x17") WILL BE REQUIRED.
- THE PERSON FINANCIALLY RESPONSIBLE FOR THE PROJECT MUST OBTAIN A GRADING PERMIT INCLUDING A COPY OF THE NOI, A COPY OF THE STORMWATER PREVENTION PLAN, AND A COPY OF THE GRADING AND EROSION CONTROL PLAN.
- A COPY OF THE NOTICE OF TERMINATION WITH ADEQ MUST BE PROVIDED IN ORDER TO RECEIVE A CERTIFICATE OF OCCUPANCY (PROJECTS OVER 5 ACRES).
- A GRADING PERMIT WILL NOT BE ISSUED UNTIL THE PLANNING COMMISSION HAS APPROVED THIS LARGE SCALE DEVELOPMENT PLAN. PERMIT REQUIREMENTS ARE AVAILABLE IN THE PLANNING OFFICE.
- PROVIDE A SOILS REPORT SIGNED AND SEALED BY A PROFESSIONAL ENGINEER TO BE INCLUDED WITH THE BUILDING PERMIT APPLICATION.
- ALL DRIVEWAY APPROACHES MUST BE LESS THAN 10% IN GRADE ELEVATION UNLESS APPROVED BY THE CITY ENGINEER OR CITY PLANNER.
- DRIVEWAY APPROACHES GREATER THAN 9% MUST BE CONCRETE.

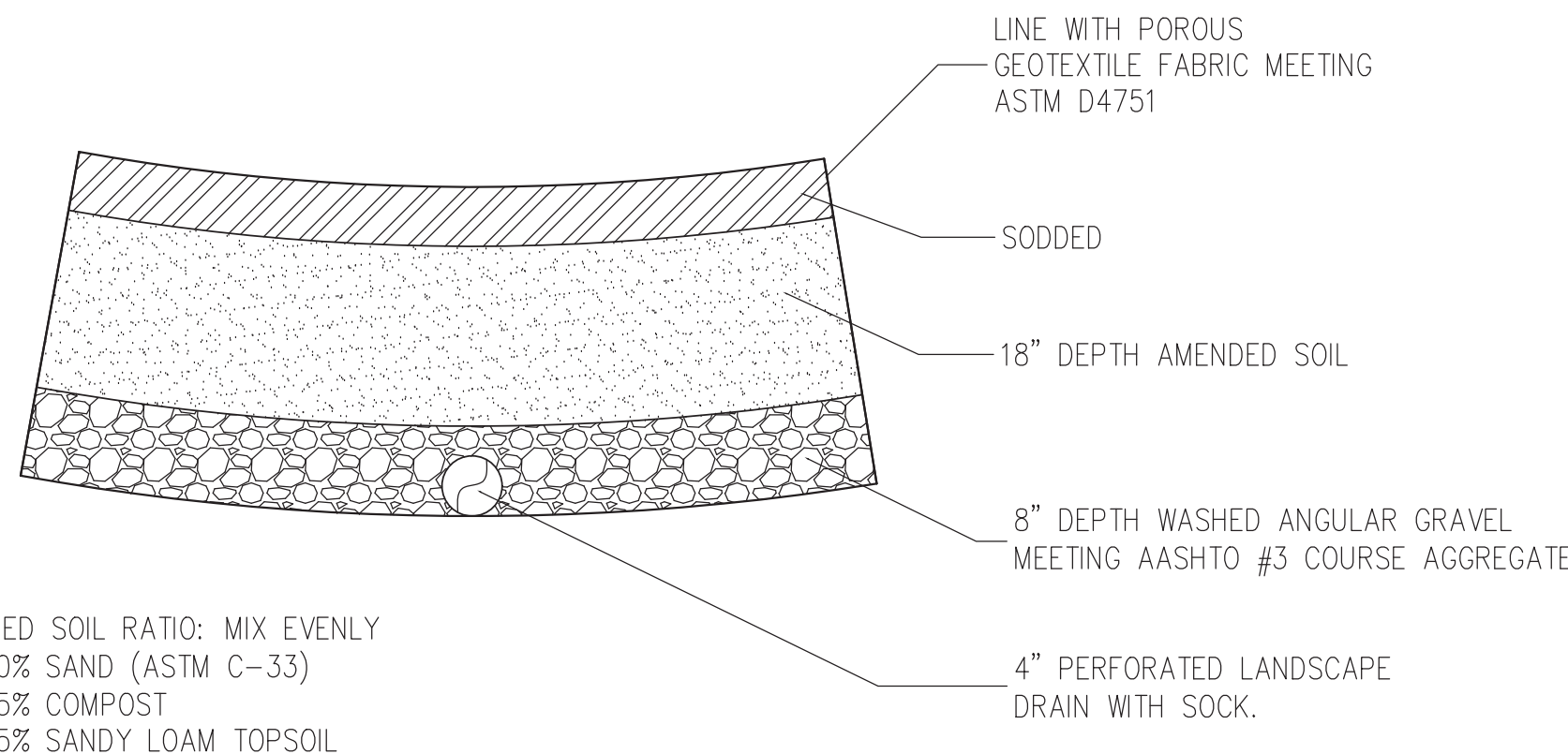
SEDIMENT & EROSION CONTROL NOTES:

- DRAINAGE IMPROVEMENTS MUST BE COMPLETED AND CERTIFIED BY THE ENGINEER OF RECORD, BATES AND ASSOCIATES, WITH ALL DITCHES AND BASINS SOLID-SODDED, CONCRETE-LINED, OR UNDERGROUND CONDUIT INSTALLED PRIOR TO CERTIFICATE OF OCCUPANCY. EROSION CONTROL METHODS MUST BE USED DURING CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FROM A.D.E.Q. AND CITY OF ROGERS REGARDING RUNOFF, EROSION CONTROL, AND GRADING BEFORE BEGINNING CONSTRUCTION.
- ALL EROSION & SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED AND OCCASIONALLY REPLACED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL EROSION & SEDIMENT CONTROL DEVICES SHOWN SHALL BE INSTALLED BEFORE CONSTRUCTION BEGINS. THOSE ITEMS SHALL REMAIN IN PLACE UNTIL DEEMED SAFE TO REMOVE BY ENGINEER.
- THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY UPSTREAM OR DOWNSTREAM FLOODING AS A DIRECT RESULT OF THIS DEVELOPMENT.
- POWER WASHER MUST BE PROVIDED ON-SITE FOR WHEEL WASH-DOWN.

REVEGETATION NOTES:

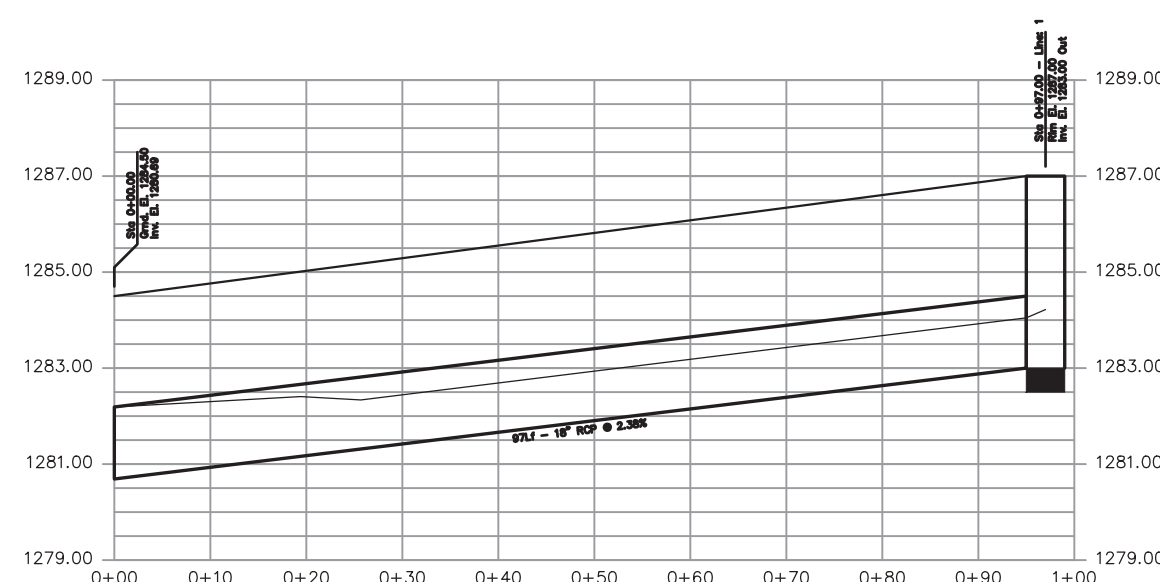
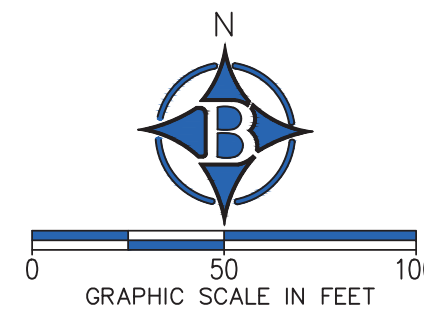
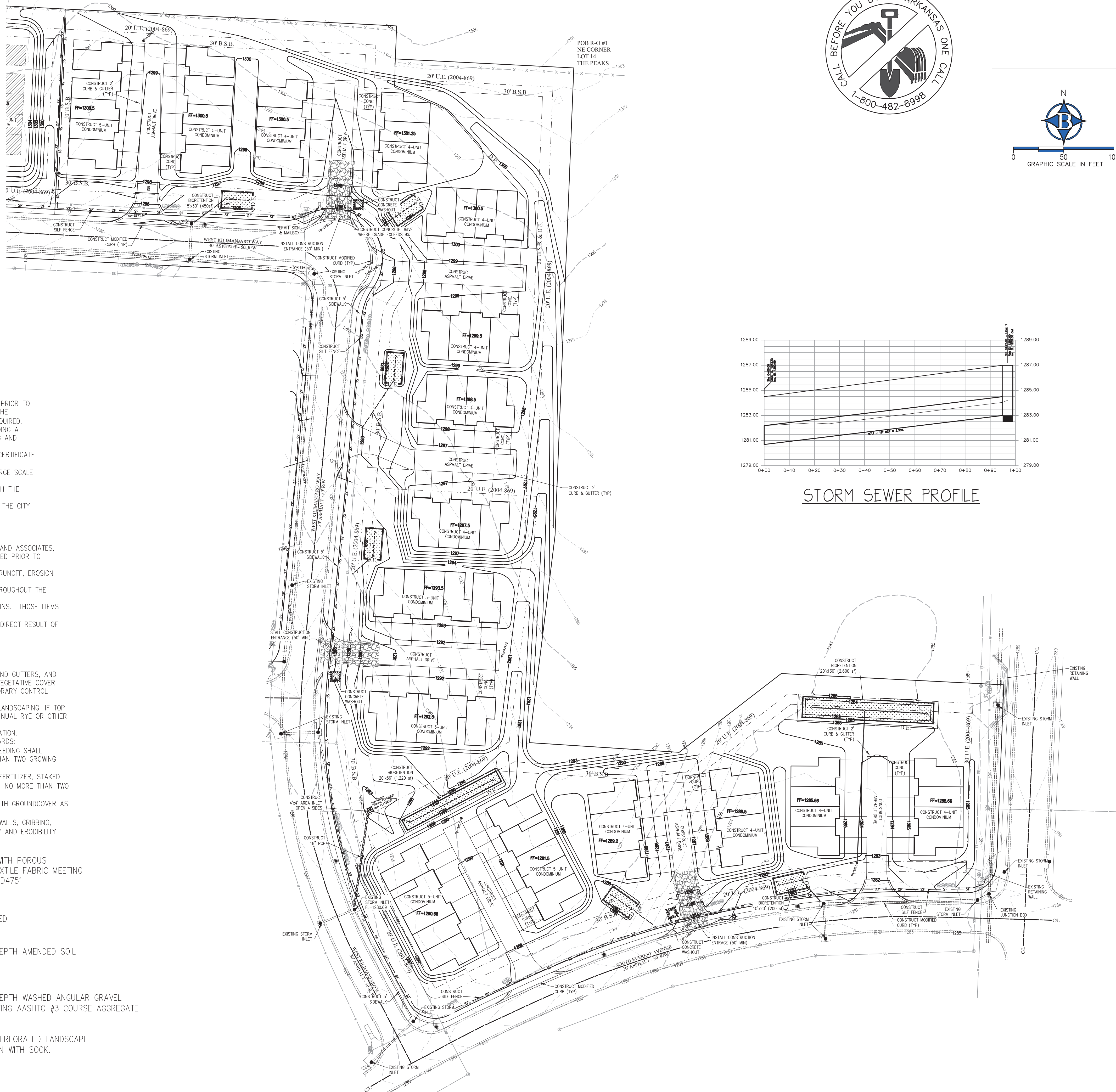
REVEGETATION OF DISTURBED AREAS SHALL BE IN ACCORDANCE WITH THE FOLLOWING:

- PERMANENT IMPROVEMENTS, PERMANENT IMPROVEMENTS SUCH AS STREETS, STORM SEWERS, CURB AND GUTTERS, AND OTHER FEATURES FOR CONTROL OF RUNOFF SHALL BE SCHEDULED COINCIDENTAL TO REMOVING VEGETATIVE COVER FROM THE AREA SO THAT LARGE AREAS ARE NOT LEFT EXPOSED BEYOND THE CAPACITY OF TEMPORARY CONTROL MEASURES.
- TOP SOIL: TOP SOIL SHALL BE STOCKPILED AND PROTECTED FOR LATER USE ON AREAS REQUIRING LANDSCAPING. IF TOP SOIL OR OTHER SOIL IS TO BE STOCKPILED FOR MORE THAN 30 DAYS, A TEMPORARY COVER OF ANNUAL RYE OR OTHER SUITABLE GRASS SHALL BE PLANTED.
- EXISTING VEGETATION: EVERY MEANS SHALL BE TAKEN TO CONSERVE AND PROTECT EXISTING VEGETATION.
- REVEGETATION: REVEGETATION SHALL BE REQUIRED TO MEET THE FOLLOWING PERFORMANCE STANDARDS:
 - ZERO TO 10% GRADE: REVEGETATION SHALL BE A MINIMUM OF SEEDING AND MULCHING. SAID SEEDING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE THAT MINIMIZES EROSION AND RUNOFF IN NO MORE THAN TWO GROWING SEASONS.
 - 10% TO 15% GRADE: REVEGETATION SHALL BE A MINIMUM OF HYDROSEEDING WITH MULCH AND FERTILIZER, STAKED SOD AND/OR GROUND COVER. SAID PLANTING SHALL PROVIDE COMPLETE AND UNIFORM COVERAGE IN NO MORE THAN TWO GROWING SEASONS.
 - 15% TO 20% GRADE: THE SLOPE SHALL BE COVERED WITH LANDSCAPE FABRIC AND PLANTED WITH GROUND COVER AS SET FORTH IN (B) ABOVE.
 - MORE THAN 20% GRADE: ANY FINISH GRADE OVER 20% SHALL BE STABILIZED WITH RETAINING WALLS, CRIBBING, TERRACES, LANDSCAPE FABRIC, VEGETATION, OR RIPRAP. IF RIPRAP IS USED THE SLOPE'S STABILITY AND ERODIBILITY MUST BE EQUIVALENT TO OR BETTER THAN ITS PREDEVELOPMENT STATE.



BIORETENTION DETAIL

N.T.S.



STORM SEWER PROFILE

SHADOWBROOKE AT THE PEAKS PH III
LARGE SCALE DEVELOPMENT PLANS
GRADING, DRAINAGE, &
EROSION CONTROL PLAN
ROGERS, ARKANSAS

Bates & Associates, Inc.
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Civil Engineering & Surveying
7230 S. Pleasant Ridge Drive Phone • 479.442.9350 • Fax 479.521.9550
Fayetteville, Arkansas 72704

ENGINEER: G. Bates
DRAWN BY: J. Young
STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 9810
GEOFFREY H. BATES
BATES & ASSOCIATES, INC.
#335
ARKANSAS ENGINEER
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DATE	10/04/19
REVISIONS	
1ST SUBMITTAL	

PROJECT NO 16-012
DATE 03

APPROVED STREET TREES		
50' tall ≥4' from curb or sidewalk	30-50' tall ≥3' from curb or sidewalk	<20' tall ≥2' from curb or sidewalk
<ul style="list-style-type: none"> * Fruitless Kentucky Coffee Tree Ginkgo (male only) * Hackberry Japanese Zelkova (Green Vase) Lacebark Elm (Allee) Littleleaf Linden (Greenspire) London planetree Oak <ul style="list-style-type: none"> * Black * Northern Red Shingle * Shumard * Southern Red * Swamp White White * Willow * River Birch * Shortleaf Pine Silver Linden * Sugarberry (Sugar Hackberry) Turkish Filbert 	<ul style="list-style-type: none"> * American Hophornbeam American Holly Chinese Pistache English Oak Hawthorns Kousa Dogwood Persian Ironwood * Scarlet Oak Thornless Honeylocust (Shademaster) * Yellowwood 	<ul style="list-style-type: none"> * American Smoketree Amur Maple Crabapple Hedge Maple Magnolia (Little Gem) Nellie Stevens holly Possumhaw * Redbud Shadow serviceberry Yaupon Holly

* - DENOTES A NATIVE SPECIES
 () - DENOTES A RECOMMENDED VARIETY

- SHALLOW ROOTED TREES SUCH AS MAPLE, ASH, SWEETGUM, TULIP TREE, PIN OAK, AND POPLAR SHALL NOT BE PLANTED WITHIN 10' OF A CURB OR SIDEWALK.
- USE OF ANY TREE NOT SHOWN ON THIS LIST REQUIRES APPROVAL BY CITY STAFF.
- CRITERIA FOR TREES SHALL MATCH THOSE SHOWN IN THE LARGE SCALE DEVELOPMENT ORDINANCE SECTION 14-256.
- TREE SPACING SHALL BE 30' FOR TREES LESS THAN 20' TALL, 40' FOR TREES 30-50' TALL AND 50' FOR TREES 50' OR TALLER OR AS REQUIRED BY ORDINANCE 18-259. TREE HEIGHTS ARE MATURE TREE HEIGHTS.
- ONLY TREES ON THE <20' TALL LIST MAY BE USED WITHIN 20' OF OVERHEAD UTILITIES OR WITHIN 10' OF UNDERGROUND UTILITIES.
- TREES SHALL NOT BE PLANTED WITHIN 20' OF LIGHT POLE.
- TREES SHALL BE CENTERED IN THE GREENSPACE.

1. ALL PLANTING BEDS AND TREE AND SHRUB SAUCERS ARE TO HAVE 4" THICK ORGANIC MULCH EVENLY APPLIED IN PLANTING BED.
2. ALL PROPOSED PLANTING AREAS COVERED BY GRASS SHALL HAVE THE SOD COMPLETELY REMOVED BEFORE PLANTING BEGINS.
3. PLANTING AREAS ARE TO HAVE THE SOIL AMENDED TO ALLOW FOR PROPER TREE GROWTH AS SPECIFIED BY THE LANDSCAPE ARCHITECT.
4. HOSE BIB IRRIGATION PER CITY OF ROGERS SPECIFICATIONS EVERY 100'.
5. REQUIRED PLANT MATERIAL IS TO BE GUARANTEED FOR 3 YEARS. LANDSCAPING THAT DIES OR PERISHES SHALL BE REPLACED BY THE CURRENT OWNER.
6. DEVELOPER WILL PROVIDE A 3-YEAR GUARANTEE ON LANDSCAPE REQUIREMENTS STARTING ONE INSTALLATION IS COMPLETE.
7. MULCH TO BE 2"-3" AWAY FROM TRUNK.
8. PLANTED VEGETATION TO MEET OR EXCEED ANSI-Z60.1 STANDARDS.
9. ALL SHRUBS AND PLANTING BEDS WILL BE CONTAINED WITH 3" OR 4" METAL EDGING.
10. ALL DRAINAGE SWALES ARE TO BE SOLID SODDED.

SHRUB PLANTING DETAIL	
SYMBOL	DESCRIPTION
①	PRUNE BROKEN AND DAMAGED TWIGGS AFTER PLANTING
②	PLACE PLANT IN VERTICAL, PLUMB POSITION REMOVE CONTAINER PRIOR TO PLACING BACKFILL.
③	3" - 4" OF MULCH
④	PREPARED BACKFILL. TAMP AND SOAK BACKFILL AFTER PLANTING.

PLANTING NOTES

A. AREA OF PREPARED BACKFILL SHALL BE EXCAVATED TO THE WIDTH OF THE PLANTING BED.

SHRUB PLANTING DETAIL
N.T.S.



REQUIRED INTERIOR LANDSCAPING TABLE			
		FACTOR	COUNT
EXISTING TREES	1	1	1
EXISTING SHRUBS	0	1	0
INTERIOR LANDSCAPE REQUIRED	340642 SF/2,000 SF = 170 TREES & SHRUBS		170
TOTAL TO BE PLANTED MINUS EXISTING			169
PROVIDED	42 TREES & 127 SHRUBS WILL BE PLANTED		169

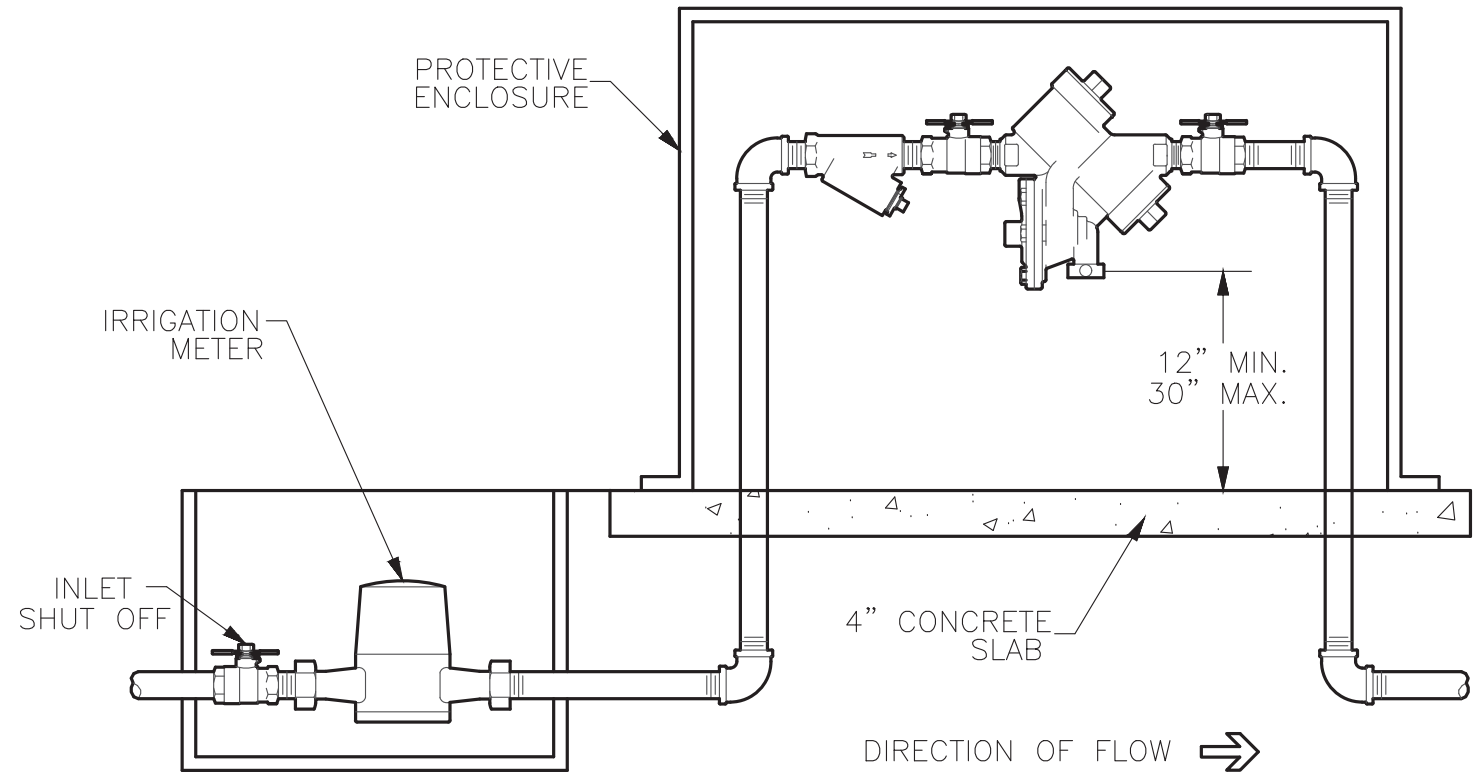
REQUIRED STREET TREE TABLE		
		COUNT
STREET TREES REQUIRED	1/30' (20' TALL) – 1926 OF R/W LESS DRIVES, SIDEWALKS, & LIGHT POLE SEPARATION	40

INTERIOR LANDSCAPE SHRUB LIST					
QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOTMIN.	SIZE	NOTES
16	MH	ADAGIO MAIDEN HAIR <i>Miscanthus sinensis 'Adagio'</i>	CONT.	5 GAL.	
84	BX	BOXWOOD <i>Buxus sempervirens</i>	CONT.	5 GAL.	
27	IH	INKBERRY HOLLY <i>Ilex glabra</i>	CONT.	5 GAL.	

