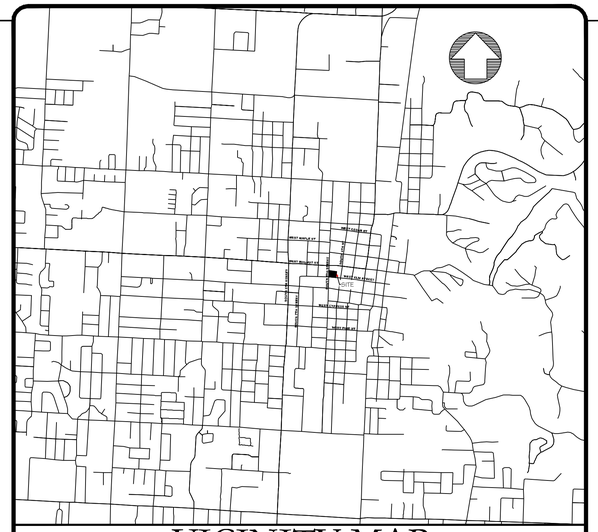
LARGE SCALE DEVELOPMENT

5TH + ELM TOWNHOMES

105 SOUTH 5TH STREET
ROGERS, AR

Current Use:
Abandoned Bank Building

Current Zoning:
Commercial



VICINITY MAP
N.T.S.

GENERAL NOTES

- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD CONDITIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF TRENCHING. IF THE CLEARANCES ARE LESS THAN SPECIFIED ON THE PLANS OR 18", WHICHEVER IS LESS, CONTACT SWOPE CONSULTING AT 479-268-6099 PRIOR TO PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL REQUIRED/NECESSARY SHEETING, SHORING, BRACING, AND SPECIAL EXCAVATION MEASURES REQUIRED ON THE PROJECT TO MEET OSHA, FEDERAL, STATE, AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THE DRAWINGS. SWOPE CONSULTING, ACCEPTS NO RESPONSIBILITY FOR THE DESIGN TO INSTALL SAID ITEMS. CALL THE ARKANSAS STATE ONE-CALL UTILITY LOCATION CENTER (1-800-522-6543) BEFORE YOU DIG.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE DAILY RECORD KEEPING OF THE AS-BUILT CONDITION OF ALL OF THE UNDERGROUND UTILITIES AND CONSTRUCTION STAKEOUT ASSOCIATED WITH THE PROJECT.
- ALL WATER LINE AND SEWER LINE INSTALLATION SHALL CONFORM TO THE STANDARDS AND DETAILS OF [CITY] AND ARKANSAS DEPARTMENT OF ENVIRONMENTAL QUALITY SPECIFICATIONS.
- IF APPLICABLE TO THIS PROJECT, THE LAND DISTURBANCE PERMIT MUST BE KEPT ON THE WORK SITE AND SHOWN UPON REQUEST.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL AND LABOR ASSOCIATED WITH THE TESTING OF THE WATER AND SEWER LINES REQUIRED BY CITY OF [CITY]
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY DE-WATERING NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS.
- THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ANY AND ALL COST ASSOCIATED WITH PROVIDING A PROFESSIONAL ENGINEER ON-SITE IF THE CONTRACTOR DOES NOT ADEQUATELY HANDLE STORMWATER MANAGEMENT FACILITIES AND A PROFESSIONAL ENGINEER IS REQUIRED BY A GOVERNING AGENCY DURING THE CONSTRUCTION OF SAID FACILITIES.
- THE OWNER IS RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHTS OF WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES, STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES, INCLUDED IN THIS PLAN. SAID OWNER IS ALSO RESPONSIBLE FOR THE ACQUISITION OF ALL EASEMENTS, RIGHTS, AND/OR RIGHTS OF WAY THAT MAY BE REQUIRED FOR GRADING AND/OR WORK ON ADJACENT PROPERTIES INCLUDED IN THIS PLAN.
- SEDIMENT CONTROL MEASURES MUST BE INSPECTED AND MAINTAINED REGULARLY TO ENSURE THAT THE INTENDED PURPOSES ARE ACCOMPLISHED.
- THE CONTRACTOR SHALL INCLUDE IN HIS CONTRACT PRICE THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL HE DETERMINES IS NOT REQUIRED TO PERFORM THE FINAL GRADING AND LANDSCAPING OPERATIONS.
- BUILDING CONTRACTOR SHALL INSTALL ALL UTILITY SERVICE LINES, METERS, AND OTHER UTILITY APPURTENANCES NECESSARY FOR THE CONNECTION OF BUILDING UTILITIES.
- A MINIMUM OF FORTY EIGHT (48) HOURS PRIOR TO ANY EXCAVATION OR GRADING, CONTRACTOR SHALL CONTACT THE STATE ONE-CALL SYSTEM AT 811TO LOCATE ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF RECORD IMMEDIATELY IN THE EVENT THAT UNDERGROUND UTILITIES ARE NOT SHOWN ON PLAN AND / OR CONFLICT WITH PROPOSED CIVIL WORKS.
- THE CONTRACTOR IS TO BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO NEIGHBORING PROPERTIES DURING CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS PRIOR TO ANY CONSTRUCTION, AND NOTIFY THE ENGINEER OF RECORD IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES THAT MAY OCCUR ON THE DRAWINGS. ALL WORK SHALL DISCONTINUE UNTIL SUCH TIME THAT THE ENGINEER OF RECORD HAS RESOLVED SAID DISCREPANCY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF CONSTRUCTION WASTE MATERIALS INCLUDING BUT NOT LIMITED TO DEMOLITION MATERIALS, DEBRIS, CONTAMINATED SOILS / MATERIALS, ETC. IN A LAWFUL MANNER, AT STATE AND FEDERALLY ACCEPTED DISPOSAL SITES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND CONSTRUCTING IN ACCORDANCE WITH THE STRICTER OF: THESE CONSTRUCTION DOCUMENTS AND ANY ASSOCIATED DETAILS & SPECIFICATIONS; AND ALL MUNICIPALITIES / GOVERNING AGENCIES' STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION.
- NO EVIDENCE IS FOUND ON-SITE OF WETLANDS OR OTHER "WATERS OF THE U.S."
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE THROUGHOUT THE PROJECT SITE. IF ANY DISCREPANCIES ARE FOUND ON PLANS OR IN THE FIELD WHICH WOULD PREVENT POSITIVE DRAINAGE, CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY TO AVOID ADDITIONAL COST TO THE OWNER.

Fire Access
§F503.1.1 Buildings and facilities. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45720 mm) of all portions of the facility or any portion of the exterior wall of the first story of the building as measured by an approved route around the exterior of the building or facility.

EXCEPTION: The code official is authorized to increase the dimension of 150 feet (45 720 where: The building is equipped throughout with an approved automatic sprinkler system installed. Fire apparatus access roads cannot be installed due to location on property, topography, waterways, non-negotiable grades or other similar conditions, and an approved alternative means of fire protection is provided. There are not more than two Group R-3 or Group U occupancies.

§F503.2.1 Dimensions. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), except for approved security gates in accordance with §F503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm).

§FD103.3 Turning radius. The minimum turning radii shall be determined by the code official.

§FD103.4 Dead ends. Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) shall be provided with width and turnaround provisions in accordance with Table FD103.4.

§F503.2.3 Surface. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.

§FD102.1 Access and loading. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to fire department apparatus by way of an approved fire apparatus access road with an asphalt, concrete or other approved driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds (34 050 kg).

Aerial Fire Apparatus Access Roads
§FD105.1 Where required. Buildings or portions of buildings or facilities exceeding 30 feet (9144 mm) in height above the lowest level of fire department vehicle access shall be provided with approved fire apparatus access roads capable of accommodating fire department aerial apparatus. Overhead utility and power lines shall not be located within the aerial fire apparatus access roadway.

§FD105.2 Width. Fire apparatus access roads shall have a minimum unobstructed width of 26 feet (7925 in the immediate vicinity of any building or portion of building more than 30 feet (9144 mm) in

§FD105.3 Proximity to building. At least one of the required access routes meeting this condition shall be located within a minimum of 15 feet (4572 mm) and a maximum of 30 feet (9144 mm) from the building,
and shall be positioned parallel to one entire side of the building.