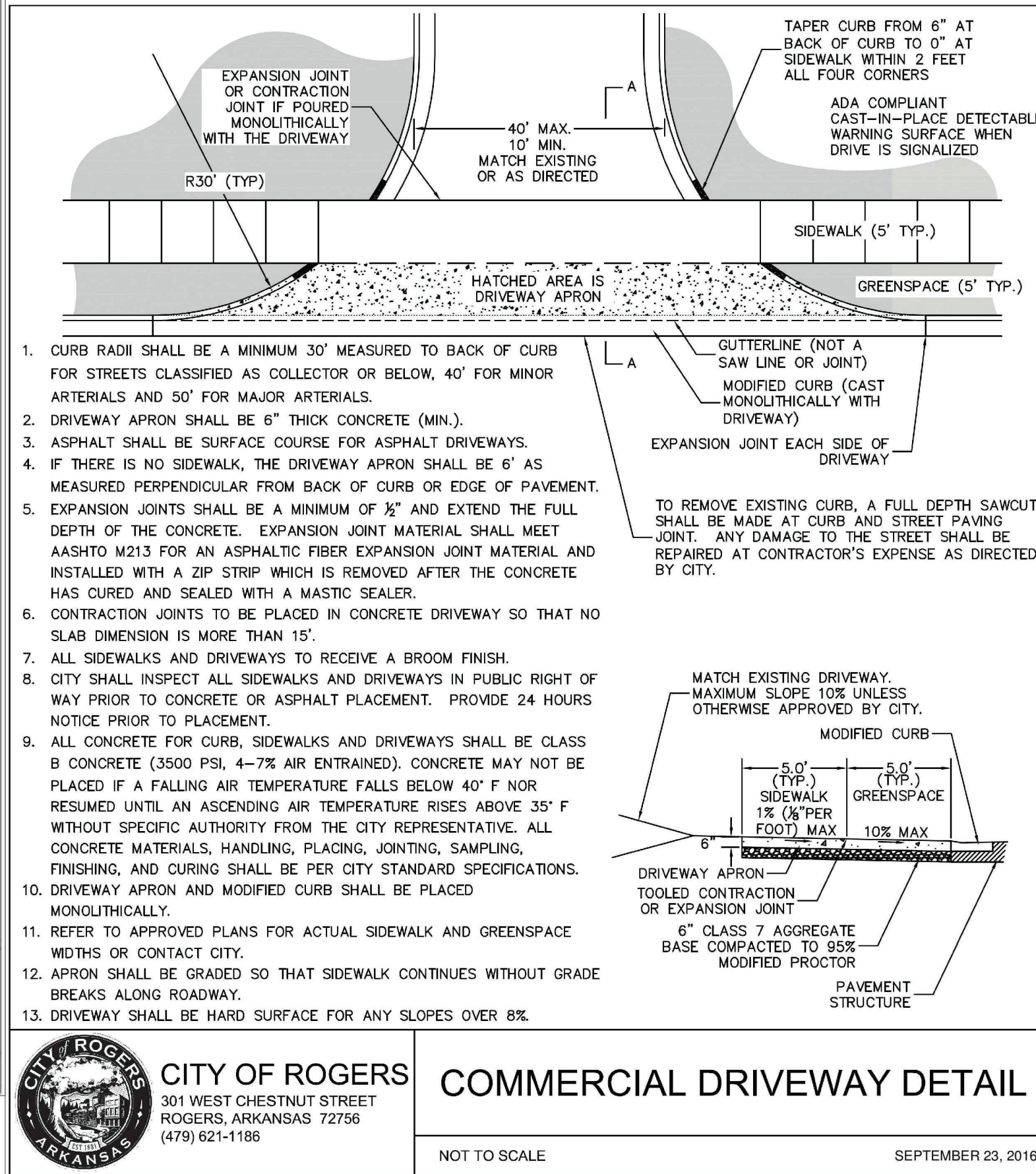
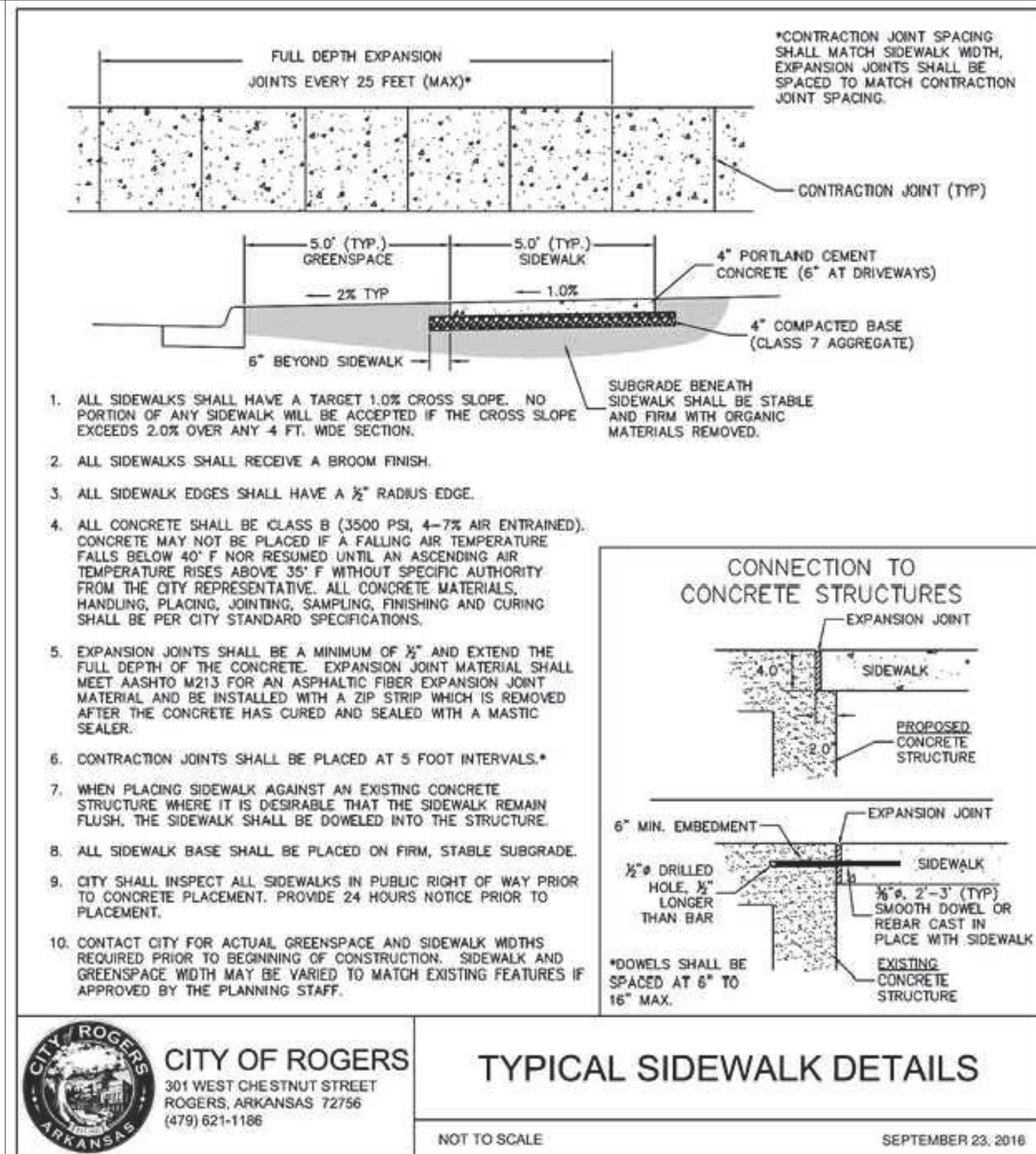
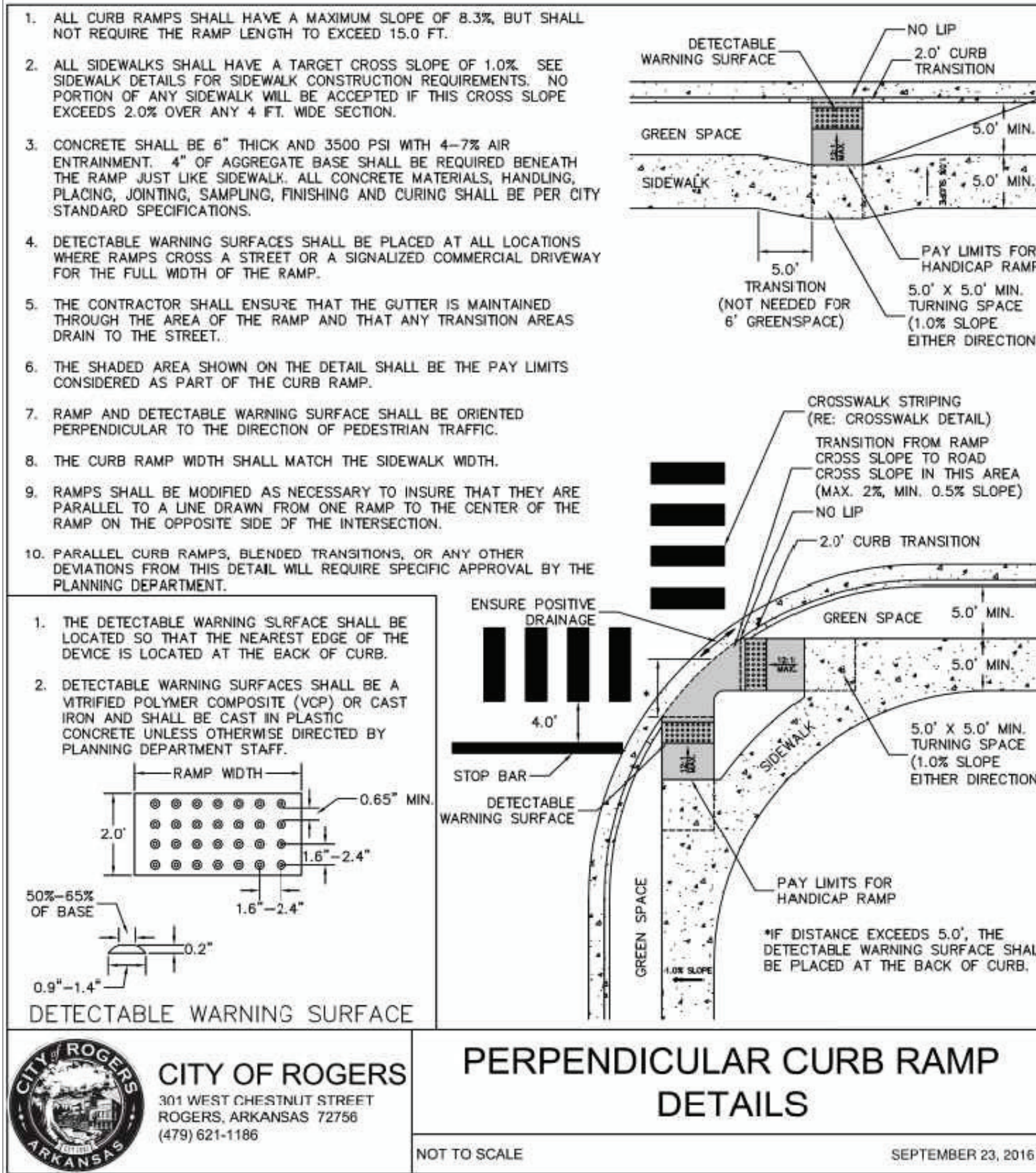
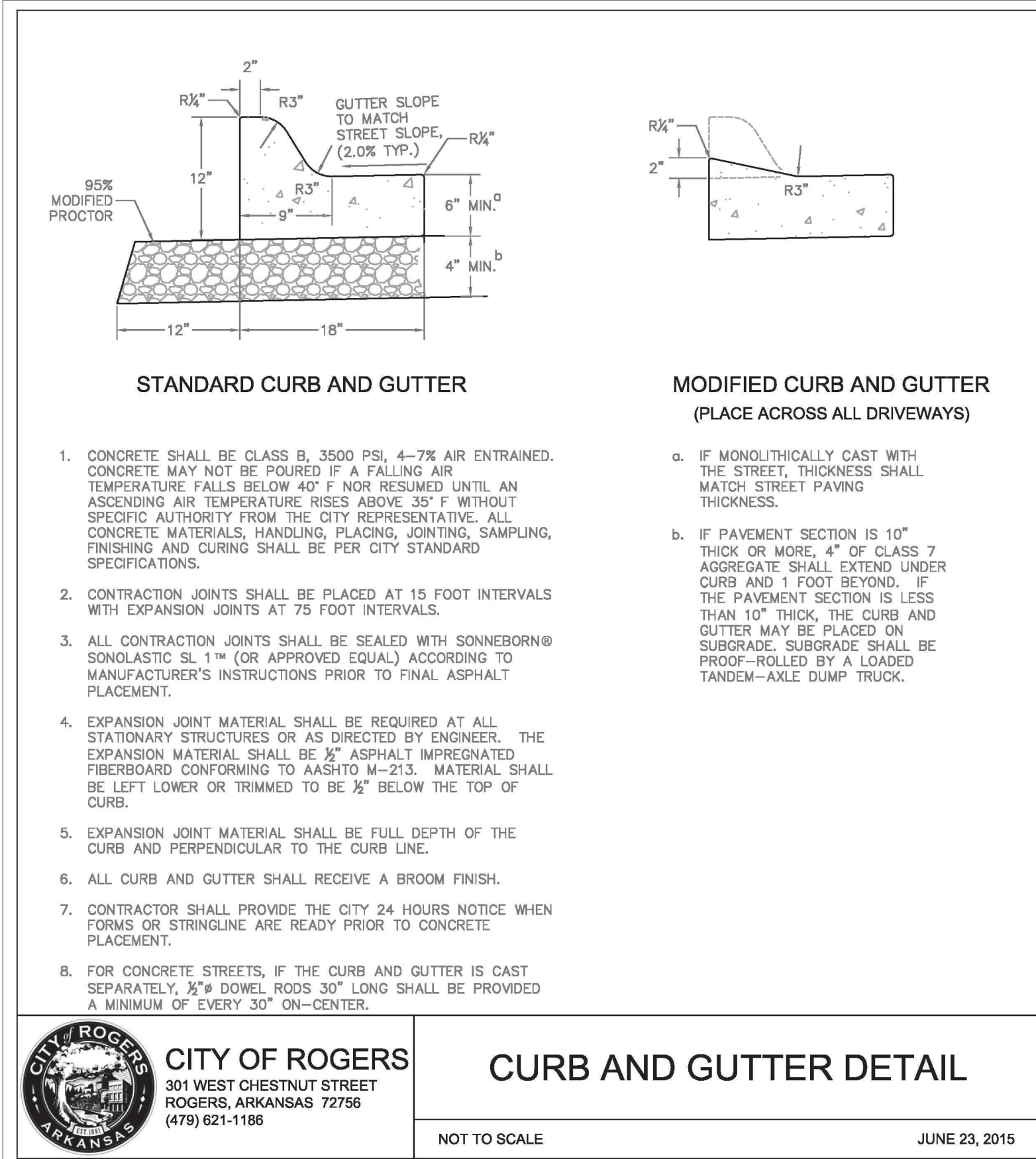
INTERIOR LANDSCAPE TREE LIST					
QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOT	MIN. SIZE	NOTES
13	PO	PIN OAK <i>Quercus palustris</i>	B&B	2.5" CAL. / 6' HEIGHT	DECIDUOUS SHADE / 60' HEIGHT / 50' SPREAD
22	BC	BALD CYPRESS <i>Taxodium distichum</i>	B&B	8" HEIGHT	EVERGREEN / 60' HEIGHT / 35' SPREAD
7	AS	AMERICAN SWEETGUM <i>Cotinus obovatus</i>	B&B	2" CAL. / 6' HEIGHT	DECIDUOUS ORNAMENTAL / 20' HEIGHT / 25' SPREAD

STREET TREE LIST					
QTY	SYM	COMMON NAME/ BOTANICAL NAME	ROOT	MIN. SIZE	NOTES
22	RB	EASTERN REDBUD <i>Cercis canadensis</i>	B&B	2" CAL. / 6' HEIGHT	DECIDUOUS ORNAMENTAL / 20' HEIGHT / 25' SPREAD
18	AS	AMERICAN SMOKE TREE <i>Cotinus obovatus</i>	B&B	2" CAL. / 6' HEIGHT	DECIDUOUS ORNAMENTAL / 20' HEIGHT / 25' SPREAD

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Date: 4/15/2016
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Xrefs Used: BATES-AR w signature, COA BBA, 2436