Fire Lanes
§FD103.6.1 Roads 20 to 26 feet in width. Fire apparatus access roads 20 to 26 feet wide (6096 to 7925 shall be posted on both sides as a fire lane.

§FD103.6.2 Roads more than 26 feet in width. Fire apparatus access roads more than 26 feet wide (7925 to 32 feet wide (9754 mm) shall be posted on one side of the road as a fire lane.

Street Signs and Water Supply
§F501.4 Timing of installation. When fire apparatus access roads or a water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with §F505.2.

§FB105.2 Buildings other than one-and two-family dwellings. The minimum fire flow and flow duration for buildings other than one-and two-family dwellings shall be as specified in Table FB105.1.

EXCEPTION: A reduction in required fire flow of up to 50 percent, as approved, is allowed when the building is provided with an approved automatic sprinkler system installed in accordance with §F903.3.1.1 or §F903.3.1.2 of the International Fire Code. The resulting fire flow shall not be
less than 1,500 gallons per minute (5678 L/min.).

§F505.2 Street or road signs. Streets and roads shall be identified with approved signs. Temporary signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles. Signs shall be of an approved size, weather resistant and be maintained until replaced by permanent signs.

Fire Hydrants
§FC103.1 Fire hydrants available. The minimum number of fire hydrants available to a building shall not be less than that listed in Table FC105.1. The number of fire hydrants available to a complex or subdivision shall not be less than that determined by spacing requirements listed in Table FC105.1 when applied to fire apparatus access roads and perimeter public streets from which fire operations could be conducted.\

Fire Department Connection
§F912.2 Location. With respect to hydrants, driveways, buildings and landscaping, fire department connections shall be so located that fire apparatus and hose connected to supply the system will not obstruct access to the buildings for other fire apparatus. The location of fire department connections shall be approved

§F912.2.1 Visible location. Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official.

§F912.3 Access. Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other object for a minimum of 3 feet (914 mm).

§F912.4 Signs. A metal sign with raised letters at least 1 inch (25 mm) in size shall be mounted on all fire department connections serving fire sprinklers, or fire pump connections. Such signs shall read:

Contact Information:

DEVELOPER / PROPERTY OWNER:
CONTACT: COPE GRACY
MGD DEVELOPMENT LLC
5100 W JB HUNT DRIVE, SUITE 800
ROGERS, AR 72758
PHONE: (479) 530-5060

CIVIL ENGINEER/SURVEYOR
PHIL SWOPE, P.E.
TERRY GING, P.S.
SWOPE ENGINEERING
3511 SE J STREET, SUITE 9
BENTONVILLE, ARKANSAS 72712
479.685.8399 OFFICE
479.250.4285 FAX

COMMUNITY DEVELOPMENT
301 W CHESTNUT
ROGERS, AR 72756
CONTACT: JOHN MCCURDY

CITY OF ROGERS STREET DEPARTMENT
301 W CHESTNUT
ROGERS, AR 72756
CONTACT: FRANKIE GUYLL
(479) 644-5008 PHONE

FIRE DEPARTMENT
201 NORTH FIRST STREET
ROGERS, AR 72756
CONTACT: BJ HYDE
OFFICE: (479) 621-1117

ROGERS WATER UTILITIES
601 SOUTH 2ND STREET
ROGERS, AR 72757
CONTACT: STEPHEN PONDER
(479) 621-1142 OFFICE
STEPHEN.PONDER@RWU.ORG

Utility Information:

GAS COMPANY
BLACK HILLS ENERGY
ATTN: JOSH KNIGHT
1301 FEDERAL WAY
PO BOX 2129
LOWELL, AR 72745
PH: (479) 333-7005
JOSHUA.KNIGHT@BLACKHILLSCORP.COM

TELEPHONE COMPANY
AT&T
ATTN: SCOTT SEAMAN
OR LAYNE RHODES
627 WHITE ROAD
SPRINGDALE, AR 7276
PH: 479-442-1967 (SCOTT)
PH: 479-442-1977 (LAYNE)
SS7513@ATT.COM
LR159@ATT.COM

CENTURYTEL PHONE COMPANY
2601 WAUKESHA ROAD
SILOAM SPRINGS, AR 72761
PH: 479-524-9943
FAX: 479-524-9936
MICHAEL.EDWARDS@CENTURYLINK.COM

CABLE COMPANY
COX COMMUNICATIONS
ATTN: KIP SMITH,
4901 S. 48TH STREET,
SPRINGDALE, AR 72762,
PH: (479) 717-3796
KIP.SMITH@COX.COM

ARKANSAS DOT
ATTN: DOUG MEARS
215 INDUSTRIAL PARK ROAD
PO BOX 610
HARRISON, AR 72602
DOUG.MEARS@AHTD.GOV

ARKANSAS DEPARTMENT OF HEALTH
ATTN: ADAM PARKER
DIVISION OF ENGINEERING, SLOT 37
4815 W MARKHAM
LITTLE ROCK, AR 72205
661-2623 OFFICE
ADAM.PARKER@ARKANSAS.GOV

CARROLL ELECTRIC
ATTN: RYAN BUTLER
PO BOX 329
BENTONVILLE, AR 72712
PH: 479-273-2421 EXT 1415
RBUTLER@CARROLLECC.COM

CERTIFICATIONS:

REVIEW OF THESE PLANS IS LIMITED TO GENERAL COMPLIANCE WITH CITY CODES AND REGULATIONS AND DOES NOT WARRANT THE ENGINEER'S DESIGN OR RELIEVE THE DEVELOPER OF ANY REQUIREMENTS, EVEN IF ERRORS, OMISSIONS, OR ANY INADEQUACIES ARE DISCOVERED AFTER PLAN APPROVAL. THE CITY'S REQUIREMENTS SHALL GOVERN OVER ANY CONFLICTS WITH THE PLANS OR SPECIFICATIONS. ANY CONDITIONS DETERMINED IN THE FIELD WHICH REQUIRE CHANGES SHALL BE SUBJECT TO FURTHER REVIEW AND CORRECTIVE ACTION.

CIVIL SHEET LIST

COVER SHEET	C1.0
DEMOLITION/SITE PLANS	C1.1
UTILITY/GRADING PLANS	C2.0
LANDSCAPE PLAN	C3.0
DETAILS	C4.0-C4.3

Parcel # 02-02536-000
02-02537-000
02-01356-000

THIS DRAWING IS "PRELIMINARY - NOT FOR CONSTRUCTION" UNTIL ABOVE SEAL HOLDER ACKNOWLEDGES THE CANCELLATION OF THIS DISCLAIMER BELOW.

DATE

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No.11426
PHILLIP R. SWOPE
7/1/2019

CITY APPROVAL STAMP

CERTIFICATE OF AUTHORIZATION
SWOPE ENGINEERING
No. 2831
ARKANSAS

811
Know what's below.
Call before you dig.

*** CAUTION ***

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SWOPE ENGINEERING
7 Halsted Circle
Suite #210
Rogers, Arkansas 72756
479.685.8399 office
479.250.4285 fax

Civil Engineering
Construction Management
Municipal Engineering
Land Planning
Land Surveying

DATE: 3/31/19
REVISED: XX-XX-XXXX
CITYVIEW # --------

C0.0

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Demolition Notes:

- Contractor shall be responsible for removal of the Existing Structures, Related Utilities, Paving, Underground Storage Tanks and any other existing improvements as noted. Contractor is to remove and dispose of all debris, rubbish, and other materials resulting from previous and current demolition operations. Disposal shall be in accordance with all Local, State and/or Federal Regulations Governing such operations.
- The General Contractor shall take all precautions necessary to avoid property damage to adjacent properties during the construction phases of this project. The contractor will be held solely responsible for any damages to the adjacent properties occurring during the construction phases of this project.
- The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied upon as being exact or complete. The contractor must call the appropriate utility company at least 48 hours prior to any excavation to request exact field location of utilities. It shall be the contractor's responsibility locate all existing utilities which conflict with the proposed improvements shown on the plans, whether shown or not shown at no additional cost to the owner.
- Contractor shall remove all buildings, pavement, curbs, trees (save and protect), light poles, utility poles and lines from the site up to the limits of construction or the property line unless otherwise noted. Contractor shall cap/plug any water, gas, sanitary sewer or storm sewer line at the property line. Electric and Telephone lines whether overhead or underground shall be terminated at the closest utility pole or pedestal to the property line or per the Designated Utility Company's Requirements.
- It is the Contractor's responsibility to remove any and all asbestos or any other hazardous materials from the site per government guidelines and shall dispose of the hazardous materials in strict accordance to the guidelines.
- Contractor shall ensure that adequate measures are taken prior to the removal of any existing storm water / sanitary sewer systems so that the discharge of water remains uninterrupted both on and off the site.
- Contractor shall ensure that any utility service to the site that shall be removed will not interrupt service to the neighboring property owners. It is the contractors responsibility to coordinate with the neighboring property owners if service will be interrupted.

Site Information:

PROPERTY INFORMATION		
Gross Site Area:	XX sf	XX acres
Proposed Dedicated R.O.W:	XX sf	XX acres
Net Site Area:	XX sf	XX acres
Zoning:	X-X Commercial/Residential	
ZONING REGULATIONS		
Front Yard:		XX ft
Rear Yard:		XX ft
Side Yard:		X ft
Side Yard (Street Side):		XX ft

Flood Information:

This property does not lie in Zone 'A/AE' (Special Flood Hazard Areas Inundated by 100-year Flood) as determined from the F.I.R.M. maps of Benton County, Arkansas, and Incorporated Areas, Map Number O5007C0235K, Effective Date September 28, 2007.

Proposed Features:

Property Line
Onsite Property Line
Offsite Property Line
Right-Of-Way Line
Setback Line
Easement Line
Zoning Limits
Street / Drive Centerline
Curb And Gutter
(See Site Plan For Size)
Thickened Edge Of Pavement
Edge Of Gravel
Firelane Striping
Asphalt Pavement (See Detail Sheet For Pavement Sections)
Concrete Pavement (See Detail Sheet For Pavement Sections)
Concrete Sidewalk
(See Site Plan For Dimensions)

General Fence Line
(See Plan For Type)
Chain Link Fence Line
Board Fence Line
Parking Counter

Storm Catch Basin(s)
Retaining Wall

See UTILITY PLAN for More Information

Gate Valve
Fire Hydrant Assembly
Water Meter - Single
Water Meter - Double
Sanitary Sewer Manhole
Utility Pole
Light Pole

Note:
* See Survey For Existing Features Legend.
* See Cover Sheet For Abbreviation List.

GENERAL NOTES

- Dimensions are measured from the Back of Curb, the Edge of Pavement, the Edge of Sidewalk the Face/Corner of the Building(s) or the Center/End of Stripe.
- All radii shall be 4 foot at Face of Curb unless otherwise specified.
- Layout of Site Plan is based on and limited to survey information.
- All Curb & Gutter shall be Type "A" 24" wide per detail sheet.
- All Pavement Marking shall be applied in accordance with the requirements outlined in the most current edition of the "Manual on Uniform Traffic Control Devices" (MUTCD).
- All Signs, Traffic Control Devices, etc. shall follow the guidelines of the MUTCD.
- The Contractor shall refer to the Architectural drawings for Building Floor plans and Dimensions, Wall Sections, Door Openings, Building Utility Entrance Points, etc. The Contractor shall immediately notify the Architect and Engineer in the event that the Civil Site Plans Building Layout does not match the Architectural drawings.
- All handicap spaces shall be striped / marked in accordance with the handicap striping detail.
- All pavement indicated shall be standard duty bituminous pavement unless otherwise noted on plan. The pavement shall be constructed in accordance with the pavement section detail.
- All ramps shall have detectable truncated dome panels per A.D.A. and city standards and the detail sheet

CITY APPROVAL STAMP

GRAPHIC SCALE
0 20' 40'
1 inch = 20 feet

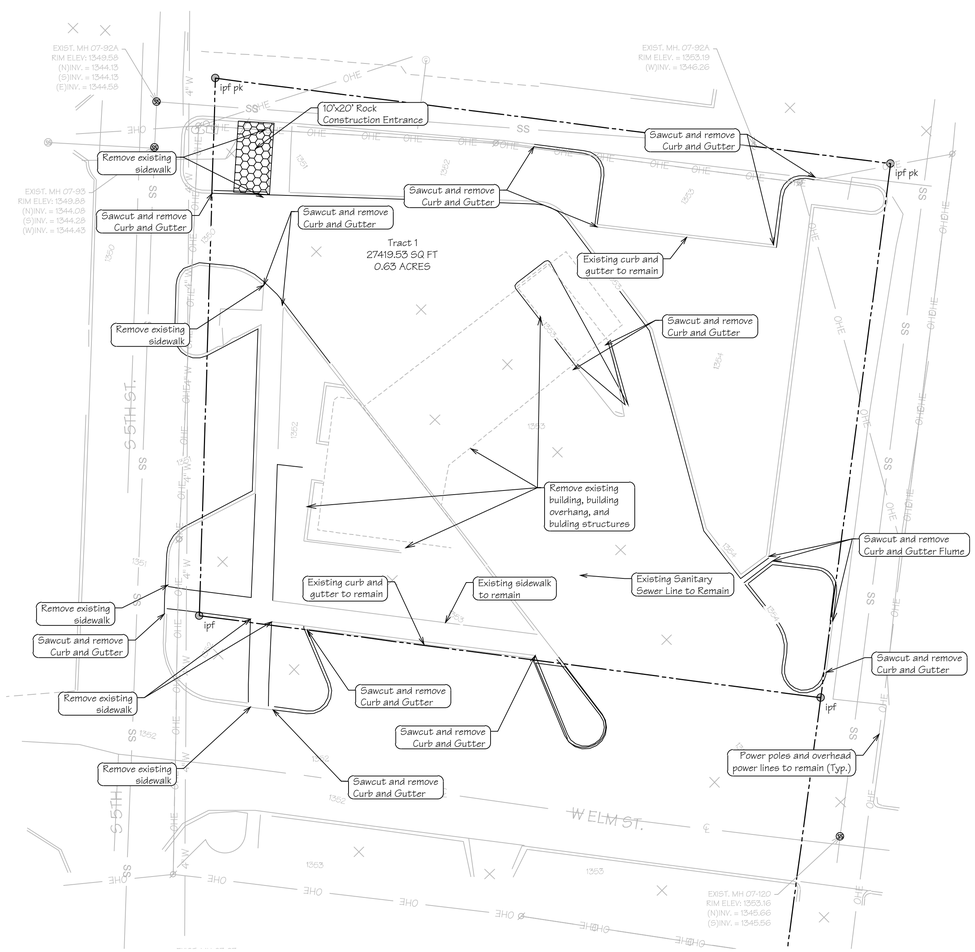
NO EXISTING SEPTIC SYSTEMS OR WELLS ARE PRESENT ON THIS SITE.

NO KNOWN WETLANDS EXIST ON THIS SITE.