WILKINS MODEL 975XL
REDUCED PRESSURE PRINCIPLE ASSEMBLY
OUTDOOR HORIZONTAL INSTALLATION



ENGINEER: G. Bates
DRAWN BY: J. Young

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 9810
GEOFFREY H. BATES

CERTIFICATE OF AUTHORITY
BATES & ASSOCIATES, INC.
#335
ARKANSAS ENGINEER

DATE: 10/04/19

REVISIONS

1ST SUBMITTAL

SHADOWBROOKE AT THE PEAKS PH III
LARGE SCALE DEVELOPMENT PLANS
SITE DETAILS

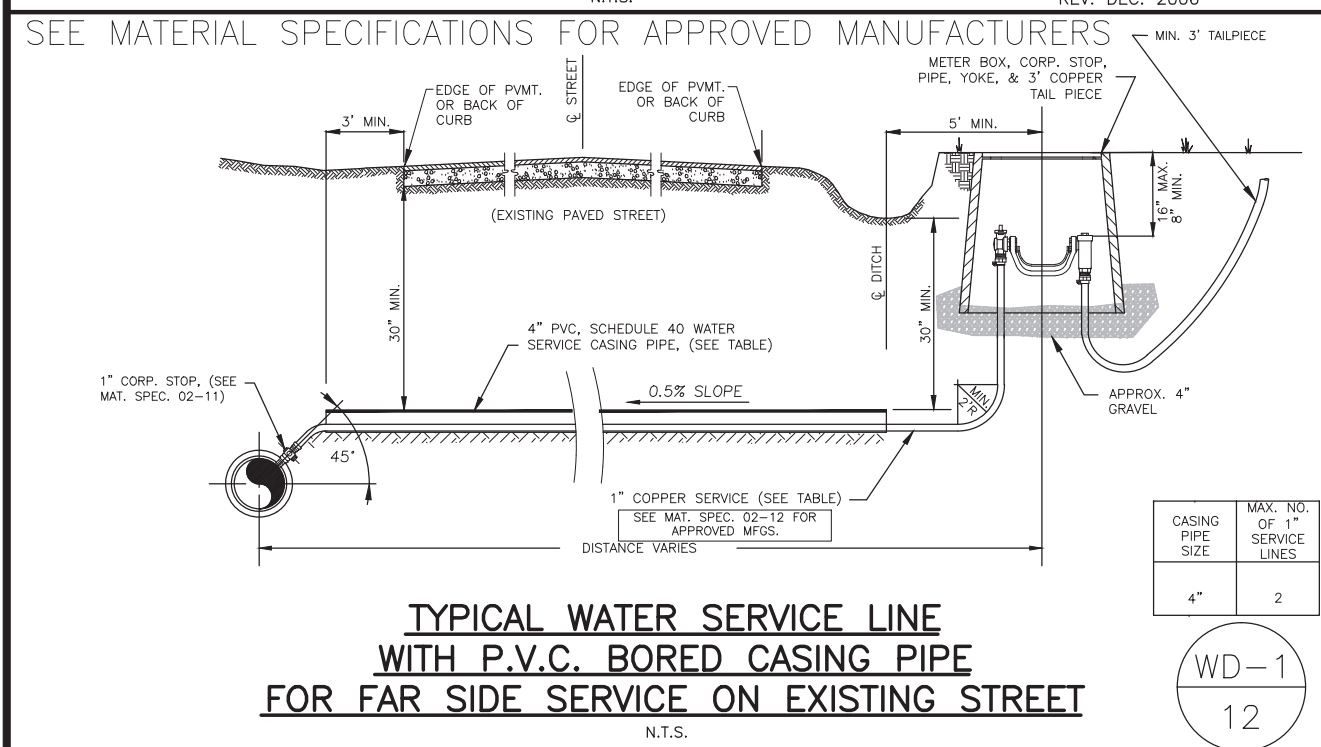
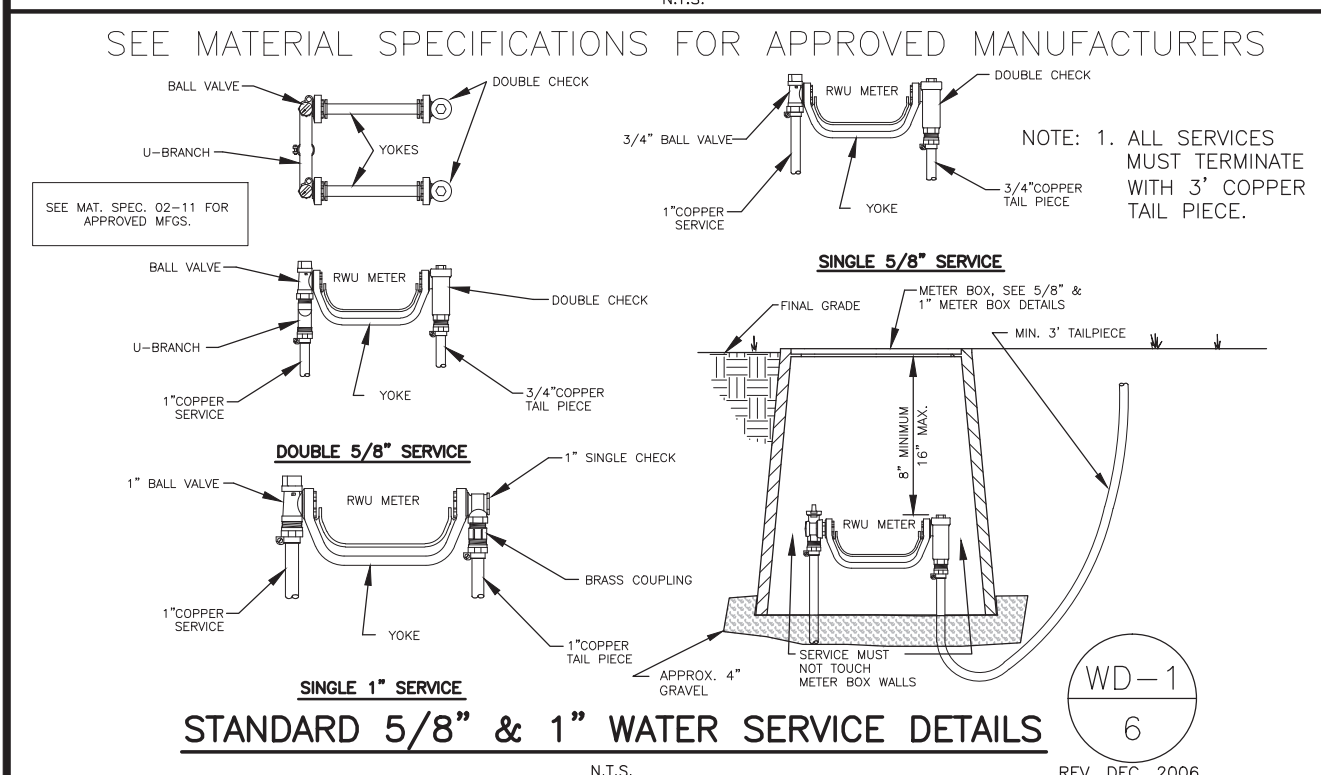
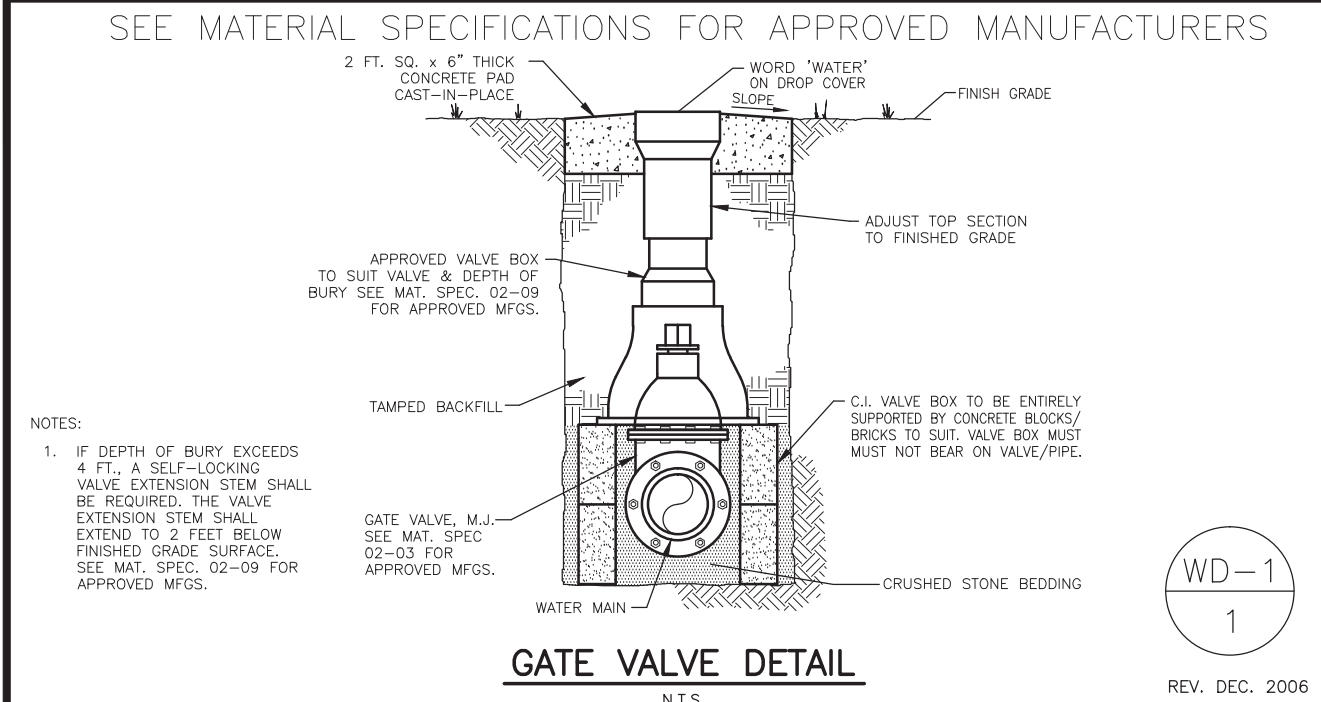
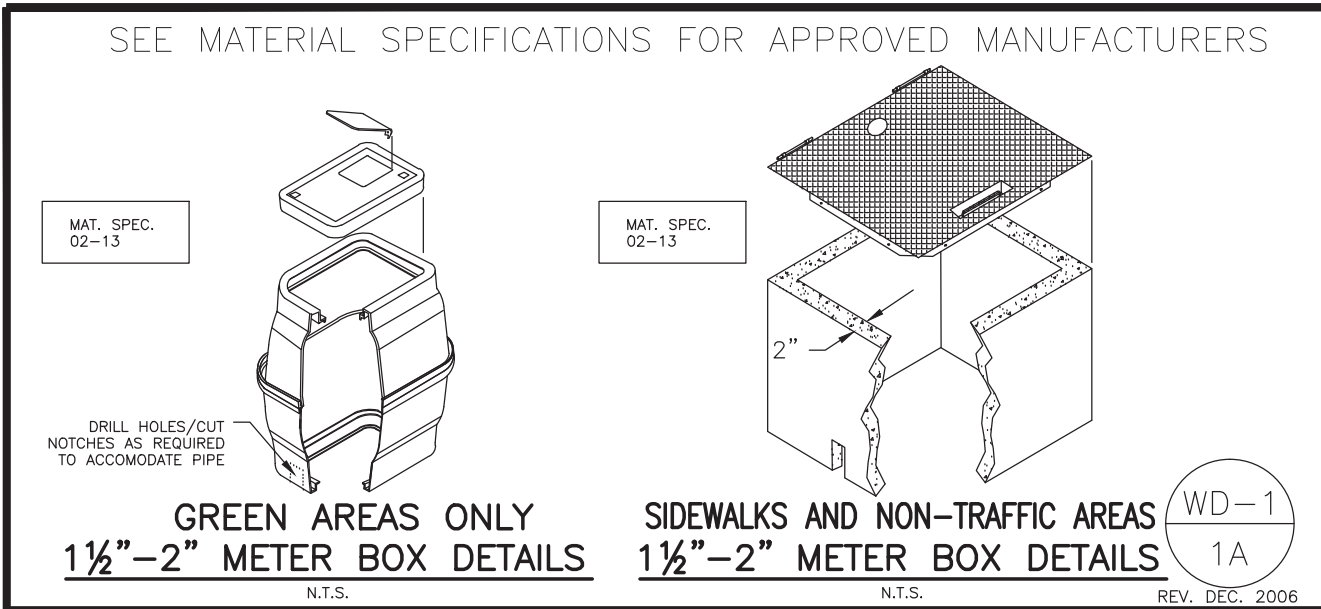
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Bates & Associates, Inc.