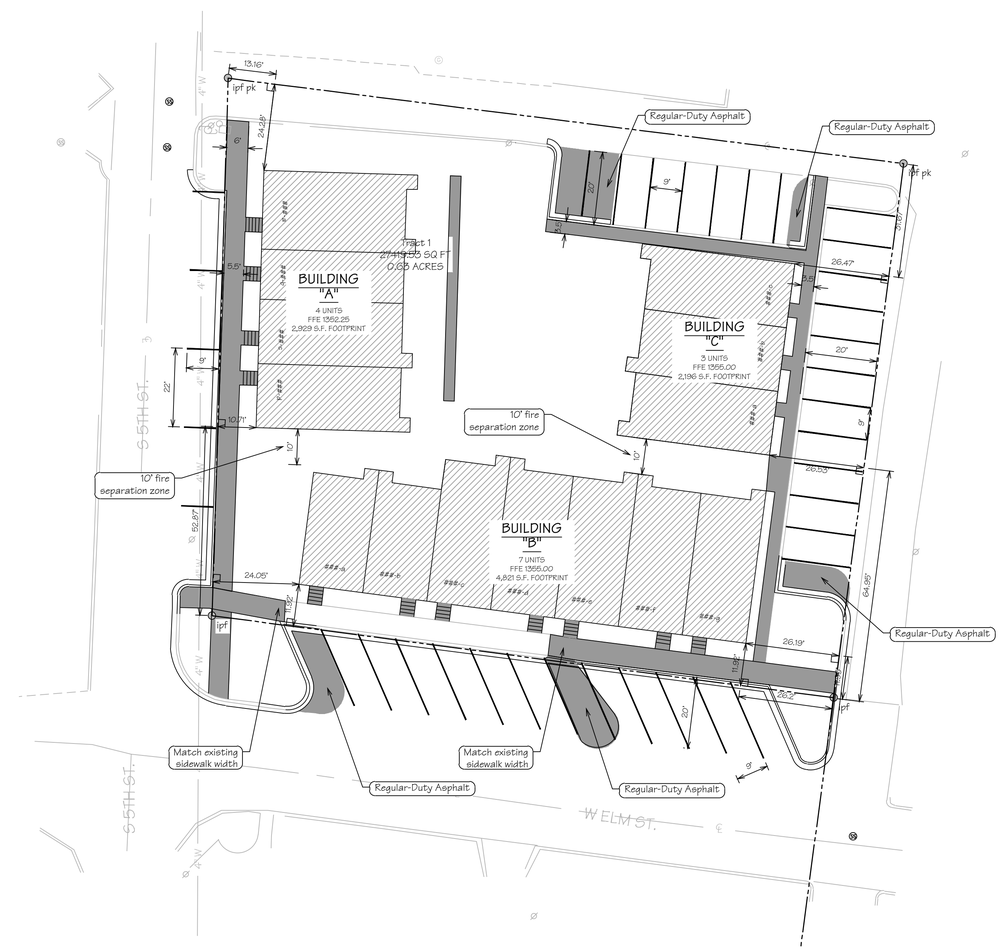
811
Know what's below.
Call before you dig.

NOTES

- Unless Otherwise Noted On The Plat, All Houses Minimum Finished Floor Elevation Shall Be A Minimum Of Twelve (12) Inches Above The Highest Curb Elevation In Front Of The Home/Building.
- Where Proposed Easement Is Larger Than Building Setback A 2' Building Setback Line Is Required Off Of Proposed Easement (As Shown on Plans).
- Lot Developer/Builder shall be responsible for replacement in kind of any existing sidewalk or ADA Ramps damaged during construction.
- The Developer/Contractor will be responsible for all ADA Ramp construction and all common property sidewalk construction.
- Lot Developer/Builder shall be responsible for construction of sidewalks prior to Certificate of Occupancy, per City of [CITY] Specifications and the American Disability Act, (5' green space BOC and 5' sidewalk on all street frontages).
- Interior Streets on XX-ft Dedicated R/W, XX-ft BOC, XX-inch HMA over XX-inch Class 7 base and XX-inch concrete Curb/Gutter.



DEMOLITION PLAN



SITE PLAN

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No.11426
PHILLIP R. SWOPE

Demolition and Site Plans

Large Scale Development
5th + Elm Townhomes
105 South 5th St.
Rogers, AR
Cope Gracy/ 479-530-5060 / cope@copegracy.com

NO.	DATE	REVISION

SWOPE ENGINEERING
7 Halsted Circle
Suite #210
Rogers, Arkansas 72756
479.685.8399 office
479.250.4285 fax
Civil Engineering
Construction Management
Municipal Engineering
Land Planning
Land Surveying

DRAWN BY: XXX	JOB NUMBER: XX-XXXX
SUBMITTAL DATE: 07/01/2019	SCALE: 1" = XX'
DRAWING NAME: 18-217pr.dwg	
SHEET NUMBER: C1.0	

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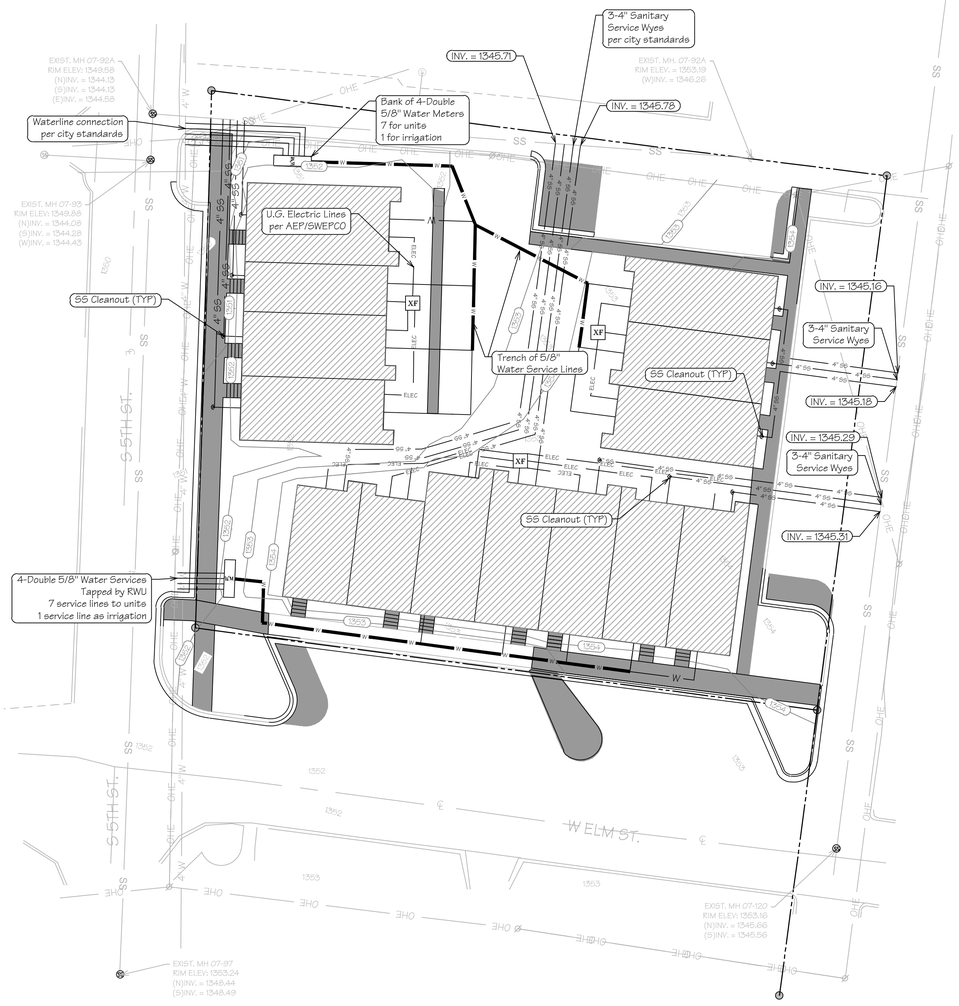
Utility Notes:

GENERAL:

- The contractor shall contact "One-Call" and / or the appropriate utility company a minimum of 48 hours prior to excavation in areas of existing utilities. The contractor is responsible for any damage to underground utility lines and shall make every effort necessary to coordinate with the appropriate utility company for repair of the utility.
- A minimum of 48 hours prior to start of construction / installation of any utilities, the contractor shall be responsible for contacting the local municipality / governing agency or utility to schedule a pre-construction meeting as required by said municipality / agency / utility. No work shall occur on the site prior to the pre-construction meeting. contractor shall also be responsible for obtaining any necessary state / local permits for construction.
- Water and Storm lines shall have a minimum of 18" vertical separation and 10'-0" of horizontal separation from the sanitary sewer lines.
- All water and sewer force main fitting shall be restrained through the use of thrust blocking per the detail sheets or approved equivalent anchors.
- Contractor shall refer to architectural or plumbing drawings for utility connection locations for the building.
- Dimensions are to the face / corner of the building, back of curb, and centerline of pipe and fitting.
- Contractor shall coordinate disruption of utility service with all surrounding / adjacent property owners.
- Existing utilities shown on plans have been shown in their approximate locations per available information.
- Contractor shall obtain authorization of the local municipalities prior to connection to any existing water lines, sewer lines, or sewer manholes. Contractor shall avoid spillage of any raw materials from the sewer system. In the event that a spill occurs, the contractor shall provide all equipment necessary to repair the sewer line, and remove all spilt sewage including contaminated soils per the requirements of the local municipality.
- Proposed utilities that are to be buried within the same trench shall be coordinated with and approved by the appropriate utility company.
- Contractor shall field verify depth and location of existing utilities prior to construction of proposed utilities.
- Fire hydrants shall be installed in accordance with the standards / specification of the local water utility company and local municipality.
- Proposed utilities shall be constructed in accordance with the standards / specifications of the governing agency.
- Contractor shall coordinate with appropriate utility company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
- Utility lines less than 12 kv shall be relocated underground as required by the local municipality.
- Contractor shall coordinate with appropriate utility companies for routing of gas, telephone, cable, and electricity.
- Coordinate with Centerton Utilities for making the hot taps. Centerton Utilities does all hot taps on our system.
- ALL meter cans, valves, fire hydrants, manholes MUST be installed at finished grade. NO valves within the sidewalks.
- All meter cans and other appurtenances must be level with finished grade. This is finished grade when home is built.
- Centerton Utility personnel is to observe all connections to the existing sewer system.



UTILITY PLAN

Proposed Features:

- Property Line
- Onsite Property Line
- Offsite Property Line
- Right-of-way Line
- Easement Line
- Street / Drive Centerline
- Curb And Gutter (See Site Plan For Size)
- Thickened Edge Of Pavement
- Edge Of Gravel
- Asphalt Pavement (See Detail Sheet For Pavement Sections)
- Concrete Pavement (See Detail Sheet For Pavement Sections)
- Concrete Sidewalk (See Site Plan For Dimensions)
- General Fence Line (See Plan For Type)
- Chain Link Fence Line
- Board Fence Line
- Storm Catch Basin(s)
- Storm Pipe (See Grading Plan For Type And Size)
- Retaining Wall
- See Utility Plan For Line Sizes
- Water Line
- Tee, Cross, Bends, Gate Vale & Reducer
- Fire Hydrant & Assembly
- Single Water Meter
- Double Water Meter
- Sanitary Sewer Force Main
- Sanitary Sewer Line
- Sanitary Sewer Service
- Sanitary Sewer Manhole
- Gas Line
- Overhead Electric Line
- Underground Electric Line
- Cable Television Line
- Fiber Optic Line
- Overhead Telephone Line
- Underground Telephone Line
- Utility Pole
- Light Pole

Note:

- Only symbols that appear on this sheet are shown in this legend.
- See Survey For Existing Features Legend.
- See Cover Sheet For Abbreviation List.

Proposed Features:

- Property Line
- Onsite Property Line
- Offsite Property Line
- Right-of-way Line
- Easement Line
- Street / Drive Centerline
- Curb And Gutter (See Site Plan For Size)
- Thickened Edge Of Pavement
- Edge Of Gravel
- Asphalt Pavement (see Detail Sheet For Pavement Sections)
- Concrete Pavement (see Detail Sheet For Pavement Sections)
- Concrete Sidewalk (See Site Plan For Dimensions)
- General Fence Line (See Plan For Type)
- Chain Link Fence Line
- Board Fence Line
- Storm Catch Basin(s)
- Ditch Line
- Fault Line / Grade Change
- Storm Pipe (See Grading Plan For Type And Size)
- Retaining Wall
- See Utility Plan For Line Sizes
- Water Line
- Tee, Cross, Bends, Gate Vale & Reducer
- Fire Hydrant & Assembly
- Single Water Meter
- Double Water Meter
- Sanitary Sewer Force Main
- Sanitary Sewer Line
- Sanitary Sewer Manhole
- Utility Pole
- Light Pole

Note:

- See Survey For Existing Features Legend.
- See Cover Sheet For Abbreviation List.

Grading Notes:

POST-CONSTRUCTION:

- Contractor shall scarify any area to receive top soil to a min. depth of 3".
- All unpaved disturbed areas shall be graded smooth and receive a minimum of 4" of topsoil. The area shall be seeded and / or sodded in accordance with the landscape plan. The area shall be watered until a hardy cover of grass has been established and 70% of the site has been stabilized in accordance with ADEQ'S Construction General Permit (ARR150000).
- Once the site has reached final stabilization in accordance to the requirements set forth in adeq's construction general permit, the contractor shall file a notice of termination.
- Sod is required for entire Detention Pond area.

Grading Notes:

PRE-CONSTRUCTION:

- Prior to start of site grading, erosion control measures shall be installed in accordance to the erosion control plan. These erosion control measures, as a minimum, shall include all silt fencing, temporary sediment ponds, temporary construction entrance, and any other measures necessary to ensure that sediment does not leave the site.
- Contractor shall notify the appropriate Utility Companies and the State One-Call System a minimum of 48 hours prior to any excavation for the location of all underground utility lines that will be affected by this development. Please note that existing utilities noted on plan have been located with all available information and that exact location of utility lines may not be accurate.
- A pre-construction meeting shall be held on site once ALL Erosion Control Measures have been installed and prior to any site grading / construction / demolition.

GENERAL:

- Contractor shall install/use all required equipment so as to comply with all safety standards dictated by OSHA, Federal, State, and Local Regulations.
- Contractor shall coordinate with appropriate Utility Company as listed on the cover sheet for adjustment of utility lines affected by cut and fill.
- Areas to be graded shall be cleared and grubbed so as to remove all organic material including but not limited to vegetation, trees, roots, debris or other materials that would affect the stability of the fill. If uncertainty exists as to the suitability of any material, the contractor shall have a Registered Geotechnical Engineer make the final determination.
- Contractor shall ensure that the fill material be free of organic materials, frozen materials, muck, highly compressible materials, rocks, rubbish, timber, brush, stumps, building debris, and other materials that would negatively affect the fill material.
- Contractor shall stock pile and maintain all good top soil removed from areas to be graded and filled for use in final grading all critical / unpaved areas.
- Contractor shall proof roll subgrade of all areas to be paved prior to installation of paving materials. Any soft areas shall be removed and replaced with select fill and compacted as noted in the pavement section shown on the detail sheet.
- Contractor shall employ a Geotechnical Engineering / Inspection Firm registered with the State of Arkansas for inspection and testing of subgrade for proper compaction (95% standard proctor).

GRAPHIC SCALE

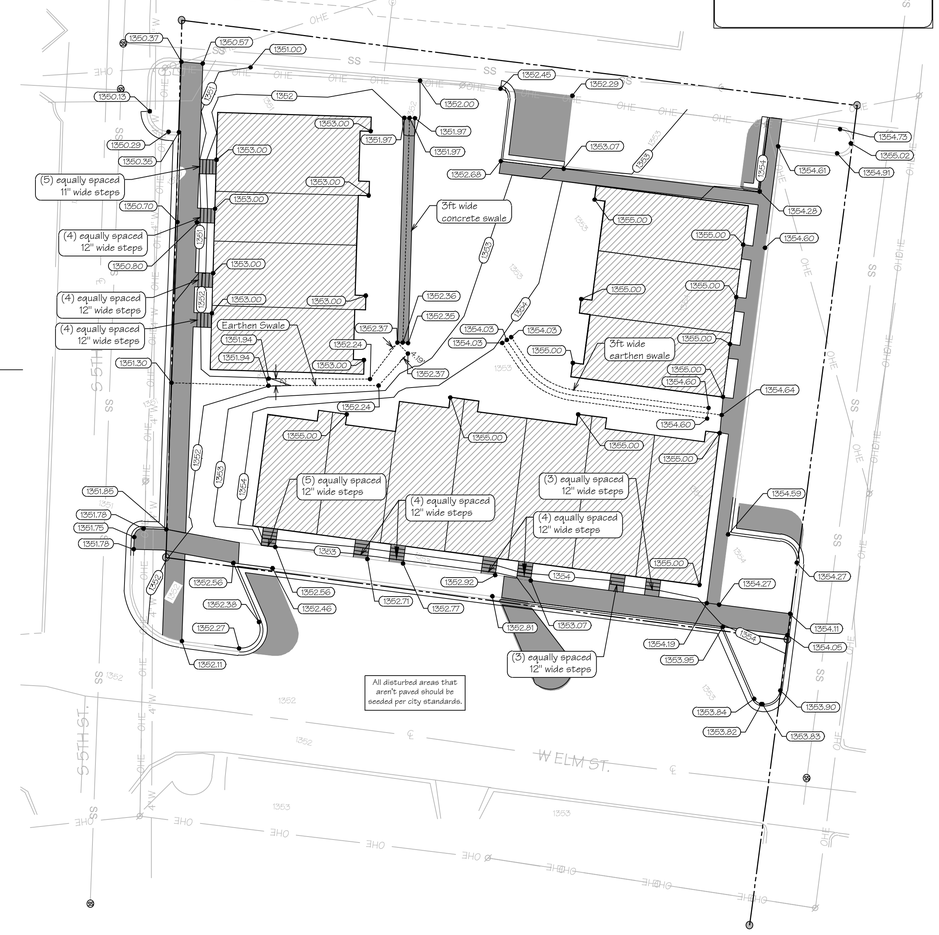
0 20' 40'