Civil Engineering & Surveying

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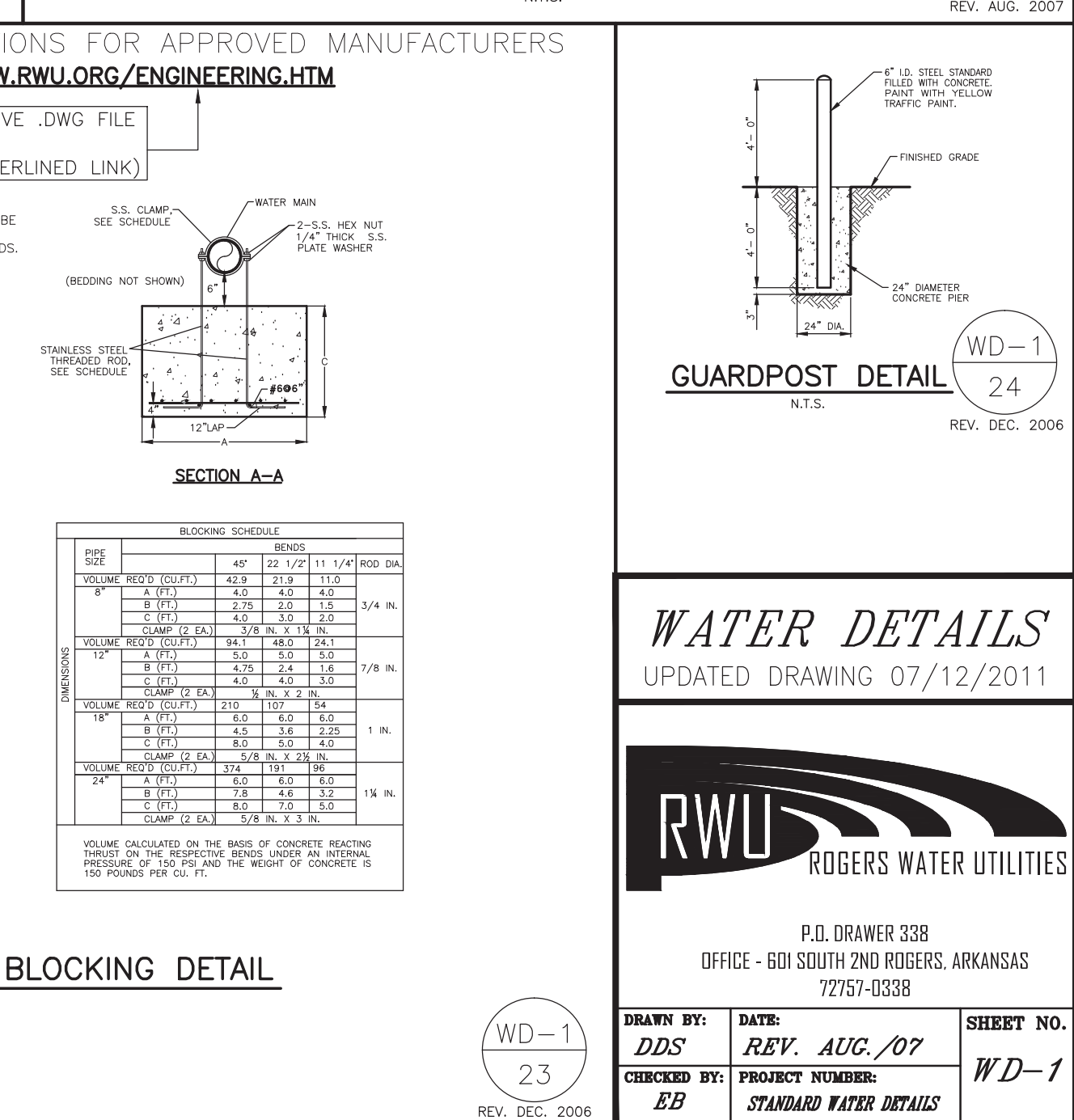
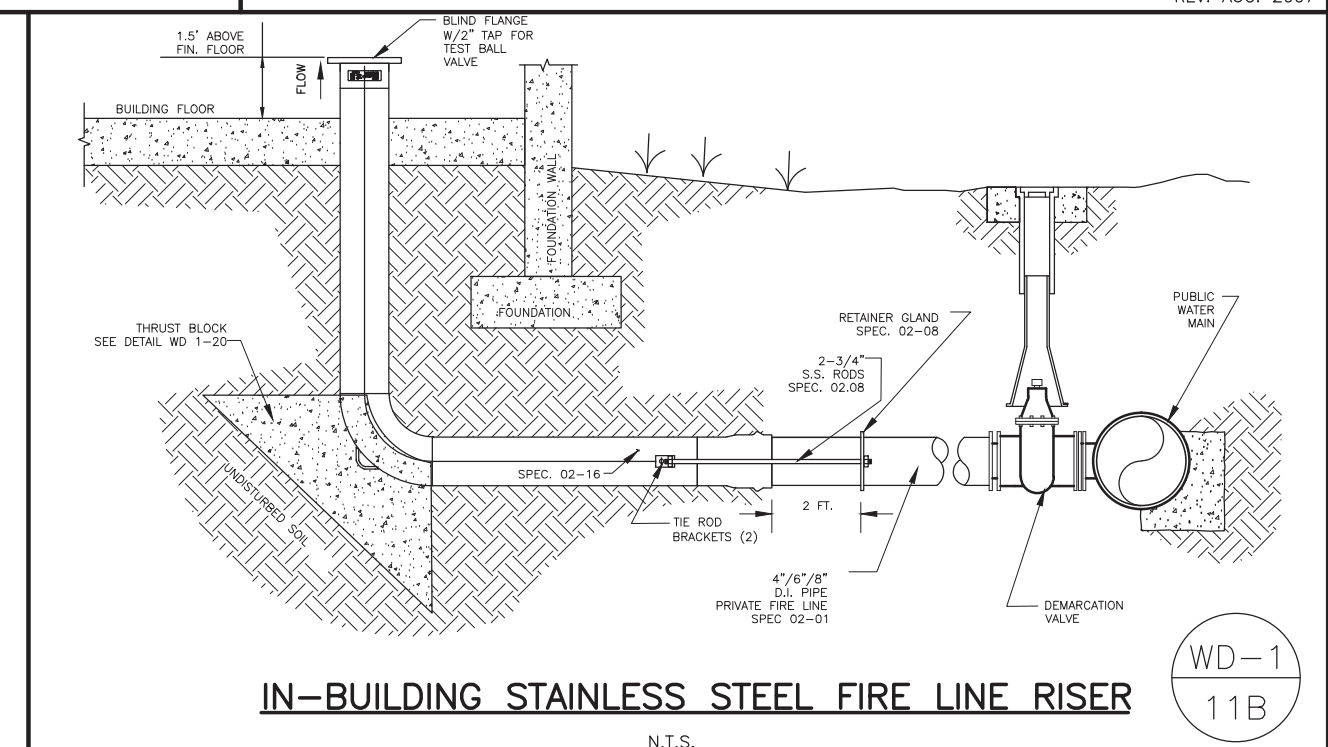
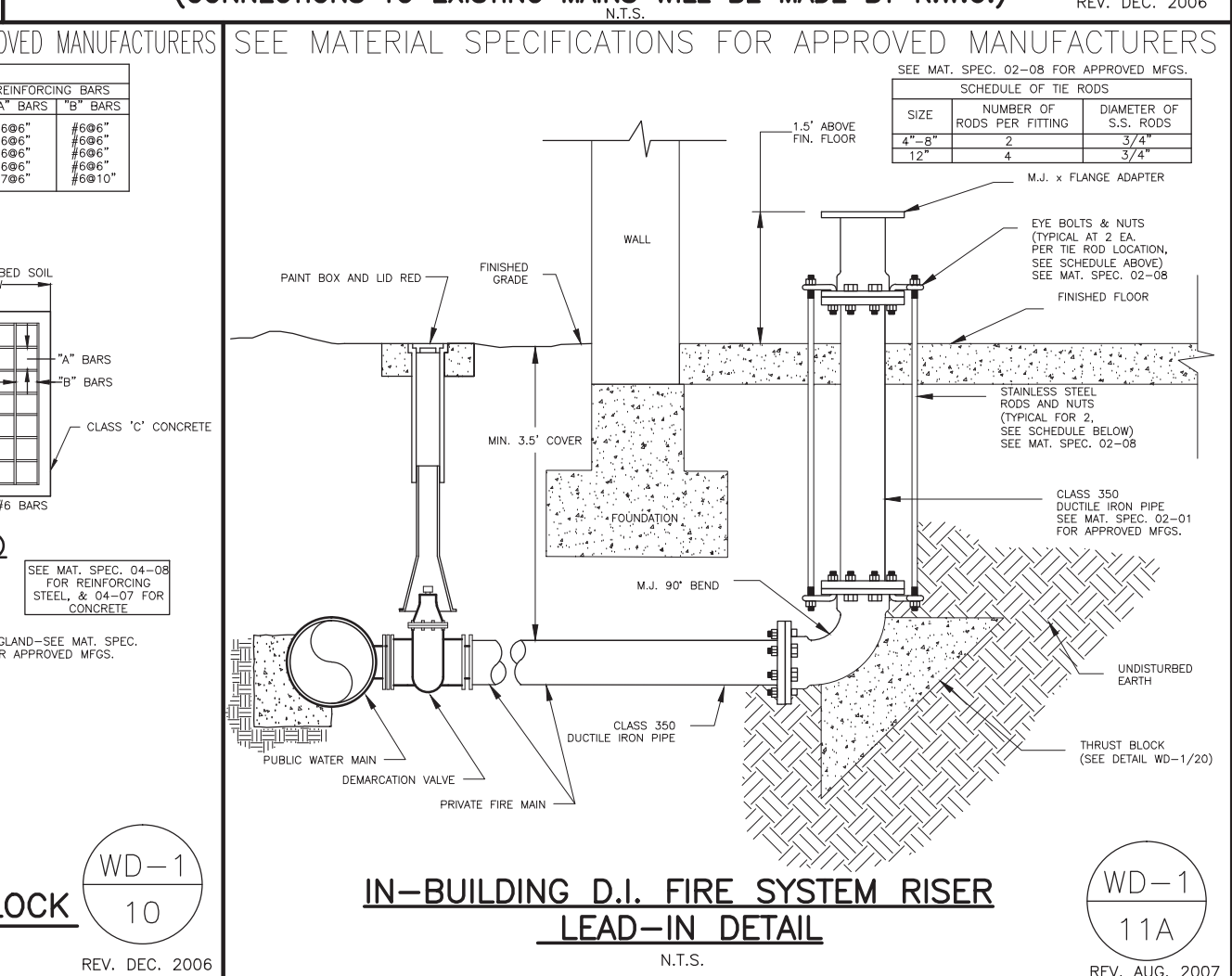
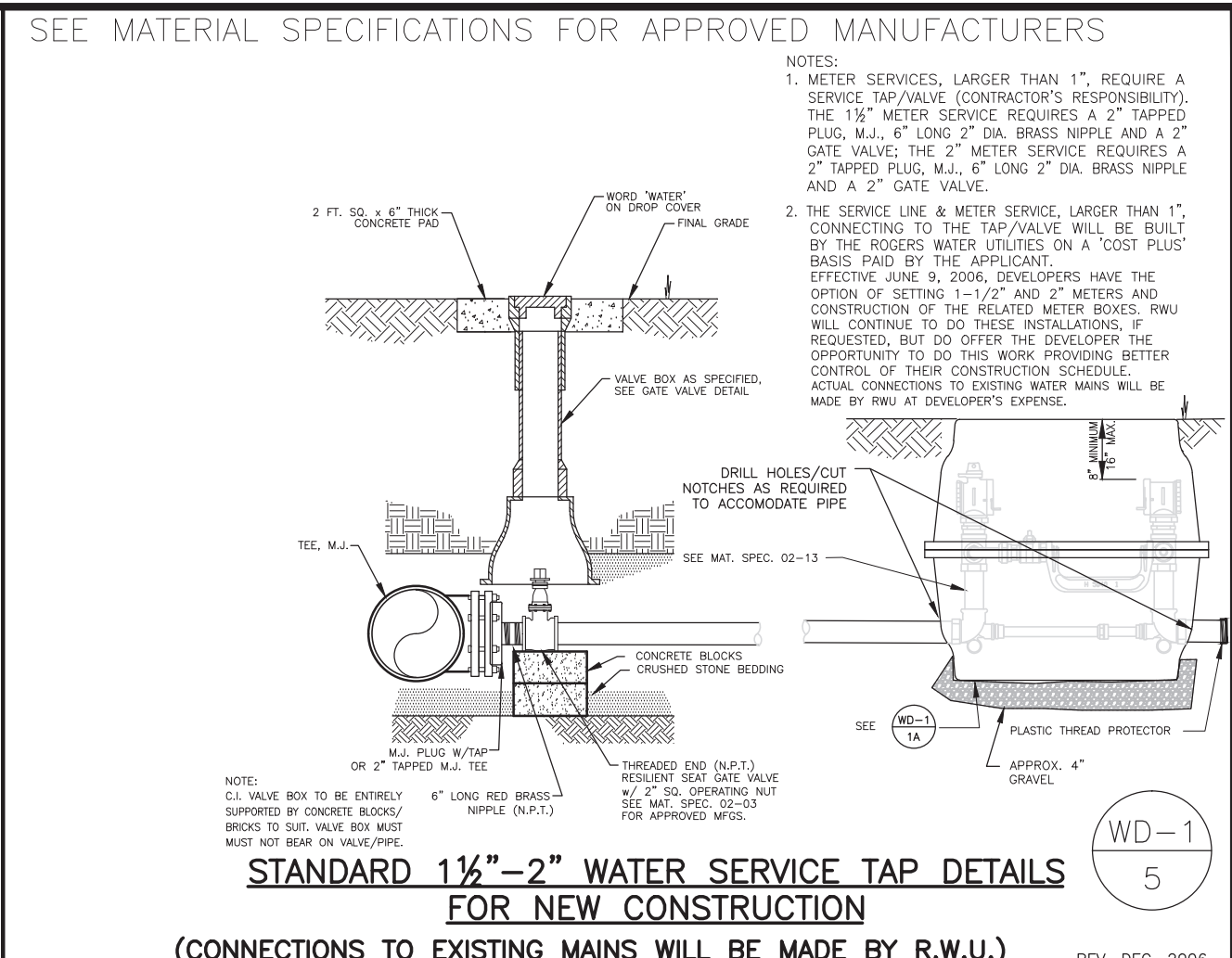
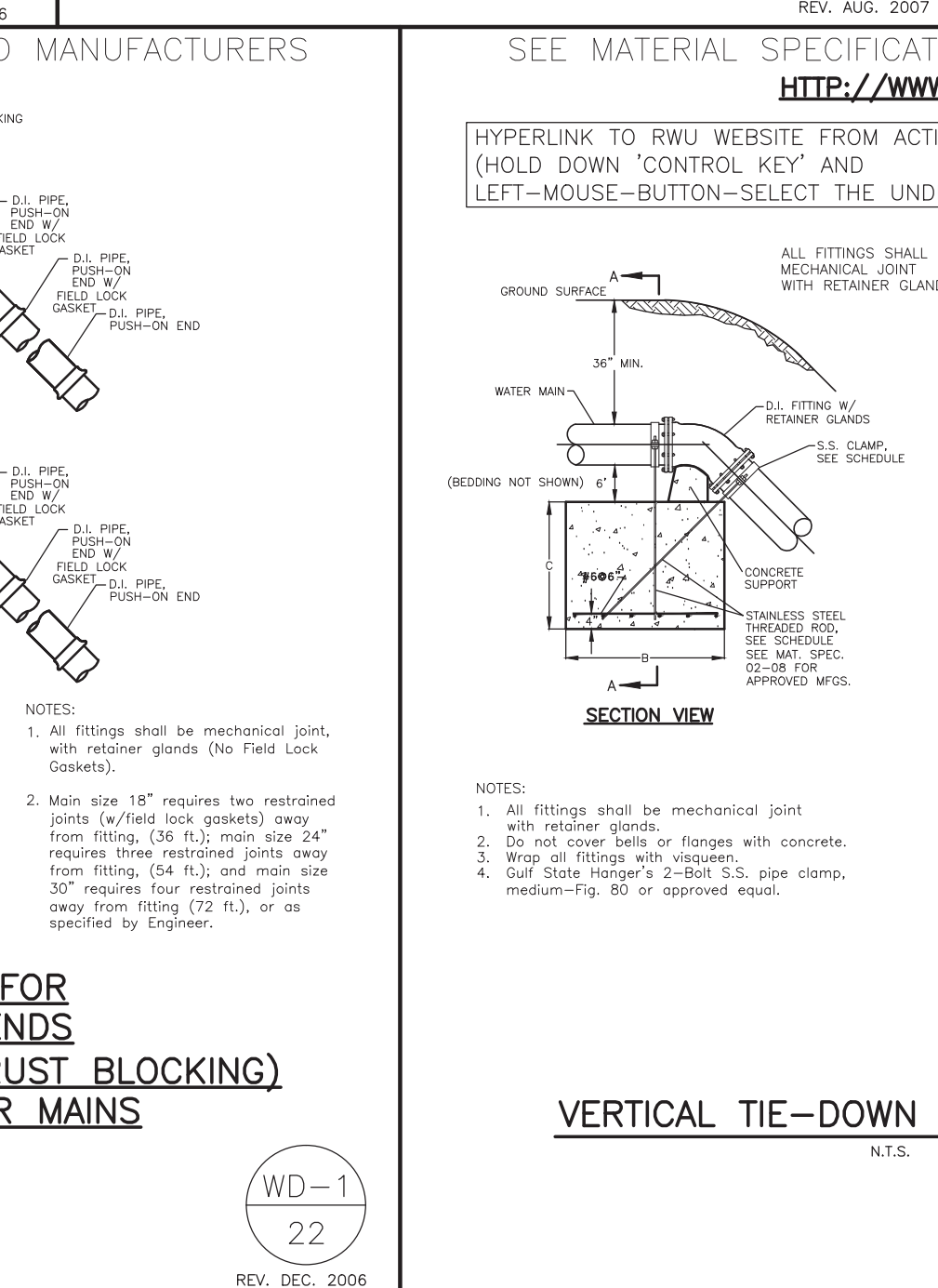
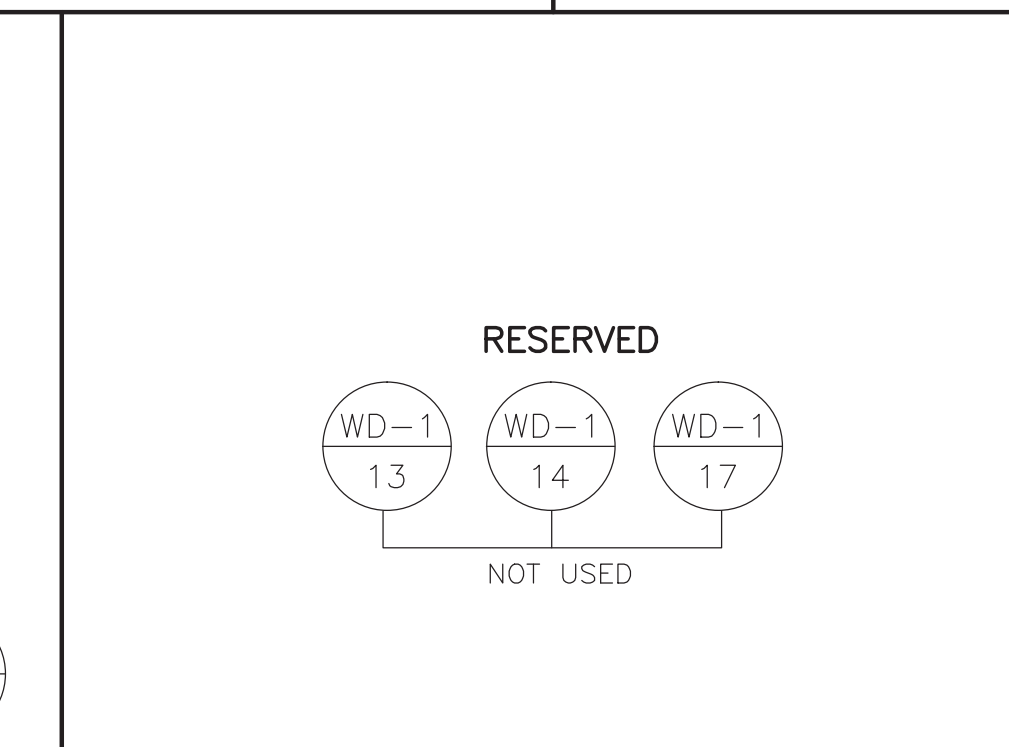
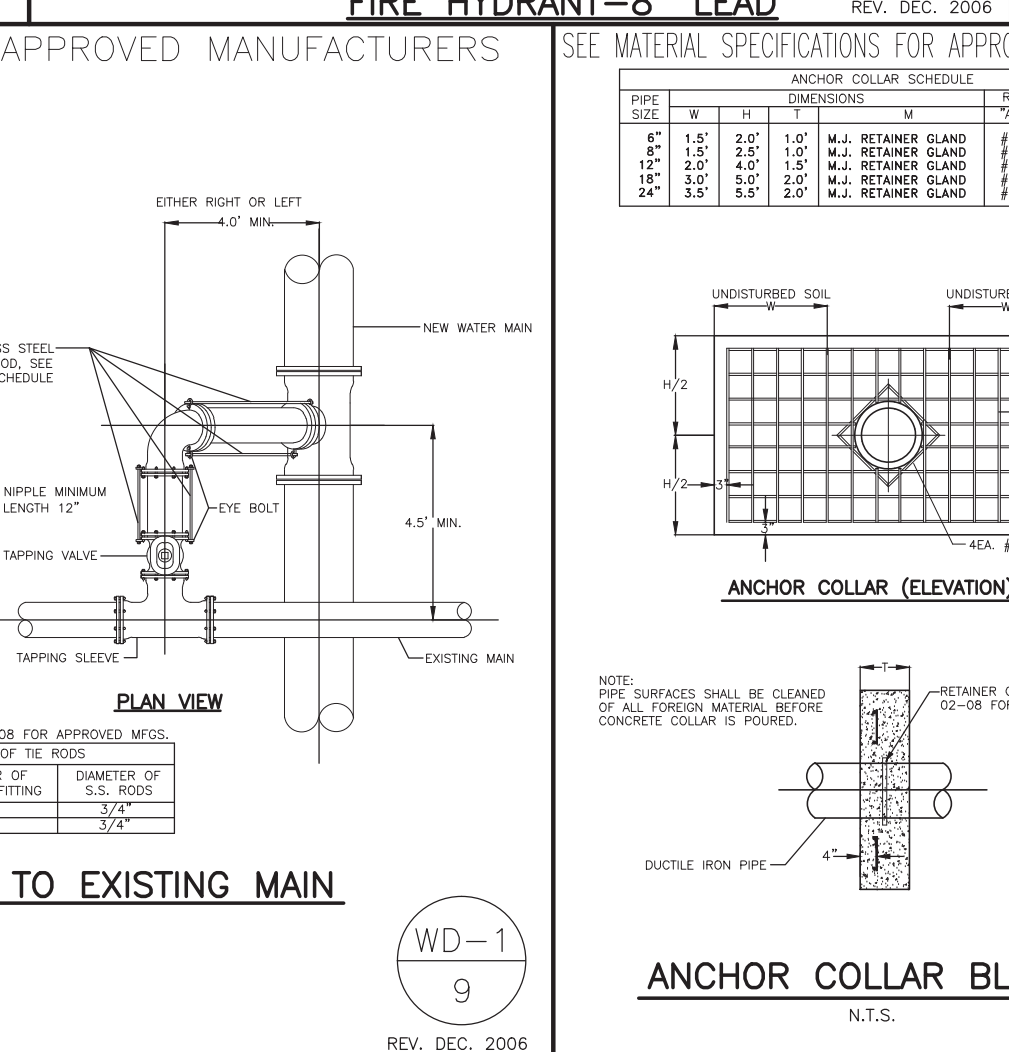
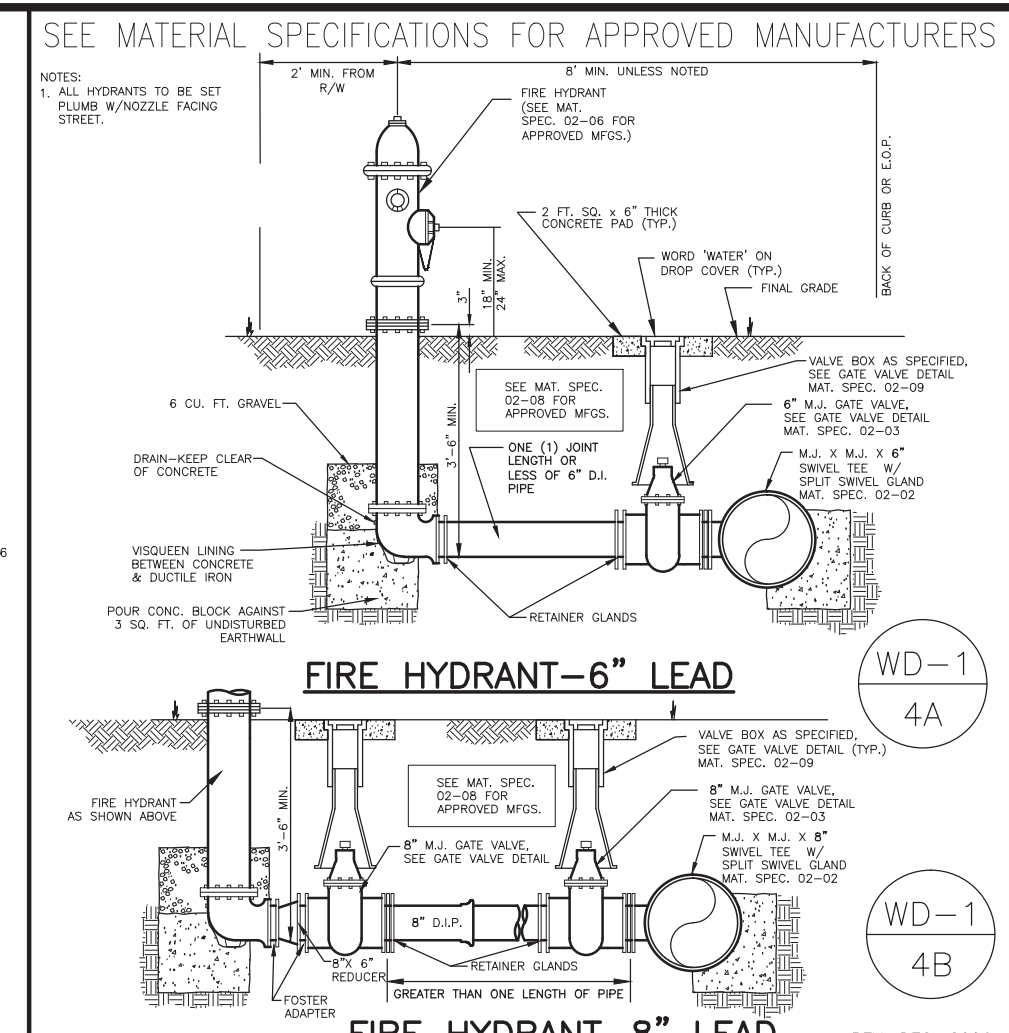
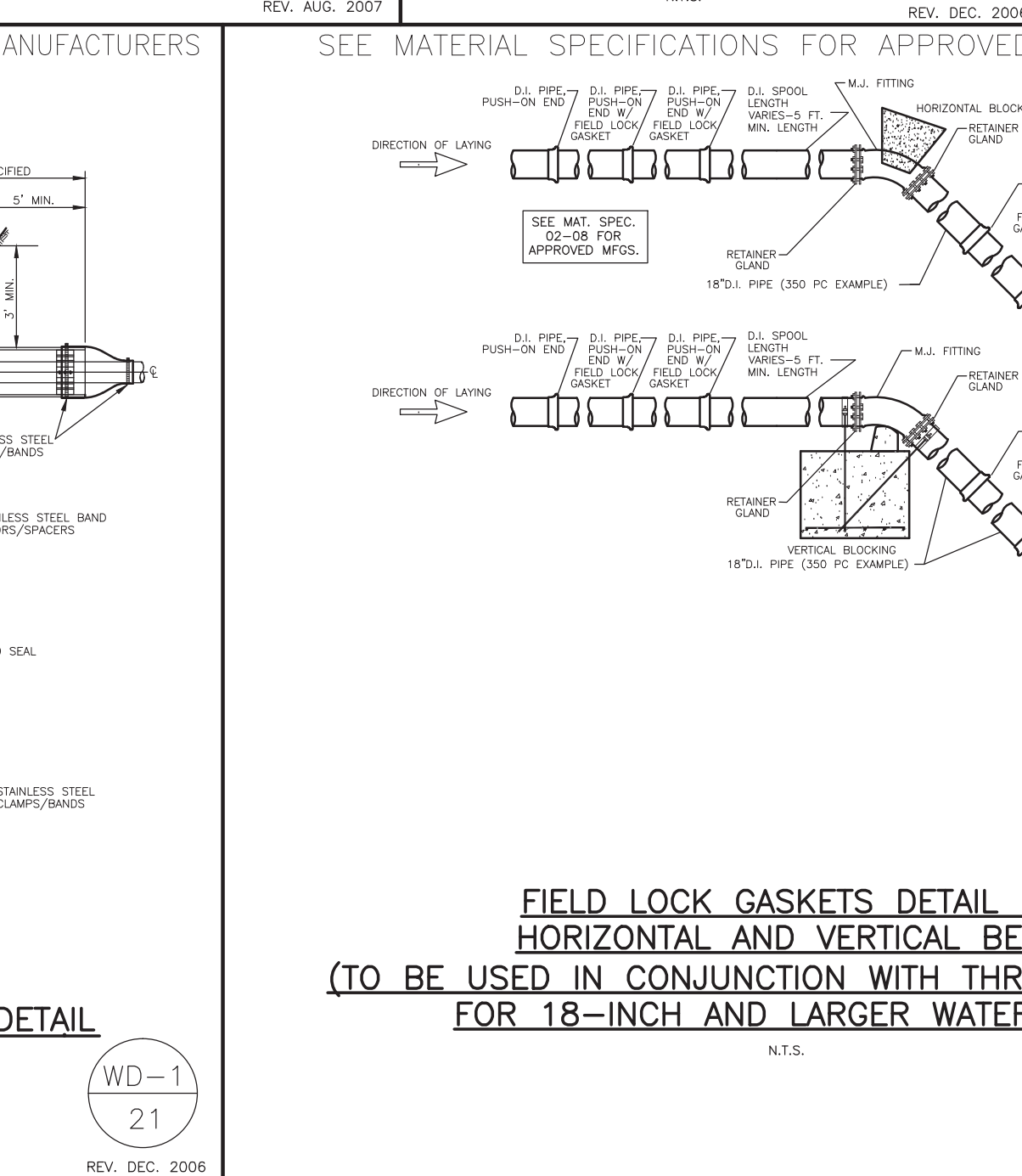
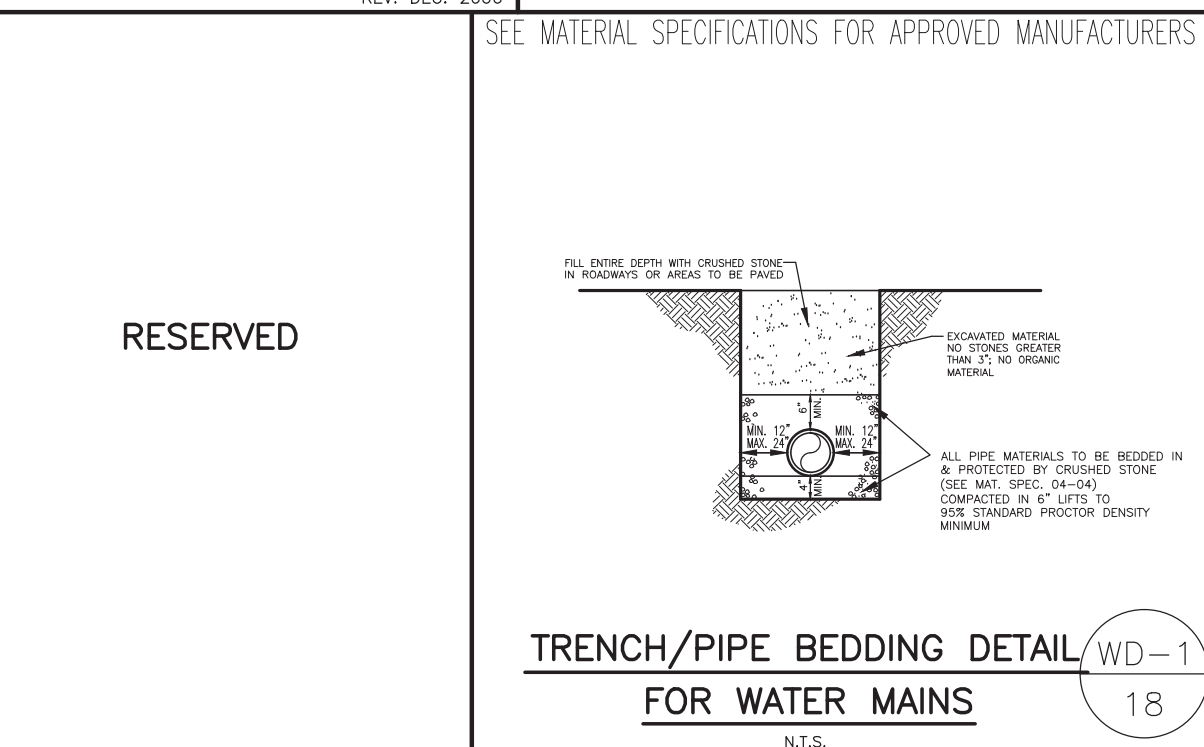