1 inch = 20 feet

NO EXISTING SEPTIC SYSTEMS OR WELLS ARE PRESENT ON THIS SITE.

811 Know what's below. Call before you dig.

CITY APPROVAL STAMP



GRADING PLAN

STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER No.11426 PHILLIP R. SWOPE

Utility and Grading Plans

Large Scale Development

5th + Elm Townhomes
105 South 5th Street
Rogers, AR

Cope Gracy/ 479-530-5060 / cope@copegracy.com

NO.	DATE	REVISION

SWOPE ENGINEERING

7 Halsted Circle
Suite #210
Rogers, Arkansas 72756
479.663.8399 office
479.230.4285 fax

Civil Engineering
Construction Management
Municipal Engineering
Land Planning
Land Surveying

DRAWN BY: XXX	JOB NUMBER: XX-XXXX
SUBMITTAL DATE: 07/01/2019	SCALE: 1" = XX'
DRAWING NAME: 18-217pr.dwg	
SHEET NUMBER: C2.0	

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EXISTING LEGEND

- FOUND REBAR/PIPE (AS NOTED)
- STORM SEWER MANHOLE
- SANITARY SEWER MANHOLE
- FIRE HYDRANT
- WATER METER
- WATER VALVE
- ELECTRIC METER
- ELECTRIC RISER
- AIR COND. UNIT
- CLEAN-OUT
- LIGHT POLE SINGLE LIGHT
- SIGN POST
- FLAG POLE
- ROOF DRAIN
- SS — SANITARY SEWER LINE
- OH — OVERHEAD LINE
- WOOD FENCE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- SETBACK & EASEMENT LINE
- EASEMENT LINE
- 1293 — CONTOUR LINE

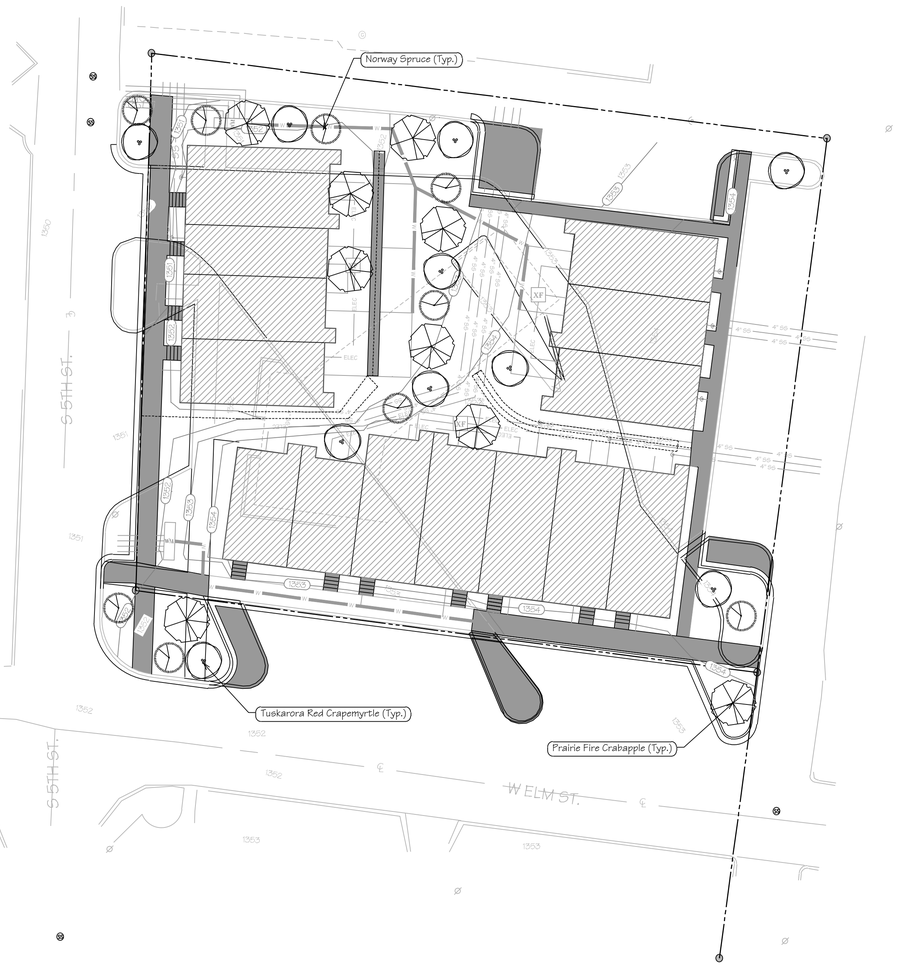
LANDSCAPE REQUIREMENTS:
TOTAL SITE AREA = 27,443
1 PLANT UNIT PER 1000 S.F. UP TO 2 ACRES.

TOTAL SITE AREA: 27,443 S.F. OR 0.63 ACRES
27,443 S.F. / 1000 = 28 PLANT UNITS
28 PLANT UNITS REQUIRED

0 EXISTING TREES SAVED
28 PLANT UNITS INSTALLED
28 TOTAL PLANT UNITS PROPOSED

PLANT SCHEDULE

NO.	SYM.	COMMON NAME Botanical Name	SIZE/SPACING/ REMARKS
9		NORWAY SPRUCE Picea abies	8'-10' B&B AS SHOWN
9		PRAIRIE FIRE CRABAPPLE Malis 'Prairie Fire'	2" CAL. / B&B AS SHOWN
10		TUSKARORA RED CRAPEMYRTLE Lagerstromia indica' Tuscarora Red'	8-10' MULTI-TRUNK / B&B AS SHOWN



LANDSCAPE PLAN NOTES:

1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED FOR THE COMPLETE INSTALLATION OF LANDSCAPE.

2. ALL PLANT MATERIAL SHALL BE NURSERY GROWN. PLANT MATERIAL SIZES AND GRADING SHALL COMPLY WITH THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.

3. ALL PLANT MATERIAL SHALL BE HEALTHY AND FREE FROM ALL VISIBLE SIGNS OF DISEASE OR PEST INFESTATION.

4. CONTRACTOR SHALL ASCERTAIN LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION. PRIOR TO COMMENCING WITH ANY WORK, CONTACT 1-800-482-8998.

5. NO CHANGES TO APPROVED PLANT SCHEDULE WILL BE ALLOWED WITHOUT THE APPROVAL OF THE CITY OF ROGERS AND THE OWNER'S REPRESENTATIVE.

6. ALL TREES SHALL BE INSTALLED, MULCHED, GUYED AND STAKED PER THE DETAILS. ALL SHRUBS SHALL BE INSTALLED AND MULCHED PER THE DETAILS.

7. HARDWOOD MULCH, A MINIMUM OF 2" DEEP, SHALL BE APPLIED TO ALL PLANTING BEDS SHOWN ON THIS PLAN.

8. THE CONTRACTOR SHALL PROVIDE A ONE YEAR MINIMUM WARRANTY FOR ALL PLANT MATERIALS AND INSTALLATION FROM THE DATE OF ACCEPTANCE.