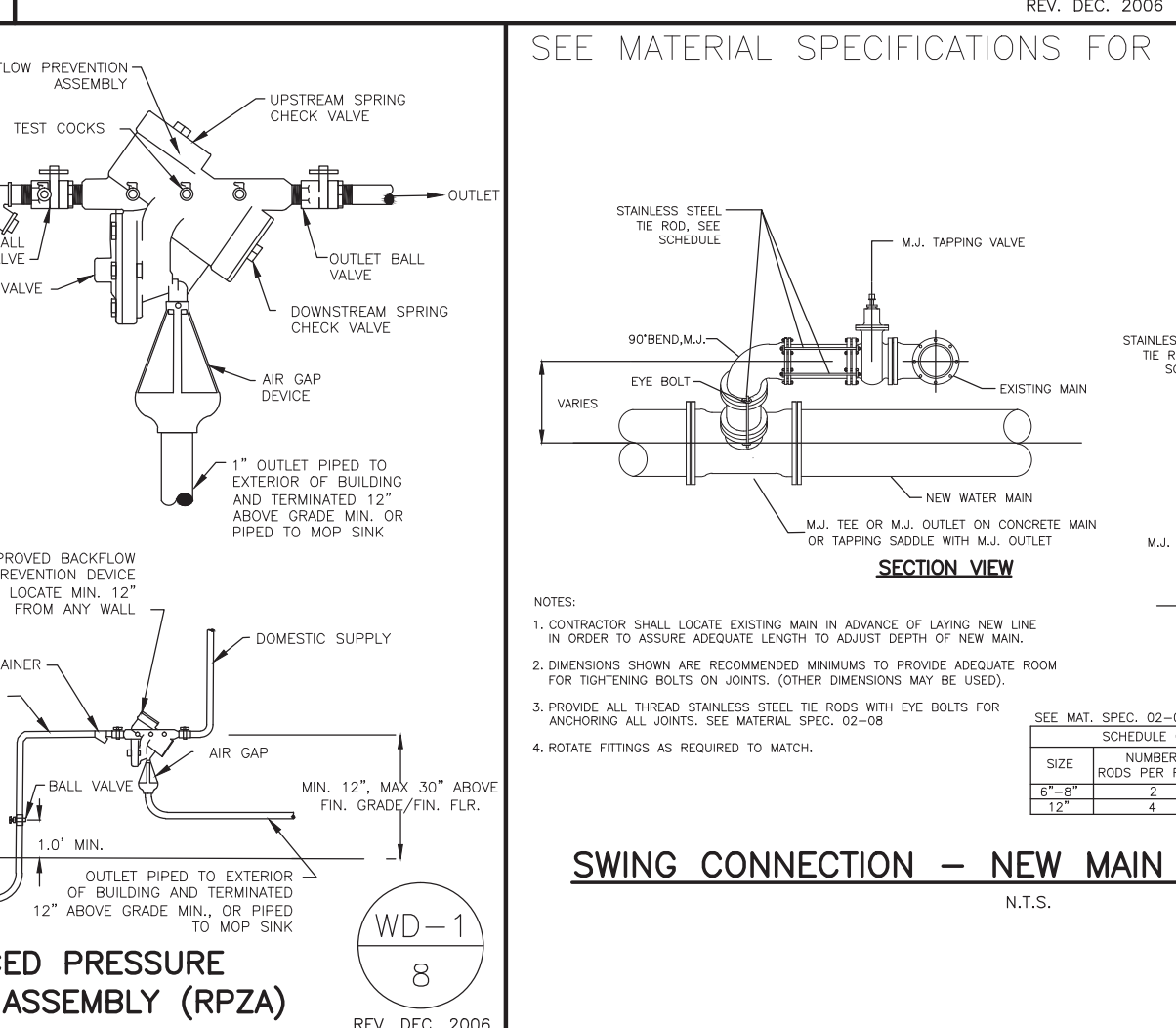
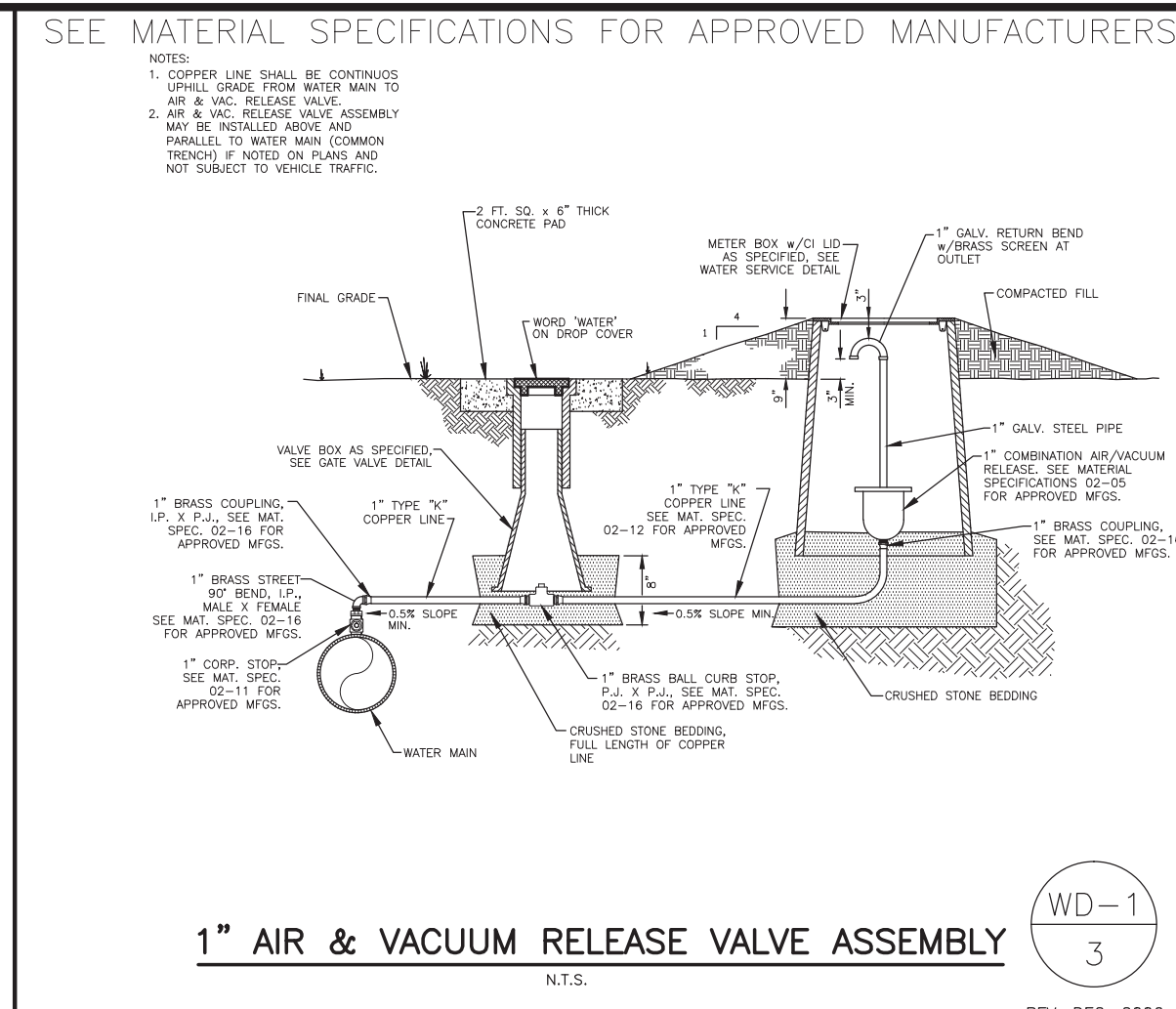
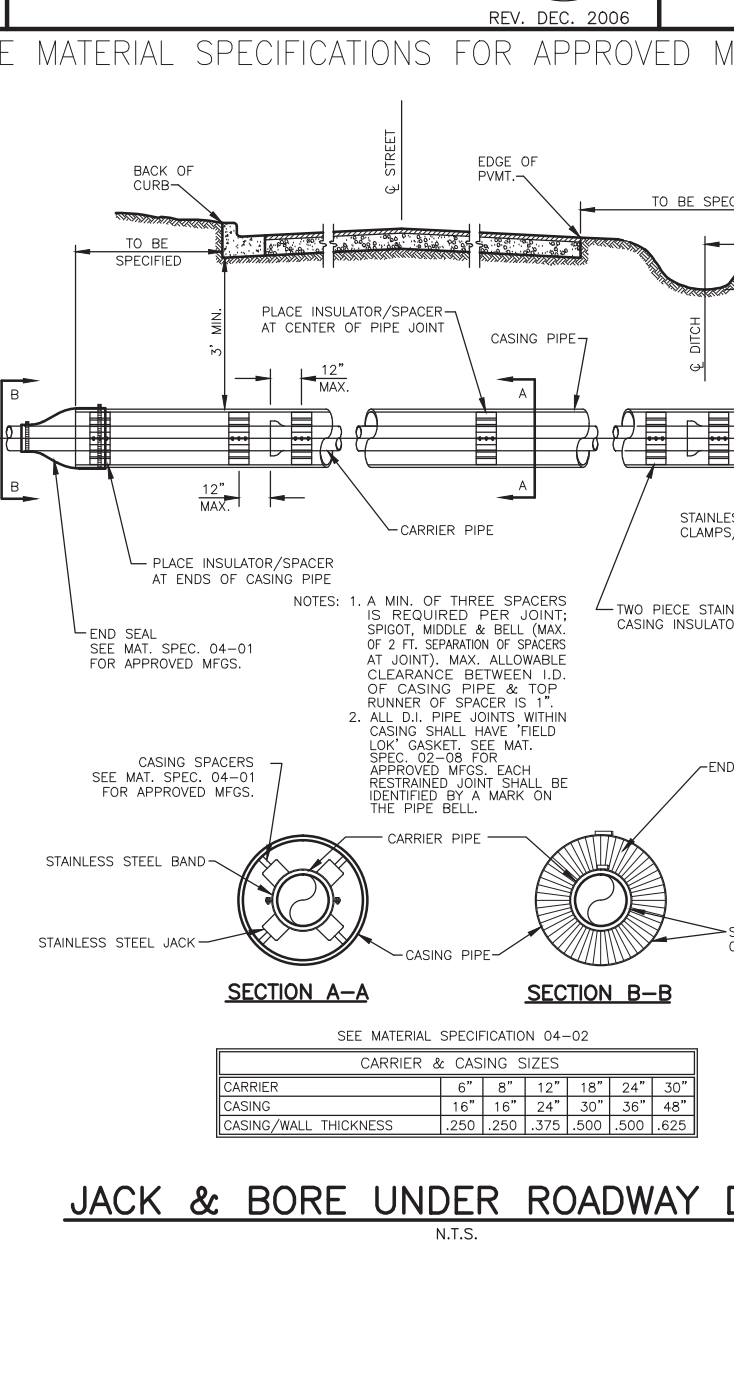
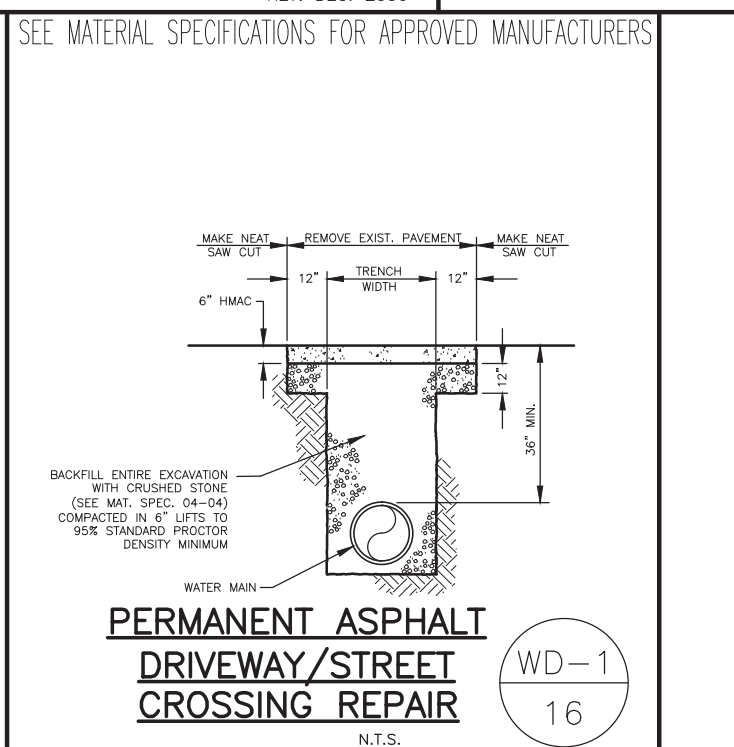
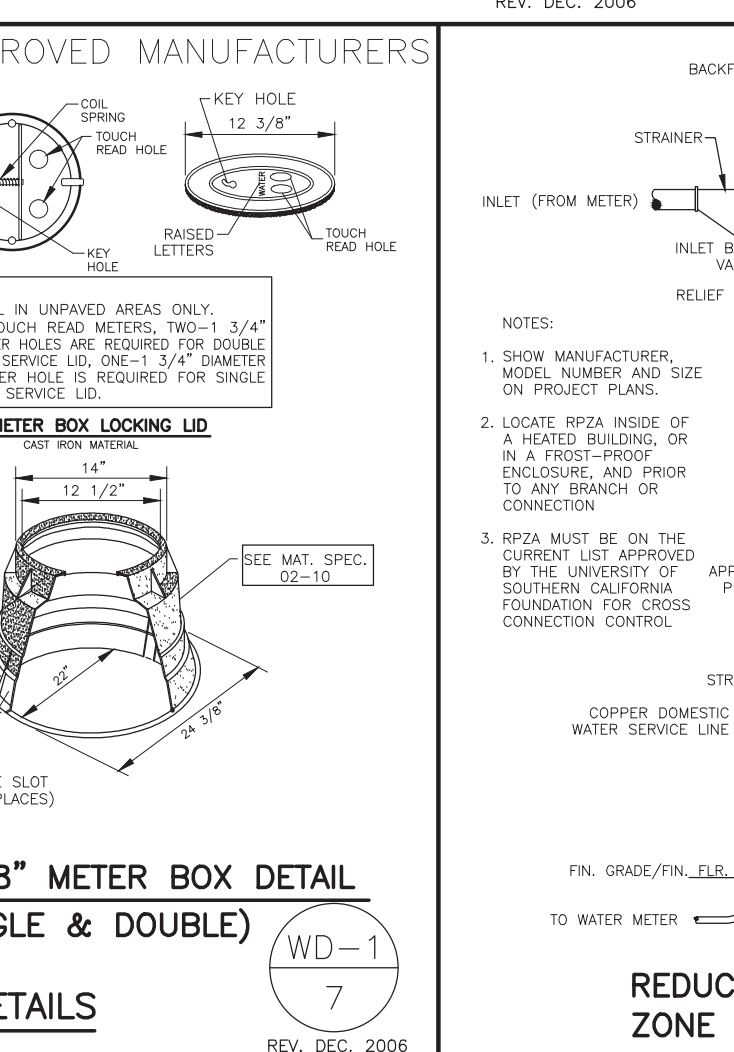
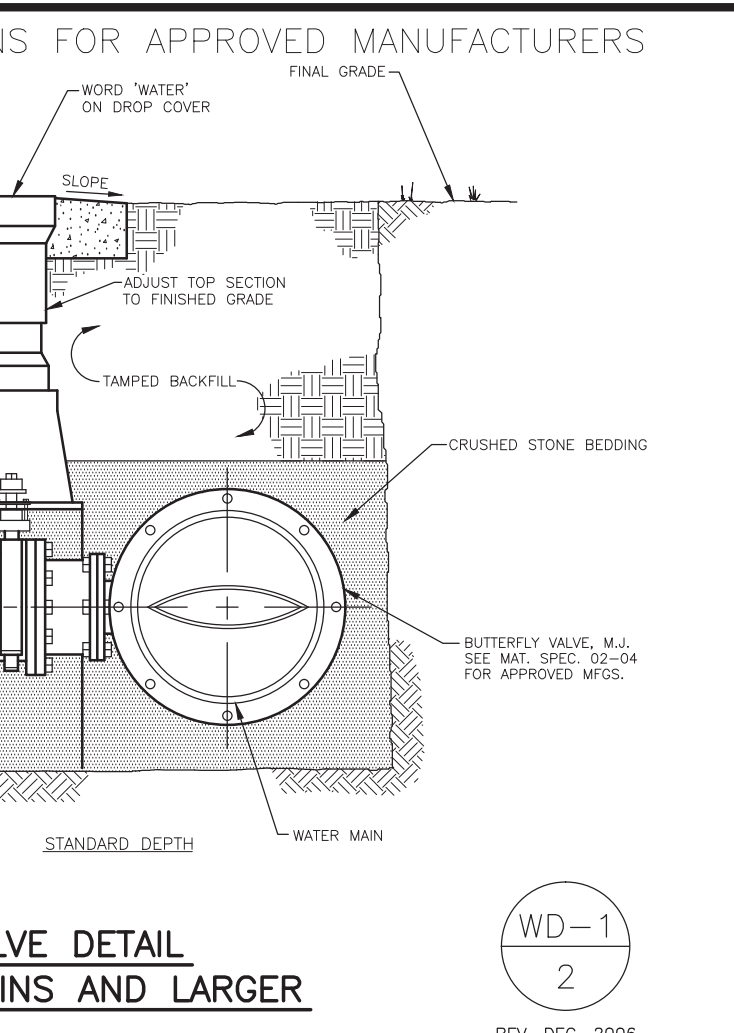
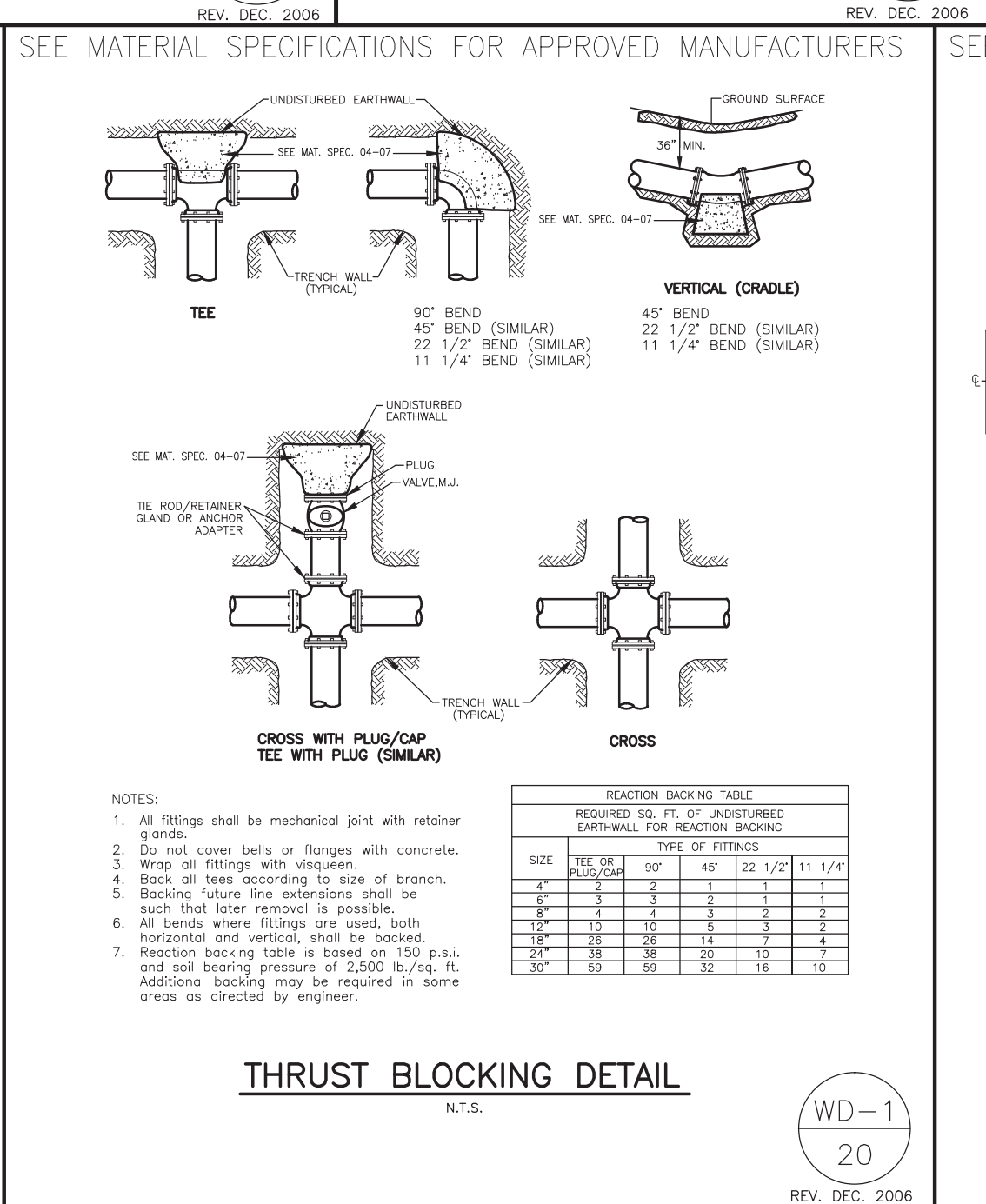
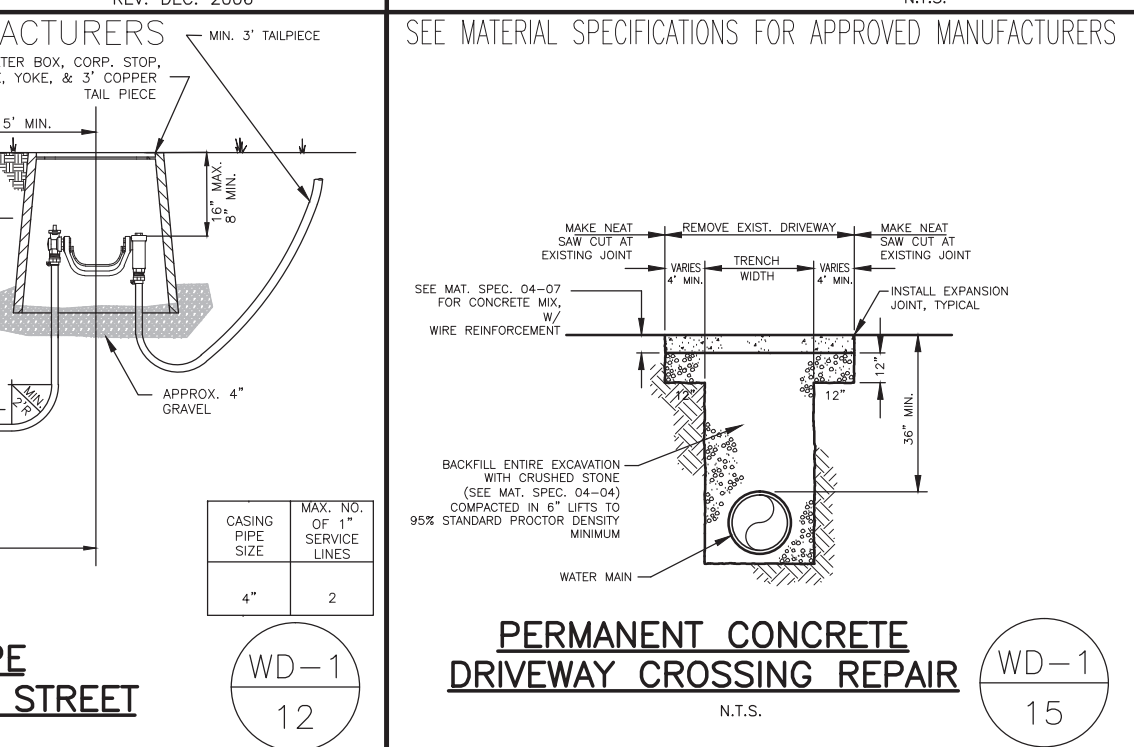
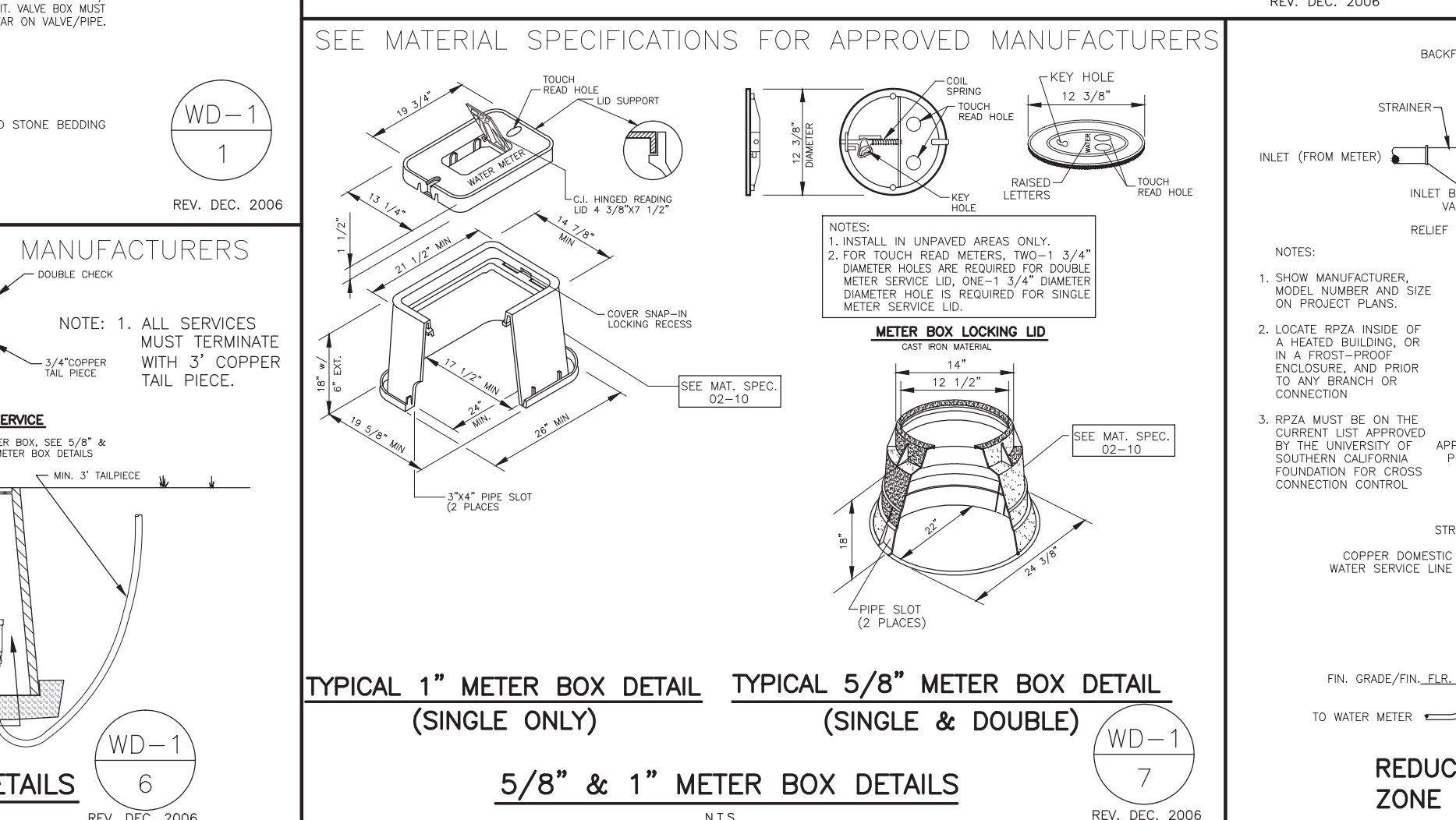
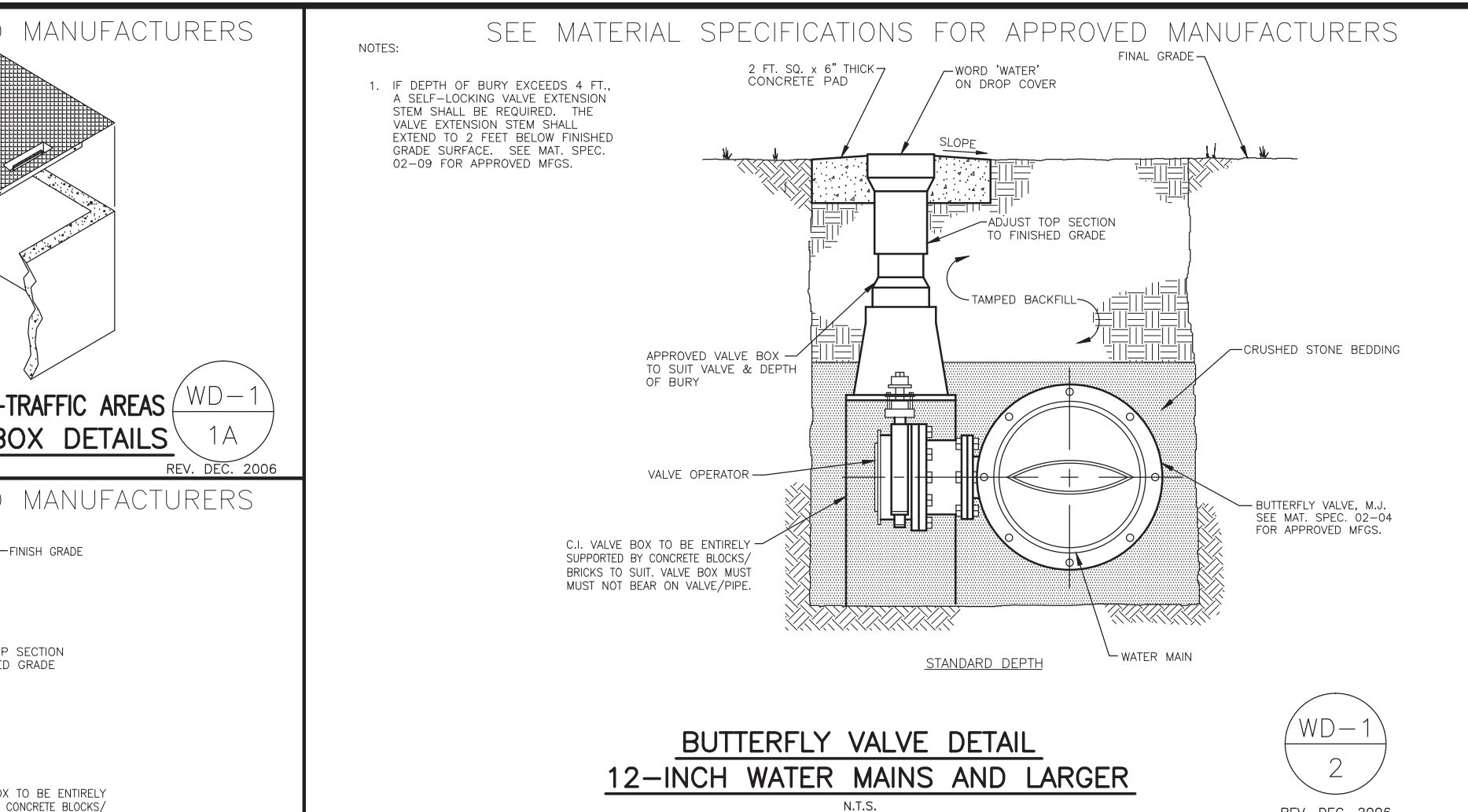
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GENERAL CONSTRUCTION NOTES:

- The contractor will be held solely responsible for damage occurring to any property during the construction of this project. Said contractor shall take all necessary precautions to prevent property damage.
- In accordance with generally accepted construction practices, the contractor will be accepted and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- The duty of Rogers Water Utilities to conduct construction inspection or review of the contractor's performance is not an inspection or review of the adequacy of the contractor's safety measures in, on, or near the construction site.
- All water and sewer improvements shall be constructed in accordance with the latest revision to the Rogers Water Utilities Standards Specifications.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Contractor is to remove and dispose of all debris, rubbish and other materials resulting from previous and current demolition operations. Disposal will be in accordance with all local, state and/or federal regulations governing such operations.
- Prior to installation of any utilities, the contractor is to excavate, verify, and calculate all crossings and inform the Rogers Water Utilities of any conflicts prior to construction.
- Construction shall not start on any water utility until approval is given by Rogers Water Utilities. Said contractor shall not operate any valve, hydrant, or water utility appearance nor shall he attach to or tap any water utility main without approval. The contractor shall bear the cost and consequence of any disruption of utility operation caused by construction.

WD-1 19
REV. DEC. 2006





SOLID SLEEVE
SEE MAT. SPEC. Q2-07
FOR APPROVED INFOS.

NEW WATER MAIN

SS RODS & EYE
BOLTS-SEE NO. 1/9

M.J. CAP

REMOVE EXIST.


EXISTING WATER MAIN

TAPPING SLAVE & VALVE
SEE MAT. SPEC. Q2-07
FOR APPROVED WAGS.

THRUST BLOCKING
SEE DETAIL NO. 1/20
(TYP.)

SS RODS & EYE
BOLTS-SEE NO. 1/9

ANCHOR COLLAR BLOCK
SEE NO. 1/10



WD-2
6

Diagram illustrating a fire hydrant assembly with various connections:

- EXISTING PUBLIC WATER MAIN** (top connection)
- EXISTING TEE AND VALVE** (top connection detail)
- NEW PROPOSED TAPPING** (top connection detail)
- EXISTING AND PROPOSED TAP** (top connection detail)
- SEE INT. SPEC. 02-07** (top connection detail)
- MIN. 6" D.I.P. WATER MAIN** (vertical pipe)
- WATER METER, SEE DETAIL WD-1/1A, WD-1/2, WD-1/3, WD-1/4, WD-1/5, WD-1/6, WD-1/7** (meter assembly)
- COMMERCIAL WATER SERVICE** (left connection)
- FIRE HYDRANT ASSEMBLY SEE WD-1/1A-B-E** (hydrant body)
- IRRIGATION** (right connection)
- REDUCERS, IF NEEDED** (connection detail)
- NEW PUBLIC WATER MAIN** (bottom connection)
- EASEMENT REQUIRED** (bottom connection detail)
- DEMARCATION VALVE, SEE INT. SPEC. 02-03 FOR APPROVED MODEL, PUMP, BOX AND LID, RED** (valve assembly)
- PRIVATE FIRE LINE** (bottom connection)

WD-2
2

Diagram illustrating the installation of a thrust block for a water main. The diagram shows a cross-section of the water main and the thrust block structure.

Labels and specifications:

- SOIL SLEEVE** SEE MAT. SPEC. 02-02 FOR APPROVED MFG.
- NEW WATER MAIN**
- 12. RIGGS & EYE** BRACE-SEE NO. 1/9
- REMOVE SECTION OF EXISTING MFG.**
- UNDISTURBED SOIL**
- SOIL CONCRETE DRY BLOCKS**
- WATER MAIN TO BE MANHOLED-IN-PLACE**
- W.J. CAP**
- RETAINING GLAND**
- CONCRETE THRUST BLOCKING**
- STEEL BEAM OR 4" x 4" TIMBERS** USED TO FIT INTO
- THRUST BLOCKING** SEE DETAIL NO. 11-20 (TYP)
- EXISTING WATER MAIN**
- TAPPING SLEEVE & VALVE** SEE MAT. SPEC. 02-07 FOR APPROVED MFG.

UTILITY-MAN

FLOWABLE FILL BARRIER TO BE ADDED AFTER PIPE IS INSTALLED, AT LOCATIONS AS DIRECTED BY THE ENGINEER. SEE MAT. SPEC. 04-58

1'

1' (TYP.)

TRENCH WIDTH

UNDISTURBED EARTH

TRENCH DEPTH

MANHOLE

UNDISTURBED EARTH

EQUAL TO, OR BELOW TRENCH BOTTOM

WD-2
12
REV. DEC. 20

Technical drawing of a 12' wide tubular steel gate. The drawing shows a side elevation of the gate with dimensions: 8'-0" on the left, 11'-10 1/2" +/- for the main gate body, and 8'-0" on the right. The gate has a height of 12'-0" and is supported by 6" pressure treated posts. The gate is labeled "12' WIDE TUBULAR STEEL GATE" and "6" PRESSURE TREATED POST (TYPICAL)".

WD-2
13
REV. AUG. 2

WD-2
3

FIRE HYDRANT ASSEMBLY
SEE WD-1/ANAB

FOSTER ADAPTER

M.J. X M.J. GATE VALVE
OR BUTTERFLY VALVE AS
SPECIFIED FOR PIPE SIZE
SEE MAT. SPEC. 02-03
FOR APPROVED MFGS.

M.J. PLUG

[illegible]

WD-2
5

WD-9

WD-10

WD-2
11

UTILITY-MAN

FLOWABLE FILL BARRIER TO BE ADDED AFTER PIPE IS INSTALLED, AT LOCATIONS AS DIRECTED BY THE ENGINEER. SEE MAT. SPEC. 04-58

1'

1' (TYP.)

TRENCH WIDTH

UNDISTURBED EARTH

TRENCH DEPTH

MANHOLE

UNDISTURBED EARTH

EQUAL TO, OR BELOW TRENCH BOTTOM

WD-2
12
REV. DEC. 20

Technical drawing of a 12' wide tubular steel gate. The drawing shows a side elevation of the gate with dimensions: 8'-0" on the left, 11'-10 1/2" +/- for the main gate body, and 8'-0" on the right. The gate has a height of 12'-0" and is supported by 6" pressure treated posts. The gate is labeled "12' WIDE TUBULAR STEEL GATE" and "6" PRESSURE TREATED POST (TYPICAL)".

WD-2
13
REV. AUG. 2

WD-2
14
REV. AUG. 2

WD-2
15

WD-2
16

WD-2
17

WD-18

METER SIZE	FLOW RANGE	CONNECTION TO MAIN		METER BOX APPROX. SIZE		SOURCE
		NEW MAIN	EXISTING MAIN	SIDEWALK	GREEN AREAS	
5/8" (SINGLE OR DOUBLE)	1-20 GPM	1" CORP. STOP	1" CORP. STOP		~22" DIA BASE	SEE STANDARD SPEC. 02-10
1"	3-50 GPM	1" CORP. STOP	1" CORP. STOP		~18"x24"BASE	SEE STANDARD SPEC. 02-10
1 1/2"	4-120 GPM	SEE WD 1/5	2" TAPPING SADDLE AND VALVE	32" x 42" (PRECAST BOX)	2~24"x 37" METER BOXES	SEE STANDARD SPEC. 02-13
2"	4-160 GPM	SEE WD 1/5	2" TAPPING SADDLE AND VALVE	32" x 42" (PRECAST BOX)	2~24"x 37" METER BOXES	SEE STANDARD SPEC. 02-13
3"	5-350 GPM	SEE WD 1/5	2" TAPPING SADDLE AND VALVE	8' L. x 5.5' W. x 4' D.		PRECAST BY PILE CONCRETE, LOWELL, AR
4"	15-1000 GPM	MAIN x 4" TEE AND VALVE	MAIN x 4" TAPPING SADDLE AND VALVE	6'x10'		(CAST-IN-PLACE BOX) BY CONTRACTOR-SEE RWJ FOR LID DETAIL
6"	30-2,000 GPM	MAIN x 6" TEE AND VALVE	MAIN x 6" TAPPING SADDLE AND VALVE	6'x10'		(CAST-IN-PLACE BOX) BY CONTRACTOR-SEE RWJ FOR LID DETAIL
8"	35-3,500 GPM	MAIN x 8" TEE AND VALVE	MAIN x 8" TAPPING SADDLE AND VALVE	6'x10'		(CAST-IN-PLACE BOX) BY CONTRACTOR-SEE RWJ FOR LID DETAIL

WD-19

WD-2
21

WD-2
22



RWU
ROGERS WATER UTILITIES

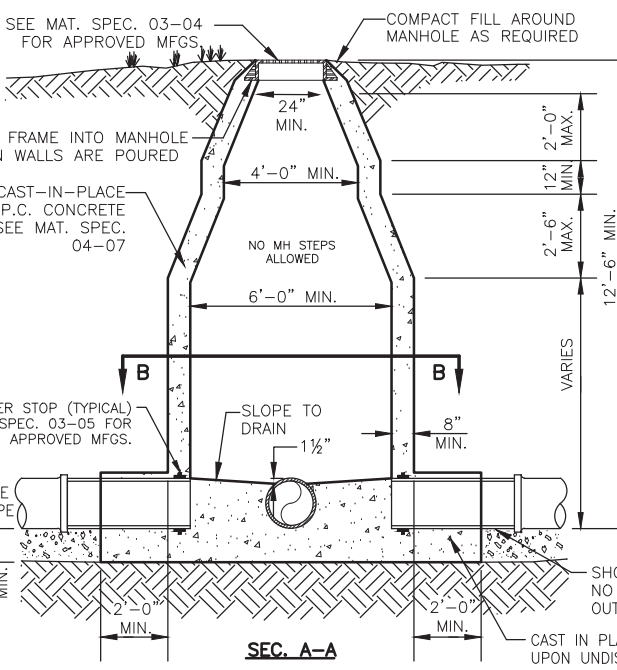
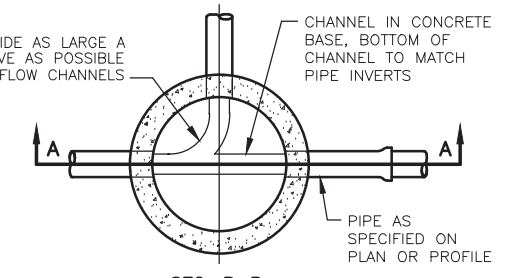
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CHECKED BY: <i>EB</i>	PROJECT NUMBER: <i>STANDARD WATER DETAILS</i>	

WD-23

	$WD-2$
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SEE MATERIAL SPECIFICATIONS FOR APPROVED MANUFACTURERS

- NOTES:
1. A MANHOLE BARREL CONSTRUCTION JOINT IS ALLOWED WITHIN A STRAIGHT MANHOLE SECTION OF THE BARREL AT 12'-0" ABOVE THE MANHOLE BASE AND SHALL HAVE A 4" KEY WAY AND #4 REBAR AT 12'-0" ON CENTERS WITH 15' EMBEDMENT. A WATER STOP SHALL BE USED IF DIRECTED BY THE UTILITY.
 2. THE BASE AND WALLS SHALL BE POURED MONOLITHICALLY.
 3. THE CENTERLINE OF ALL PIPES ENTERING AND LEAVING MANHOLE SHALL PASS THROUGH THE CENTER OF THE MANHOLE.
 4. MANHOLES THAT ARE LESS THAN 12'-0" IN DEPTH SHALL BE INDIVIDUALLY DESIGNED PER LOCATION CONDITIONS AND MUST BE APPROVED BY THE UTILITY.
 5. POUR OUTSIDE MANHOLE BASE SO THAT THE TOP OF OUTSIDE BASE IS EVEN OR 2-INCH ABOVE THE CROWN OF THE PIPES ENTERING THE MANHOLE BASE. EXTEND MANHOLE BASE TO LIMITS OF EXCAVATION IN ALL DIRECTIONS 24" MINIMUM.
 6. CONSTRUCT FLOW CHANNEL FOR ALL PIPES ENTERING MANHOLE, INCLUDING SERVICES. SLOPE CHANNELS TO MATCH PIPE INVERTS.
 7. THE TOP OF MANHOLE TO BE LEVEL WITH FINISHED GRADE, UNLESS OTHERWISE NOTED OR DIRECTED BY THE UTILITY.
 8. BRUSH FINISH SURFACES OF CONCRETE AND REMOVE ALL SHARP EDGES.

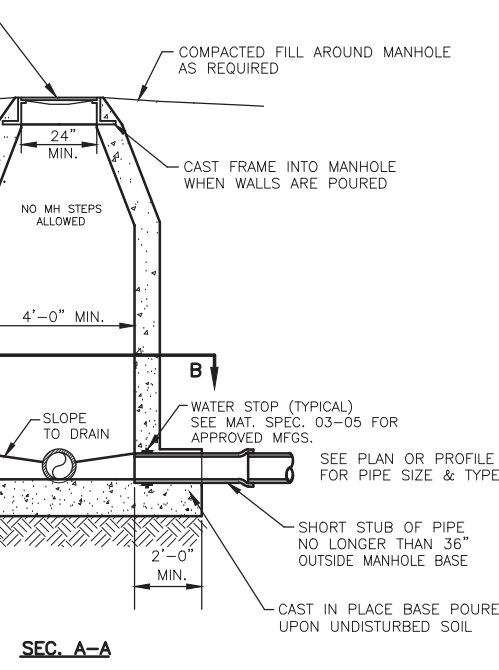
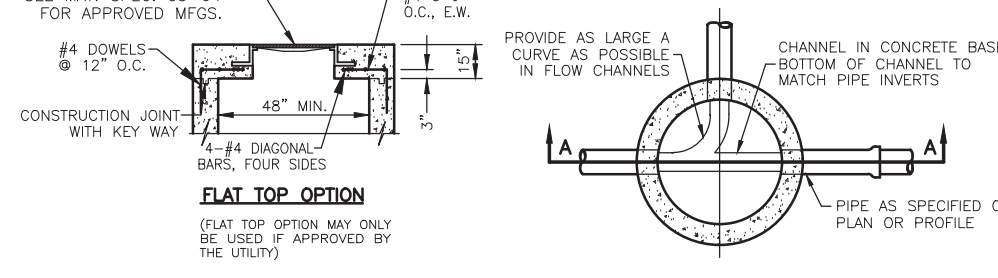


6 FT. CAST-IN-PLACE SANITARY SEWER MANHOLE DETAIL
N.T.S.

SD-1
1
REV. DEC. 2006

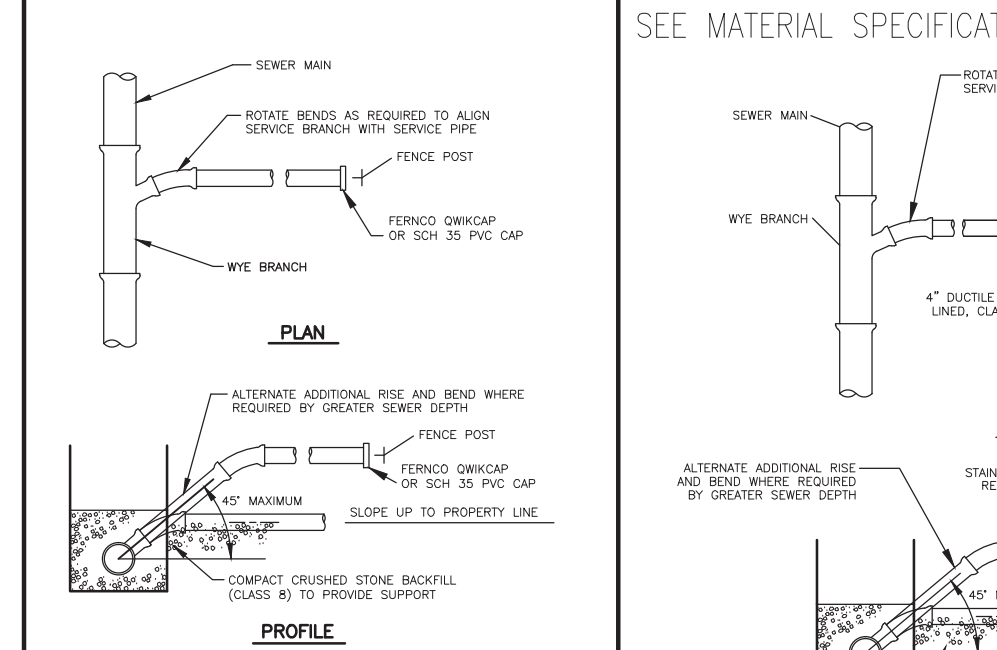
SEE MATERIAL SPECIFICATIONS FOR APPROVED MANUFACTURERS

- NOTES:
1. A MANHOLE BARREL CONSTRUCTION JOINT IS ALLOWED WITHIN A STRAIGHT MANHOLE SECTION OF THE BARREL AT 12'-0" ABOVE THE MANHOLE BASE AND SHALL HAVE A 4" KEY WAY AND #4 REBAR AT 12'-0" ON CENTERS WITH 15' EMBEDMENT. A WATER STOP SHALL BE USED IF DIRECTED BY THE UTILITY.
 2. THE BASE AND WALLS SHALL BE POURED MONOLITHICALLY.
 3. THE CENTERLINE OF ALL PIPES ENTERING AND LEAVING MANHOLE SHALL PASS THROUGH THE CENTER OF THE MANHOLE.
 4. MANHOLES THAT ARE LESS THAN 12'-0" IN DEPTH SHALL BE INDIVIDUALLY DESIGNED PER LOCATION CONDITIONS AND MUST BE APPROVED BY THE UTILITY.
 5. POUR OUTSIDE MANHOLE BASE SO THAT THE TOP OF OUTSIDE BASE IS EVEN OR 2-INCH ABOVE THE CROWN OF THE PIPES ENTERING THE MANHOLE BASE. EXTEND MANHOLE BASE TO LIMITS OF EXCAVATION IN ALL DIRECTIONS 24" MINIMUM.
 6. CONSTRUCT FLOW CHANNEL FOR ALL PIPES ENTERING MANHOLE, INCLUDING SERVICES. SLOPE CHANNELS TO MATCH PIPE INVERTS.
 7. THE TOP OF MANHOLE TO BE LEVEL WITH FINISHED GRADE, UNLESS OTHERWISE NOTED OR DIRECTED BY THE UTILITY.
 8. BRUSH FINISH SURFACES OF CONCRETE AND REMOVE ALL SHARP EDGES.

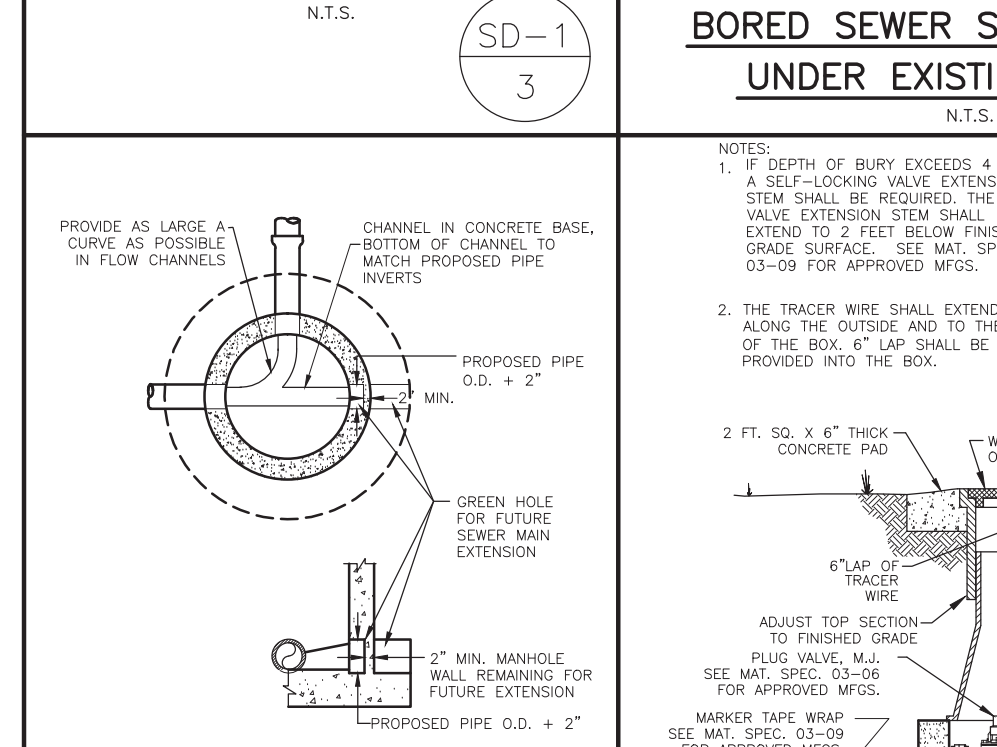


4 FT. CAST-IN-PLACE SANITARY SEWER MANHOLE DETAIL
N.T.S.

SD-1
2
REV. DEC. 2006

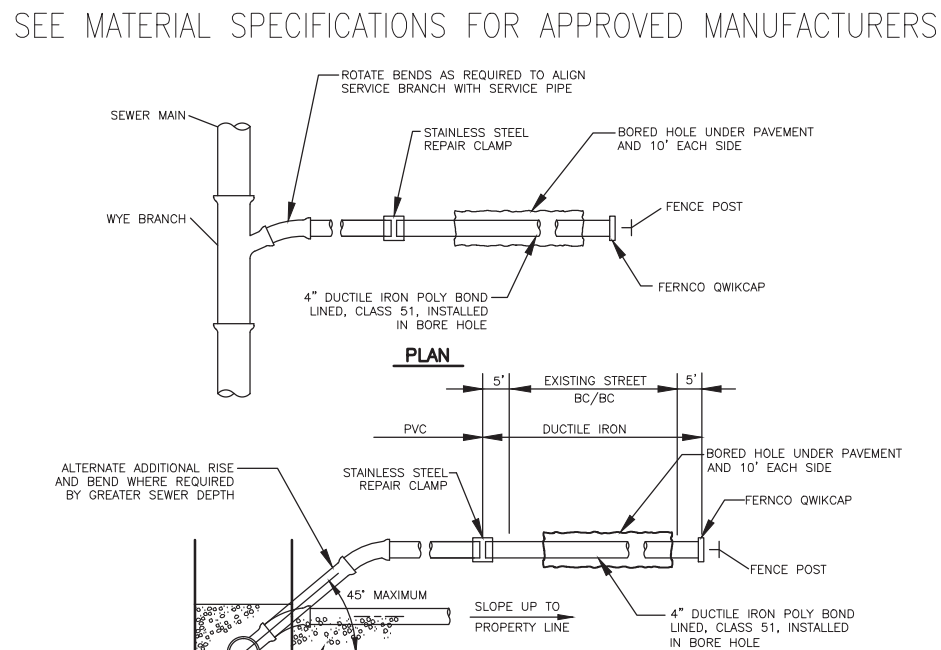


STANDARD SEWER SERVICE LATERAL
N.T.S.

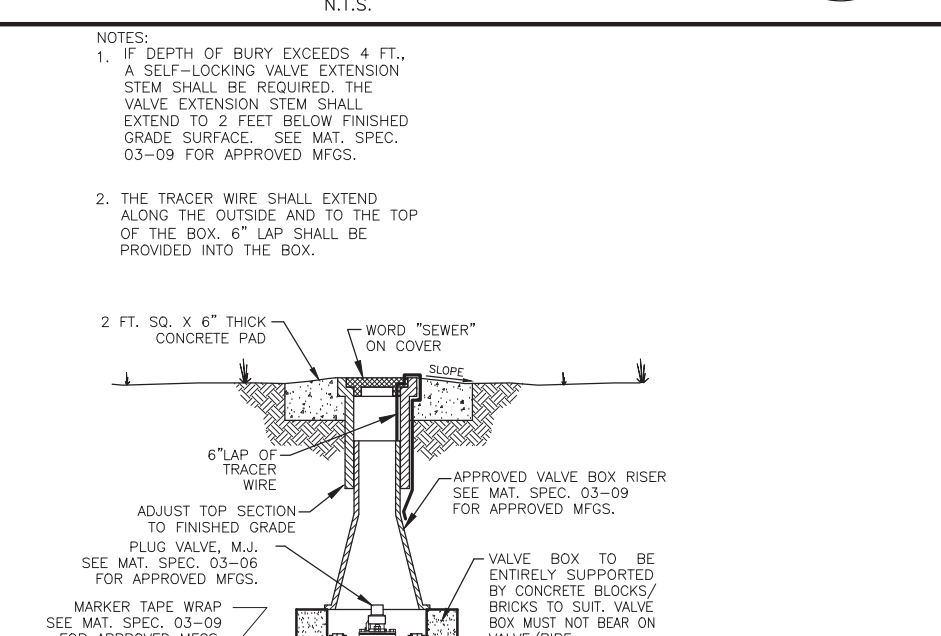


GREENHOLE/BLOCK OUT FOR FUTURE EXTENSION
N.T.S.

SD-1
7
REV. DEC. 2006

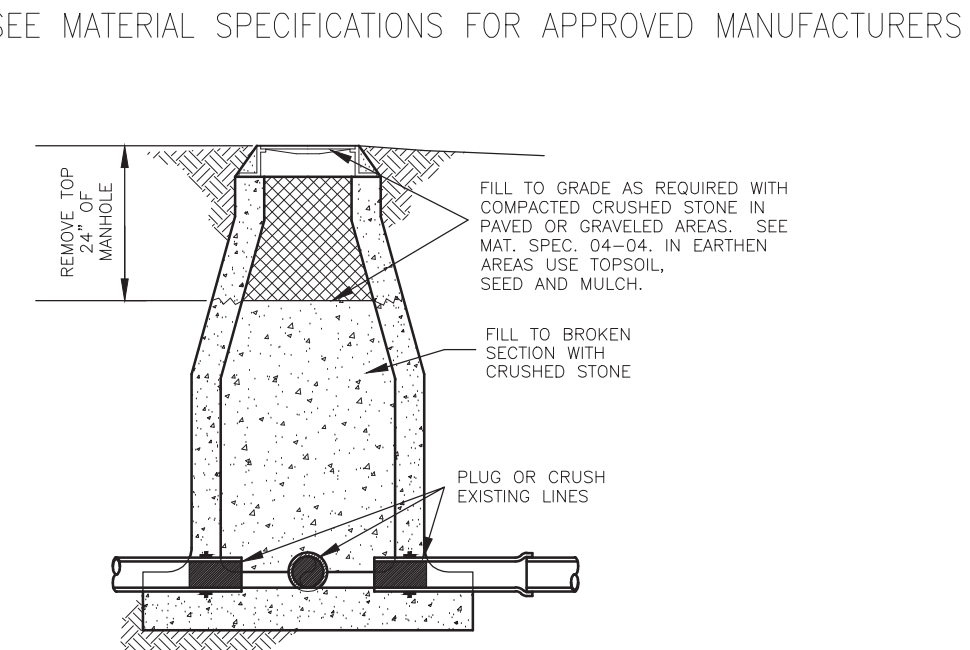


BORED SEWER SERVICE LATERAL UNDER EXISTING STREET
N.T.S.

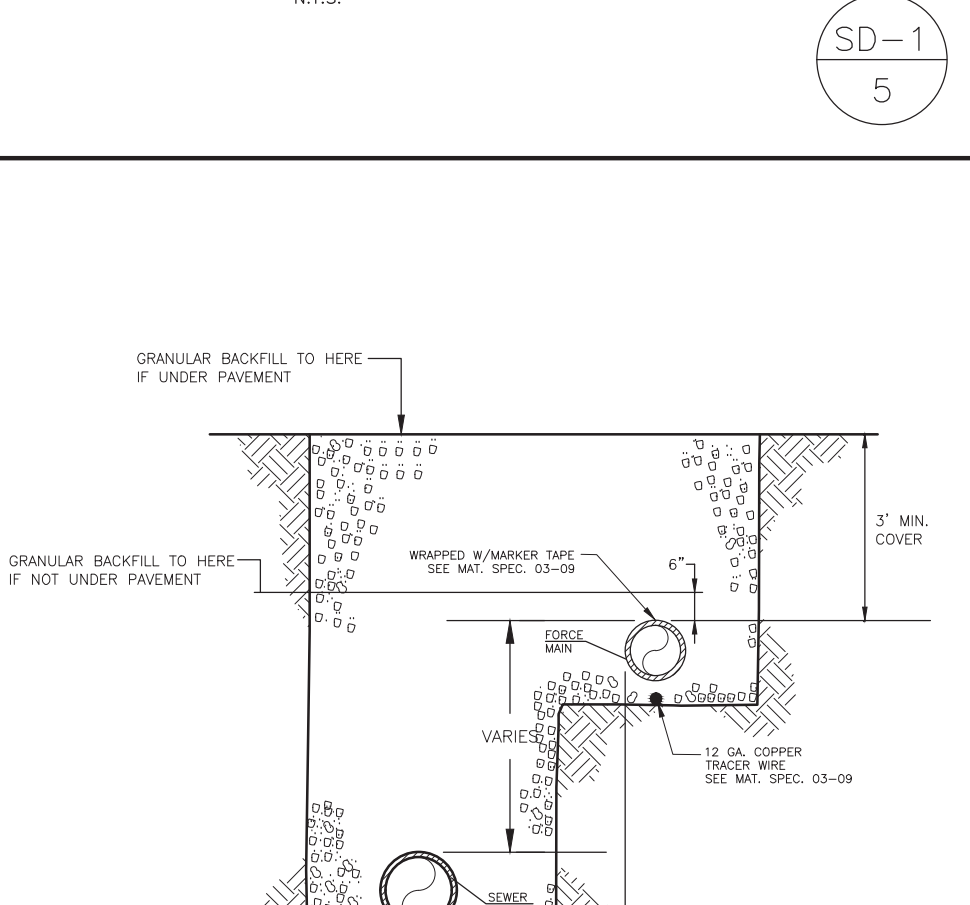


4'-12" SEWER FORCE MAIN PLUG VALVE DETAIL
N.T.S.

SD-1
8
REV. DEC. 2006

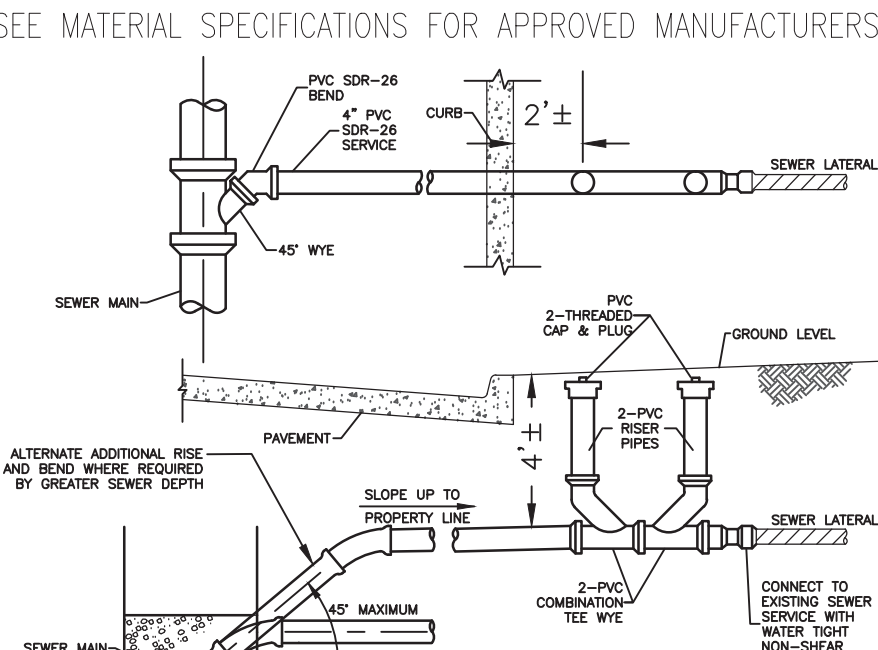


SANITARY SEWER MANHOLE ABANDONMENT
N.T.S.

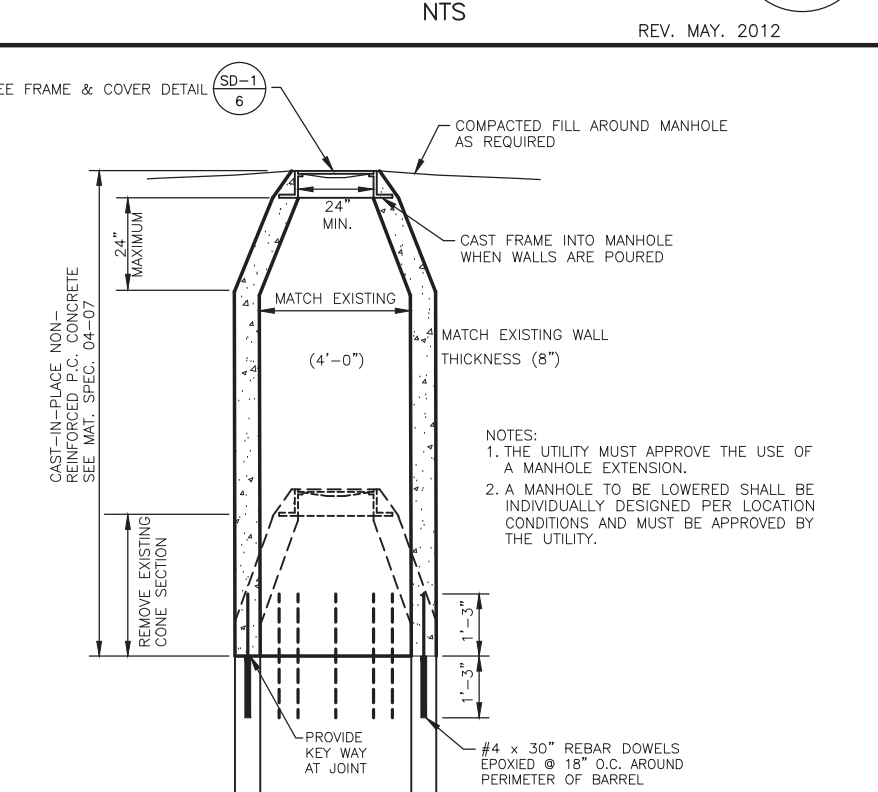


PARALLEL SEWER FORCE MAIN & SANITARY SEWER MAIN
N.T.S.

SD-1
9
REV. DEC. 2006

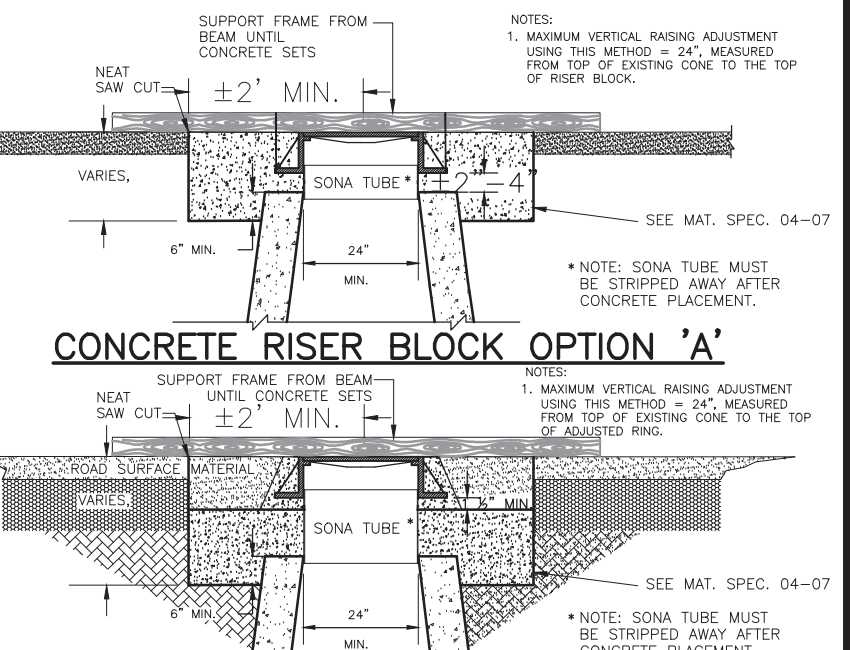


4 INCH TWO-WAY SANITARY SEWER CLEANOUT
N.T.S.

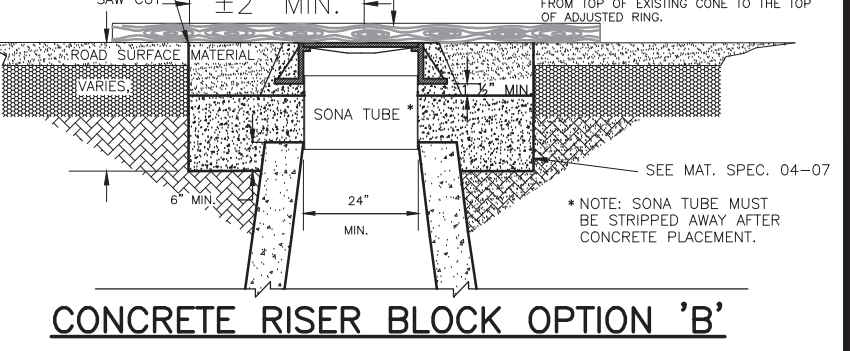


SANITARY SEWER MANHOLE EXTENSION/SHORTENING DETAIL
N.T.S.

SD-1
10
REV. DEC. 2006

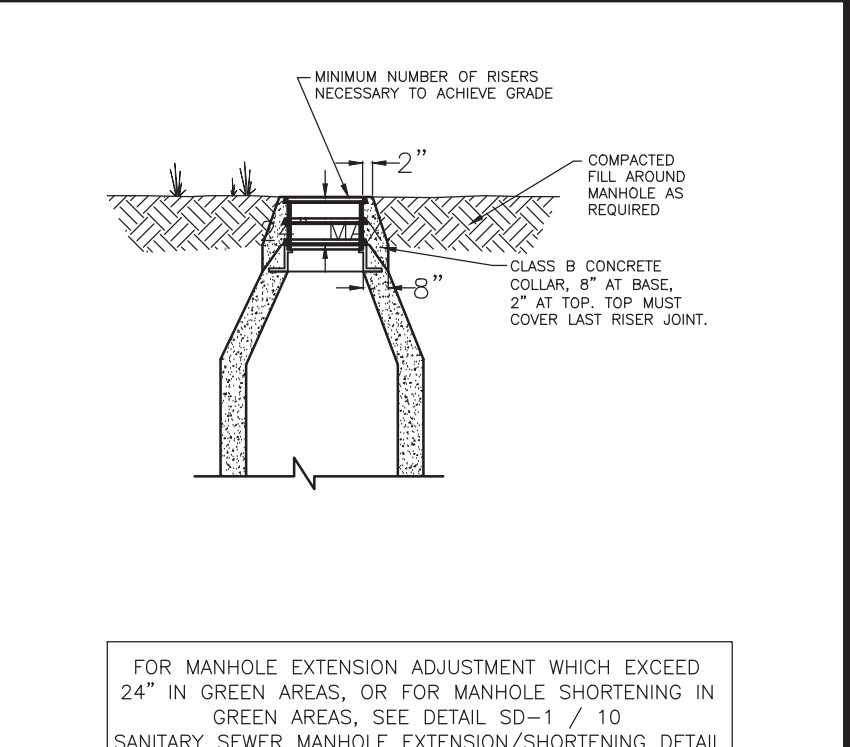


CONCRETE RISER BLOCK OPTION 'A'
N.T.S.



CONCRETE RISER BLOCK OPTION 'B'
N.T.S.

FOR MANHOLE EXTENSION ADJUSTMENT WHICH EXCEED 24" IN PAVED AREAS, OR FOR MANHOLE SHORTENING IN PAVED AREAS, SEE DETAIL SD-1 / 10
SANITARY SEWER MANHOLE EXTENSION/SHORTENING DETAIL
N.T.S.



MANHOLE ADJUSTMENT IN PAVED AREAS
N.T.S.

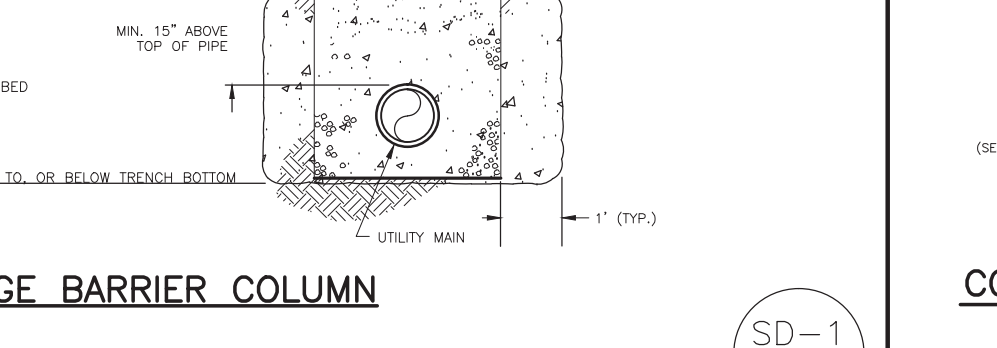
SD-1
6A
REV. DEC. 2006

RESERVED

HYPERLINK TO RWU WEBSITE FROM ACTIVE .DWG FILE (HOLD DOWN "CONTROL" KEY AND LEFT-MOUSE-BUTTON-SELECT THE UNDERLINED LINK)
[HTTP://WWW.RWU.ORG/ENGINEERING.HTM](http://www.rwu.org/engineering.htm)

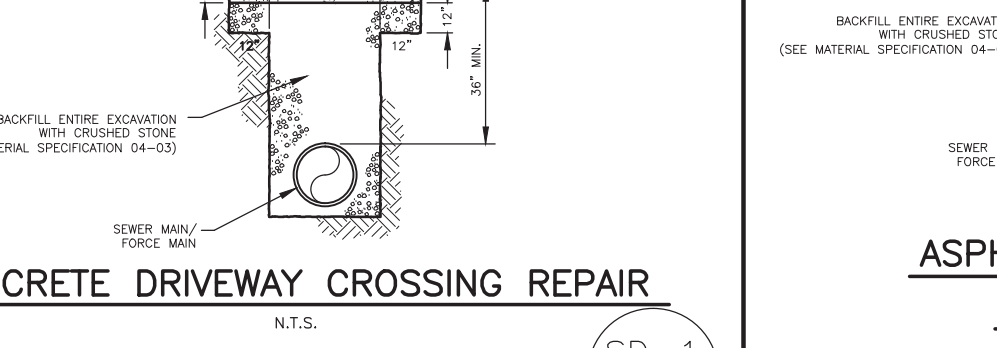
RESERVED

HYPERLINK TO RWU WEBSITE FROM ACTIVE .DWG FILE (HOLD DOWN "CONTROL" KEY AND LEFT-MOUSE-BUTTON-SELECT THE UNDERLINED LINK)
[HTTP://WWW.RWU.ORG/ENGINEERING.HTM](http://www.rwu.org/engineering.htm)



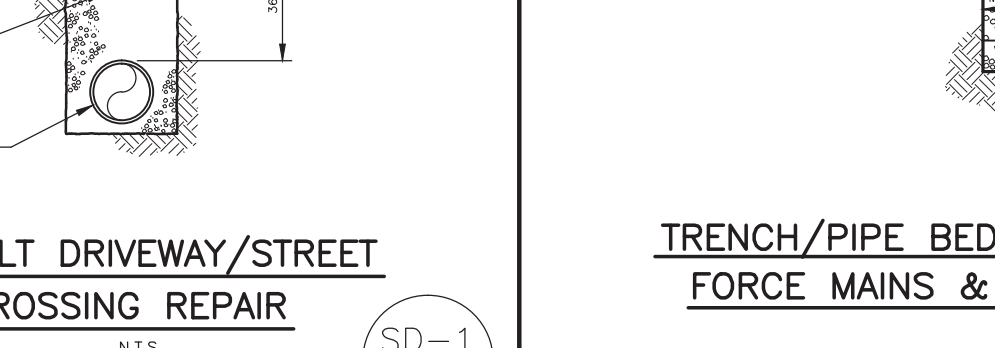
ANTI-SEEPAGE BARRIER COLUMN
N.T.S.

SD-1
11
REV. DEC. 2006



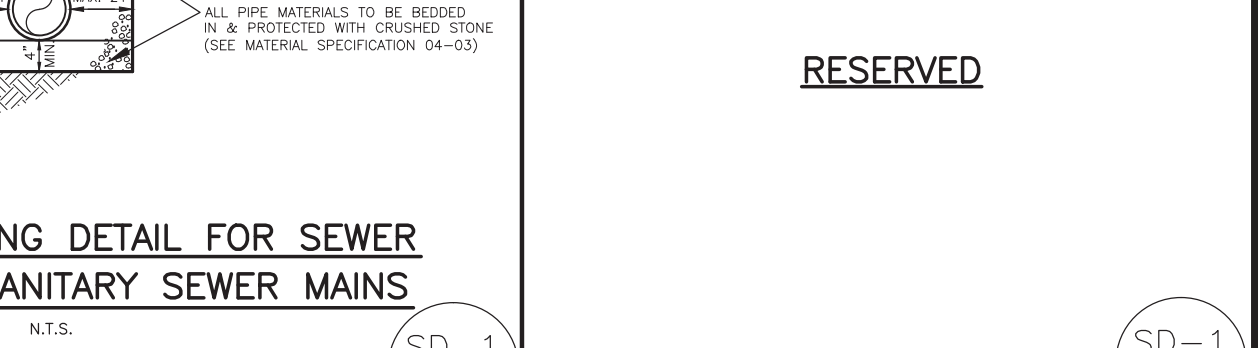
CONCRETE DRIVEWAY CROSSING REPAIR
N.T.S.

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12
REV. DEC. 2006



ASPHALT DRIVEWAY/STREET CROSSING REPAIR
N.T.S.