9. THE CONTRACTOR SHALL SPOIL ANY EXCESS TOPSOIL LOCATED ON THE SITE THAT IS NOT REQUIRED TO PERFORM LANDSCAPE OPERATIONS. IF SUFFICIENT TOPSOIL IS NOT PRESENT ON SITE, THE CONTRACTOR SHALL IMPORT TOPSOIL TO THE SITE IN ORDER TO COMPLETE THE LANDSCAPE OPERATIONS. THE CONTRACTOR SHALL PERFORM A SOIL TEST ON THE EXISTING AND IMPORTED TOPSOIL AND APPLY LIME AND FERTILIZER AS RECOMMENDED BY THE TESTING AGENCY.

10. IN ALL PLANTING BEDS, SOD SHALL BE REMOVED ENTIRELY AND SOIL SHALL BE AMENDED WITH TWELVE INCHES OF TOPSOIL AND A MINIMUM OF SIX INCHES OF COMPOST TILLED INTO THE BEDS.

11. IRRIGATION TO BE DESIGNED AND INSTALLED ON SITE WITH HUNTER PGP ROTARY HEADS, HUNTER "S" TYPE SPRAY HEADS, HUNTER ICC 40 STATION CONTROLLER, RAIN AND FREEZE SENSORS, RAINBIRD PROFESSIONAL SERIES VALVES. EXISTING IRRIGATION IN THE LAWN AREAS SHALL BE RELOCATED OUT OF PROPOSED BED AREAS. ALL PROPOSED BED AREAS SHALL HAVE IRRIGATION ADDED, ADDITIONAL ZONES WILL BE REQUIRED AND POSSIBLY A LARGER CONTROL BOX.

12. ALL LAWN AREAS ARE TO BE IRRIGATED ON SEPARATE STATIONS AS LANDSCAPE BEDS.

13. CONTRACTOR SHALL PROVIDE A THREE YEAR WARRANTY ON THE IRRIGATION SYSTEMS PARTS AND LABOR.

SODDING NOTE:

ALL DISTURBED AREAS UNDER A 10% SLOPE SHALL BE TOPSOILED TO A MINIMUM DEPTH OF 4", FERTILIZED AT A RATE OF 250 POUNDS PER ACRE AND SODDED WITH TURF-TYPE FESCUE. SOD LOCATED ON SLOPES 15% OR GREATER SHALL HAVE THE EDGES PINNED. THE CONTRACTOR SHALL WATER AND MAINTAIN THE GRASS UNTIL A HEALTHY PERMANENT STAND IS ESTABLISHED.
AREAS TO BE SODDED ARE DESIGNATED BY THE DOTTED HATCH AS SHOWN IN THE LEGEND ON THE LANDSCAPING PLAN.

GRAPHIC SCALE
0 20' 40'
1 inch = 20 feet

NO EXISTING SEPTIC SYSTEMS OR WELLS ARE PRESENT ON THIS SITE.

811
Know what's below.
Call before you dig.

CITY APPROVAL STAMP

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No.11426
PHILLIP R. SWOPE

Landscape Plan
Large Scale Development
5th + Elm Townhomes
105 South 5th Stteet
Rogers, AR
Cope Gracy/ 479-530-5060 / cope@copegracy.com

NO.	DATE	REVISION

SWOPE ENGINEERING
7 Halsted Circle
Suite #210
Rogers, Arkansas 72756
479.685.8399 office
479.250.4285 fax
Civil Engineering
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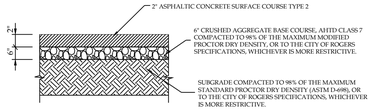
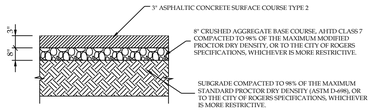


REGULAR DUTY ASPHALT PAVEMENT

(N.T.S.)



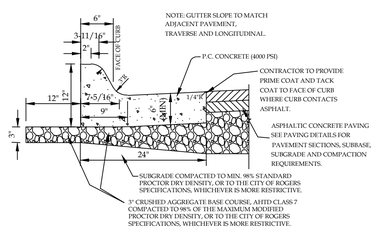
HEAVY DUTY ASPHALT PAVEMENT

(N.T.S.)

NOTES:

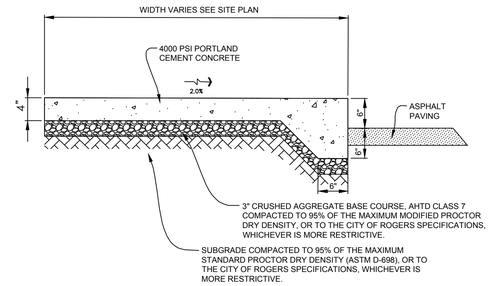
PAVEMENT SUBGRADE SHALL CONSIST OF NATIVE, SILTY LEAN CLAY OR LEAN CLAY WITH SILT SOILS, OR ENGINEERED FILL MATERIAL. NATIVE SOILS SHALL BE OVER EXCAVATED AND REPLACED WITH 8 INCHES OF SELECT FILL. SELECT FILL SHALL CONSIST OF APPROVED LOW VOLUME CHANGE MATERIAL HAVING AN EFFECTIVE PLASTICITY INDEX OF 18 OR LESS AND CONTAINING AT LEAST 15 PERCENT FINES (MATERIAL PASSING THE NO. 200 SIEVE, BASED ON DRY WEIGHT). LOCALLY AVAILABLE CLAYEY GRAVEL ("HILLSIDE") MATERIALS CAN BE USED AS FILL, BUT SHOULD BE TESTED AND APPROVED PRIOR TO THEIR USE. SOILS CONTAINING ORGANIC MATTER OR DEBRIS SHOULD NOT BE USED AS FILL. SILTY SOILS, INCLUDING SOILS MEETING UNIFIED CLASSIFICATION GROUP SYMBOLS ML, SM AND CL-ML SHALL NOT BE USED. EXPOSED SUBGRADE SHALL BE PROOF-ROLLED WITH A RUBBER-TIRED CONSTRUCTION VEHICLE SUCH AS A LOADED SCRAPER OR TANDEM-AXEL DUMP TRUCK WEIGHING AT LEAST 25 TONS. THE SUBGRADE SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 9 INCHES. MOISTURE CONTENT SHALL BE AT THE MATERIAL'S MAXIMUM LABORATORY DRY DENSITY DETERMINED IN ACCORDANCE WITH ASTM SPECIFICATION D-698 USING STANDARD PROCTOR PROCEDURE. SCARIFIED SUBGRADE SHALL THEN BE COMPACTED TO 95 PERCENT MAXIMUM LABORATORY DRY DENSITY. SEE GEOTECHNICAL REPORT FOR WET WEATHER CONDITIONS.

ASPHALTIC CONCRETE SURFACE COURSE MIXTURES SHALL CONFORM TO SECTION 407 OF THE ARKANSAS STATE HIGHWAY AND TRANSPORTATION DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION. THE ASPHALTIC CONCRETE SURFACE COURSE SHALL BE COMPACTED TO A MINIMUM DENSITY EQUAL TO 97 PERCENT OF ASTM SPECIFICATION D 1559 WITH A MINIMUM MARSHALL STABILITY OF 1,800 POUNDS.



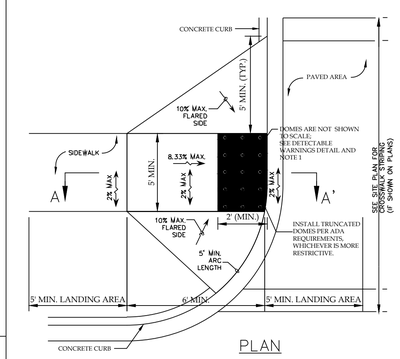
6" TYPE "A" CONCRETE CURB & GUTTER

N.T.S.