SD-1
13
REV. DEC. 2006



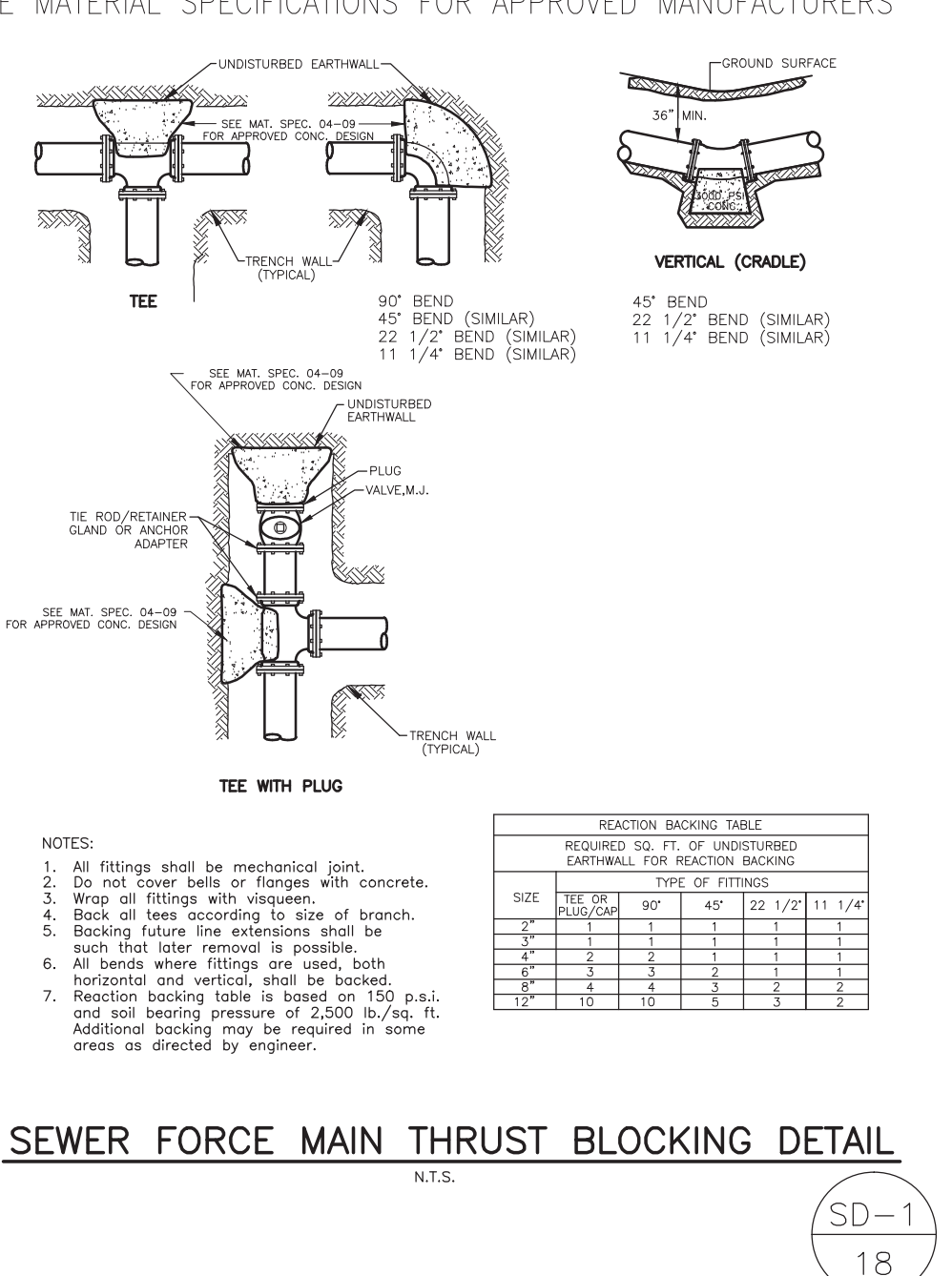
TRENCH/PIPE BEDDING DETAIL FOR SEWER FORCE MAINS & SANITARY SEWER MAINS
N.T.S.

SD-1
14
REV. DEC. 2006

GENERAL CONSTRUCTION NOTES:

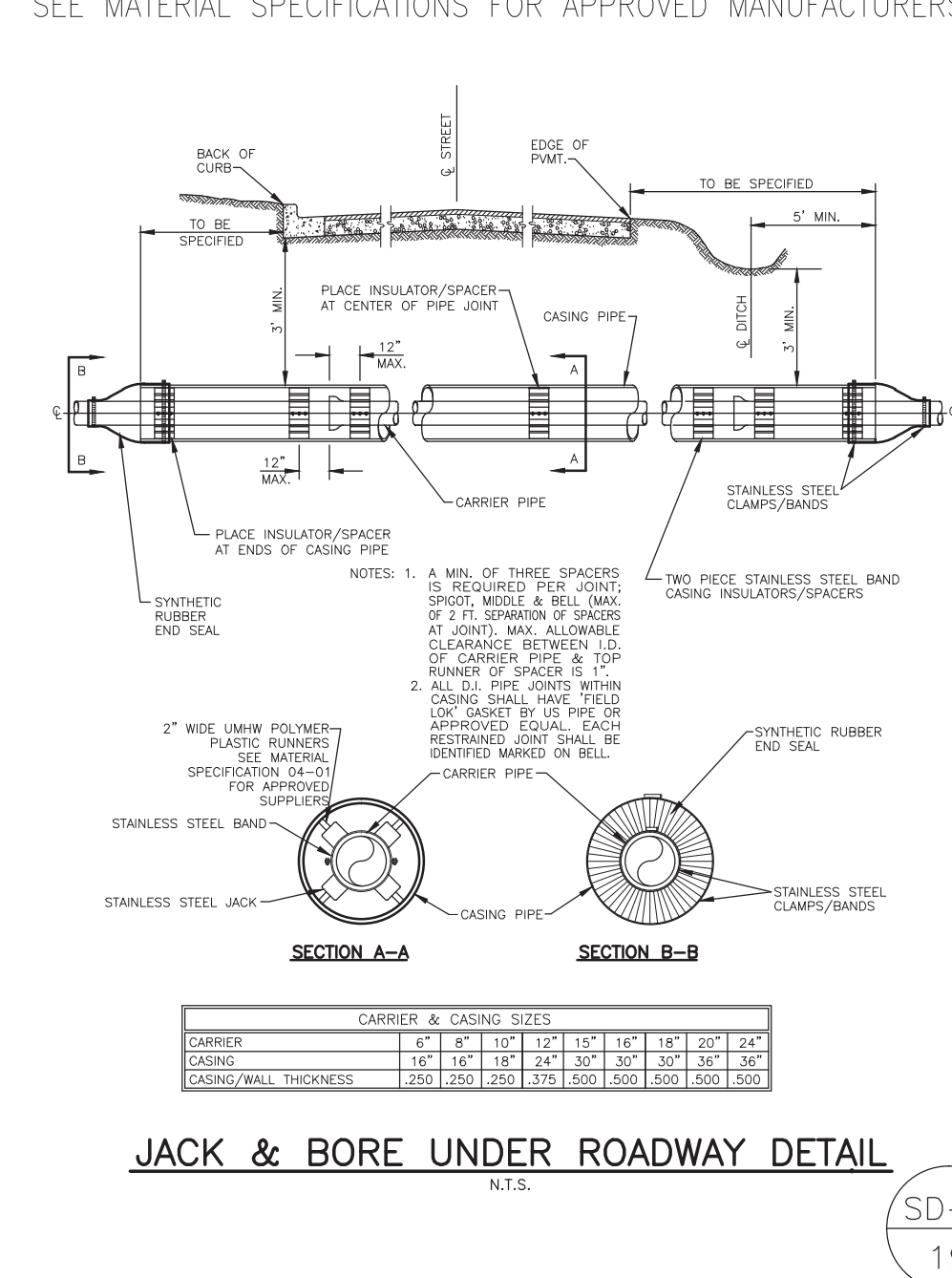
- The contractor will be held solely responsible for damage occurring to any property during the construction of this project. Said contractor shall take all necessary precautions to prevent property damage.
- In accordance with generally accepted construction practices, the contractor will be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours.
- The duty of Rogers Water Utilities to conduct construction inspection or review of the contractor's performance is not an inspection or review of the adequacy of the contractor's safety measures in, on, or near the construction site.
- All water and sewer improvements shall be constructed in accordance with the latest revision to the Rogers Water Utilities Standard Specifications.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and, where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility company at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Contractor is to remove and dispose of all debris, rubbish and other materials resulting from previous and current demolition operations. Disposal will be in accordance with all local, state and/or federal regulations governing such operations.
- Prior to installation of any utilities, the contractor is to excavate, verify, and calculate all crossings and inform the Rogers Water Utilities of any conflicts prior to construction.
- Construction shall not start on any water utility until approval is given by Rogers Water Utilities. Said contractor shall not operate any valve, hydrant, or water utility appurtenance nor shall he attach to or top any water utility main without approval. The contractor shall bear the cost and consequence of any disruption of utility operation caused by construction.

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REV. DEC. 2006



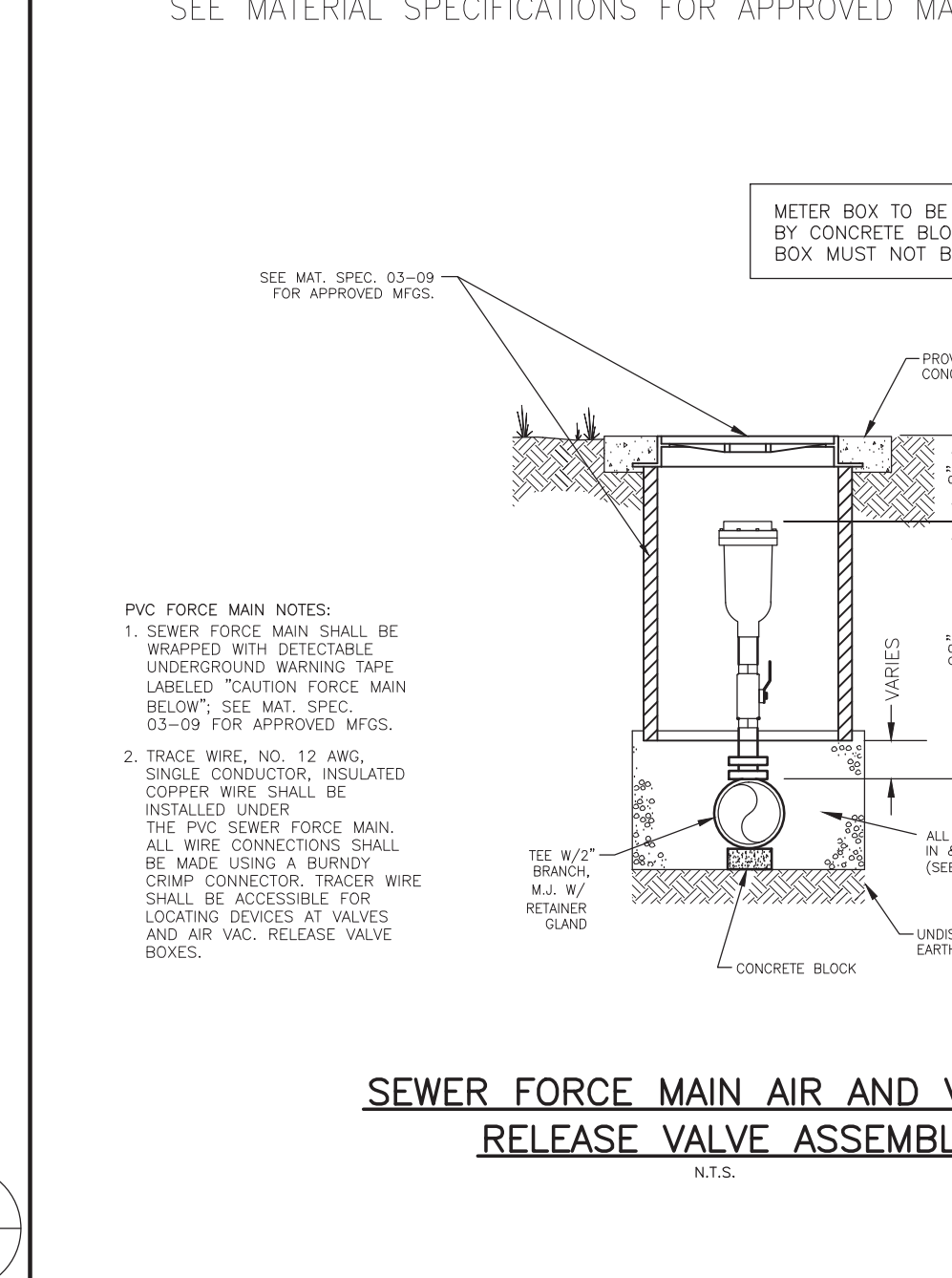
SEWER FORCE MAIN THRUST BLOCKING DETAIL
N.T.S.

SD-1
18
REV. DEC. 2006



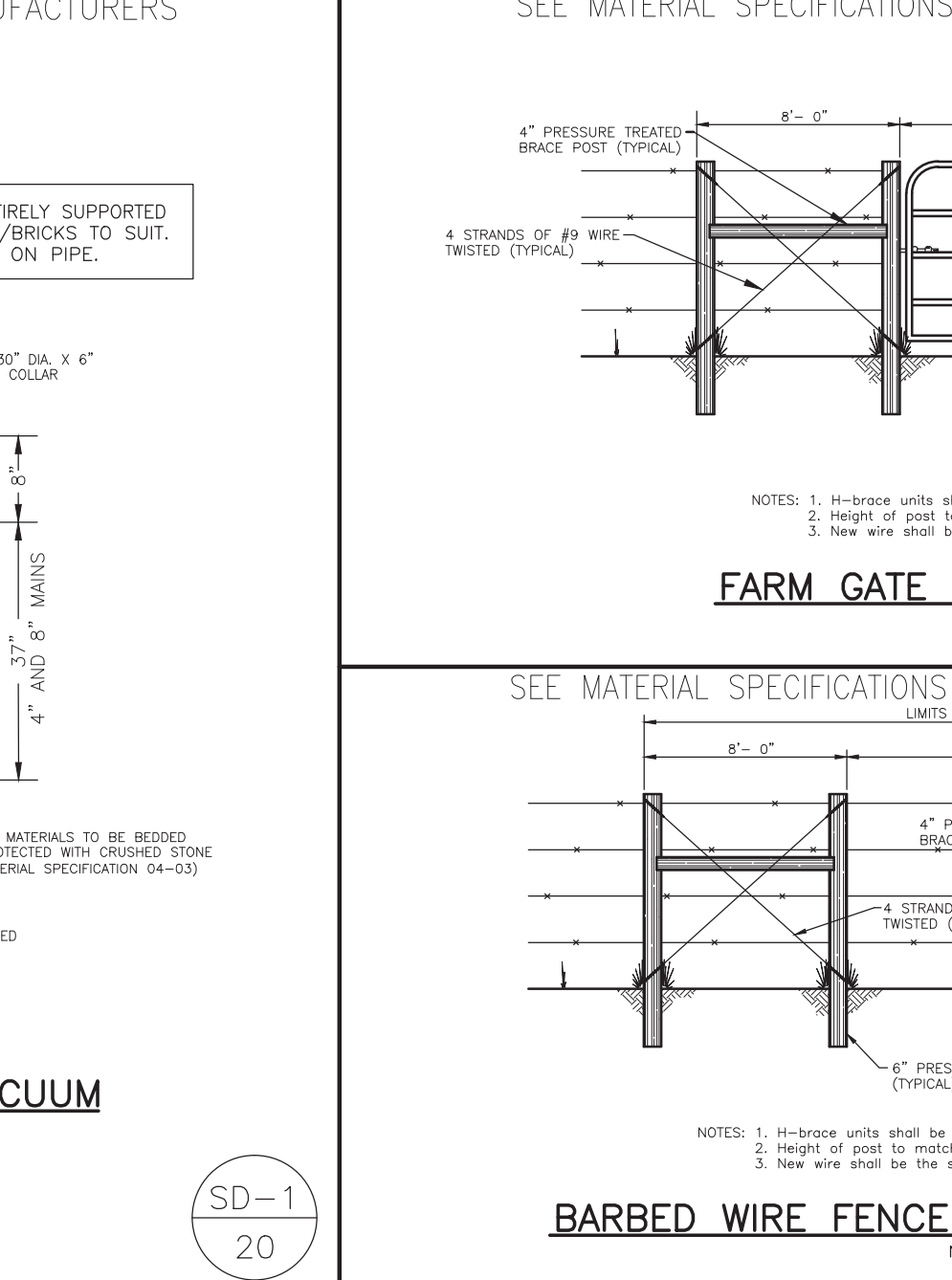
JACK & BORE UNDER ROADWAY DETAIL
N.T.S.

SD-1
19
REV. DEC. 2006



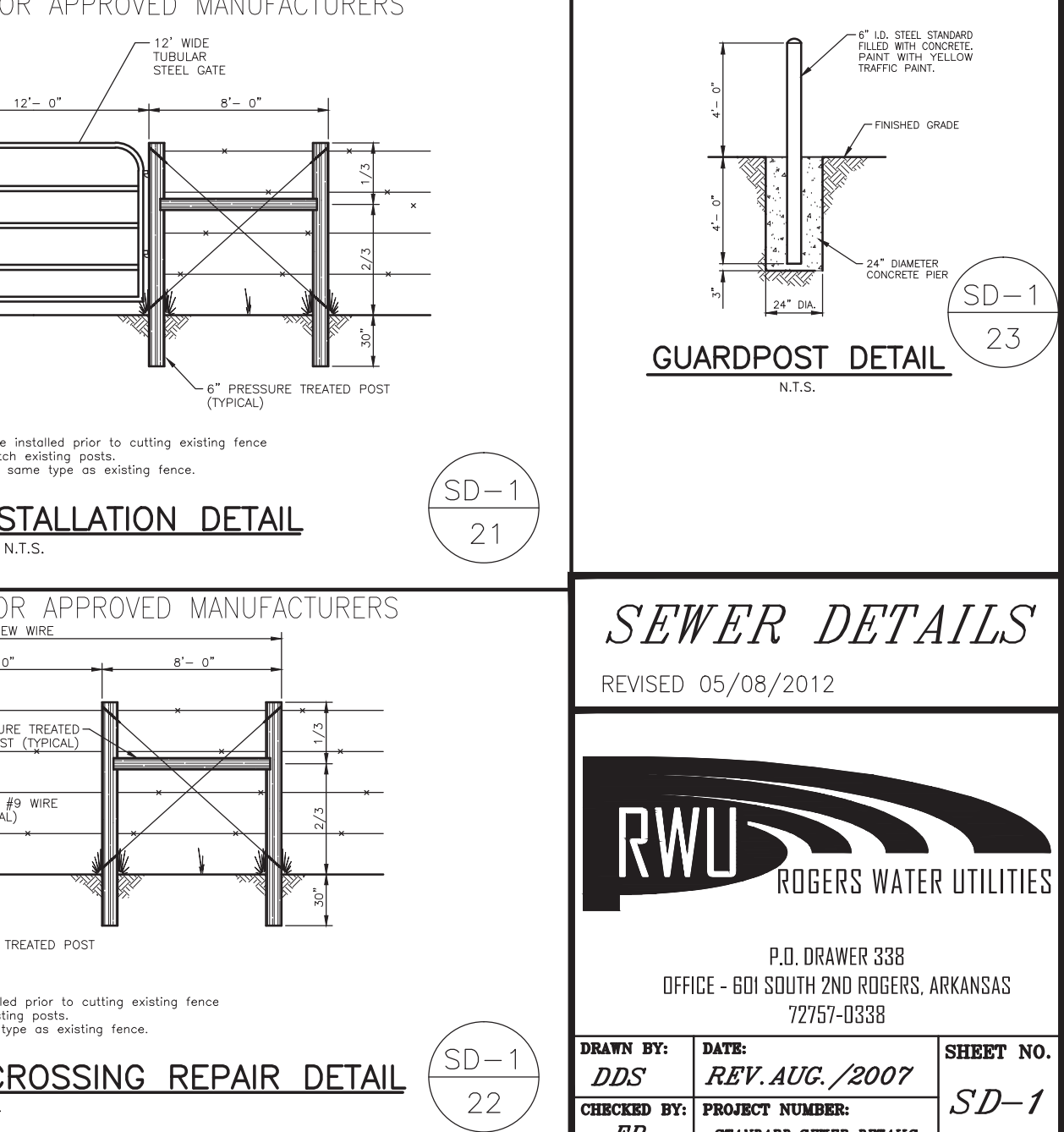
SEWER FORCE MAIN AIR AND VACUUM RELEASE VALVE ASSEMBLY
N.T.S.

SD-1
20
REV. DEC. 2006



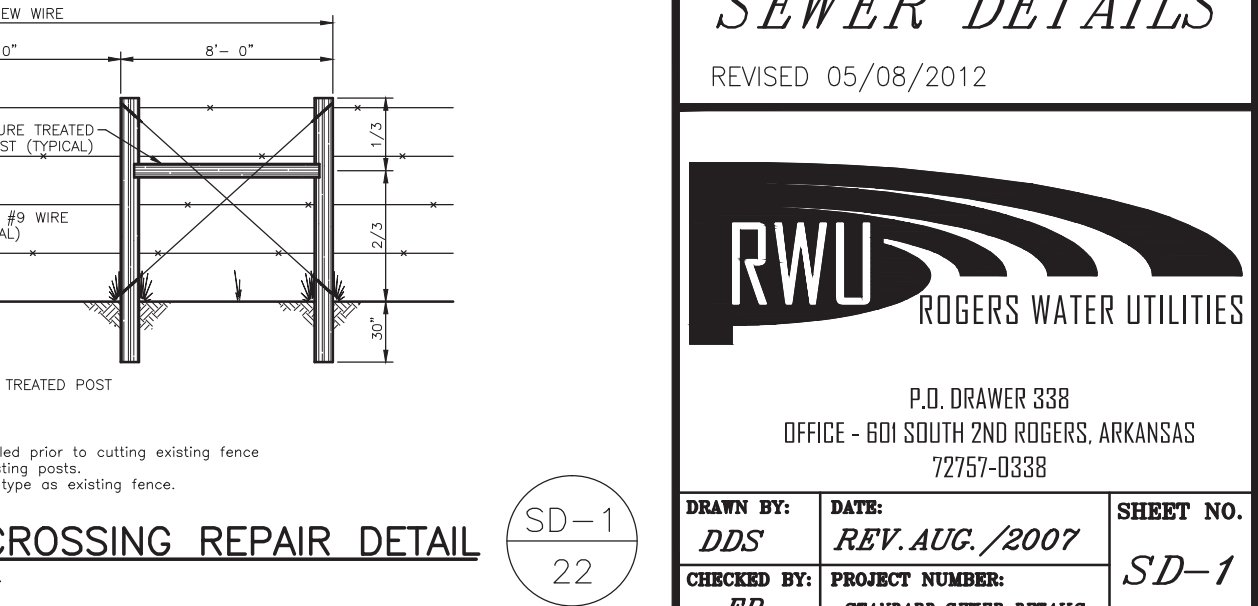
BARBED WIRE FENCE CROSSING REPAIR DETAIL
N.T.S.

SD-1
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REV. DEC. 2006



FARM GATE INSTALLATION DETAIL
N.T.S.

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GUARDPOST DETAIL
N.T.S.

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REV. DEC. 2006

SEWER DETAILS

REVISED 05/08/2012



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72757-0338

DRAWN BY: **DD'S**
CHECKED BY: **EB**
DATE: **REV. AUG. 2007**
PROJECT NUMBER: **STANDARD SEWER DETAILS**
SHEET NO. **SD-1**