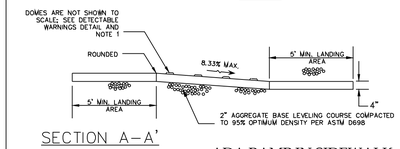


TURNDOWN SIDEWALK

N.T.S.



PLAN



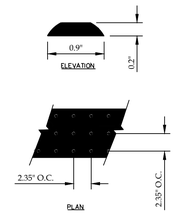
SECTION A–A'

ADA RAMP IN SIDEWALK

N.T.S.

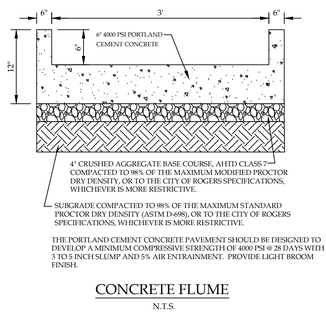
NOTES:

1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.
2. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
3. CONSTRUCT PER A.D.A. STANDARDS.
4. REFER TO PLANS FOR ADJACENT SLOPES.
5. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1:50.



NOTE: PREFABRICATED PANELS PER A.D.A. ACCESSIBILITY GUIDELINES SECTION 4.29.2 & A4.29.2 SHALL BE USED.

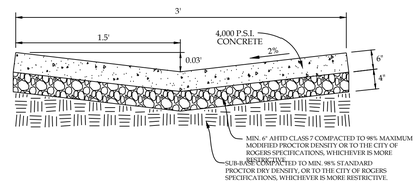
DETECTABLE WARNINGS DETAIL



THE PORTLAND CEMENT CONCRETE PAVEMENT SHOULD BE DESIGNED TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI @ 28 DAYS WITH A 3 TO 5 INCH SLUMP AND 5% AIR ENTRAINMENT. PROVIDE LIGHT BROOM FINISH.

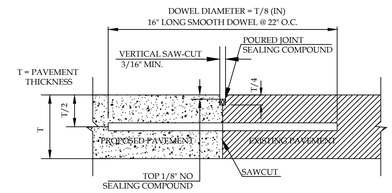
CONCRETE FLUME

N.T.S.



3' CONCRETE TRICKLE CHANNEL DETAIL

(N.T.S.)



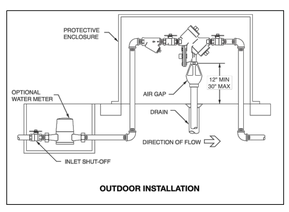
NOTE:

1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

DOWEL CONNECTION AT EXISTING PAVEMENT

N.T.S.

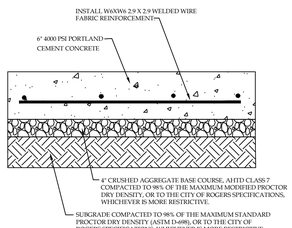
CITY APPROVAL STAMP



3/4" IRRIGATION METER & RPZA:
AMES 200B R10, "DC"-TYPE, WITH "H" ORIENTATION

ACCEPTABLE MODELS:
WILKINS 975XL
WATTS 009QT

BACKFLOW PREVENTER INSTALLATION



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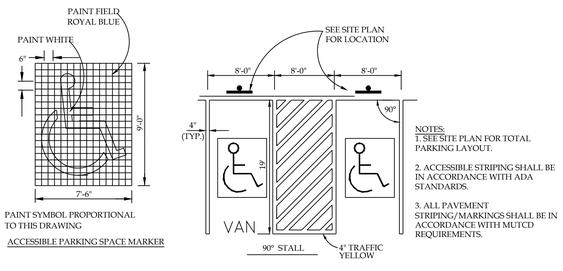
CONCRETE PAVEMENT

N.T.S.

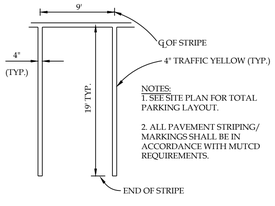


NOTES:

1. SEE SITE PLAN FOR TOTAL PARKING LAYOUT.
2. ACCESSIBLE STRIPING SHALL BE IN ACCORDANCE WITH ADA STANDARDS.
3. ALL PAVEMENT STRIPING/MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD REQUIREMENTS.

VAN ACCESSIBLE PARKING STRIPING DETAILS

(N.T.S.)

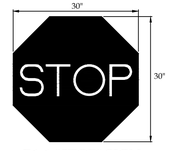


NOTES:

1. SEE SITE PLAN FOR TOTAL PARKING LAYOUT.
2. ALL PAVEMENT STRIPING/MARKINGS SHALL BE IN ACCORDANCE WITH MUTCD REQUIREMENTS.

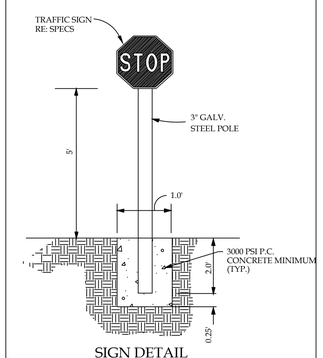
PARKING SPACE STRIPING

(N.T.S.)



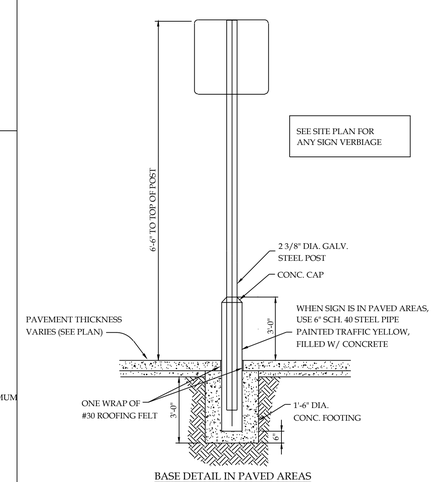
R1-1 "STOP" SIGN

N.T.S.



SIGN DETAIL

N.T.S.



BASE DETAIL IN PAVED AREAS

SIGN BASE

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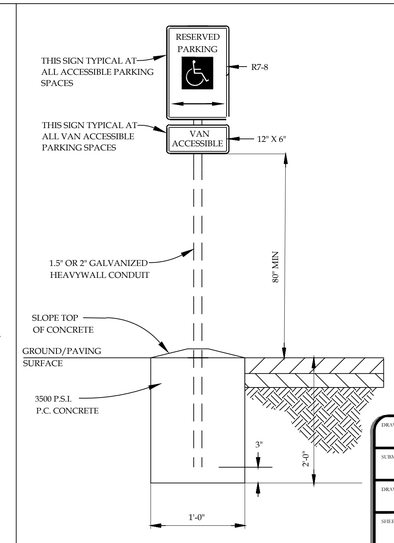

ACCESSIBLE PARKING SIGN

N.T.S.

STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER No.11426 PHILLIP R. SWOPE

Site Details

Large Scale Development

5th + Elm Townhomes
105 South 5th Street
Rogers, AR

Cope Gracy/ 479-530-5060 / cope@copegracy.com

NO.	DATE	REVISION

SWOPE ENGINEERING
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Suite #210
Rogers, Arkansas 72756
479.685.8399 office
479.230.4285 fax
Civil Engineering
Construction Management
Municipal Engineering
Land Planning
Land Surveying

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XXX	XX-XXXX
SUBMITTAL DATE: 07/01/2019	SCALE: 1" = XX'
DRAWING NAME: 18-217pr.dwg	
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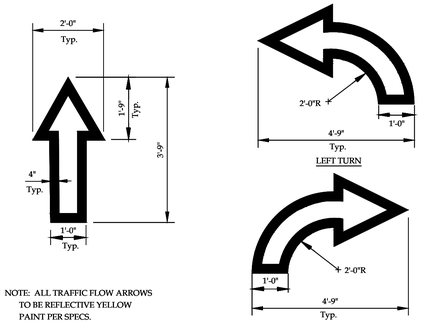
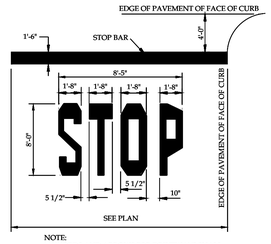


NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE YELLOW PAINT PER SPECS.

TRAFFIC FLOW ARROW

N.T.S.



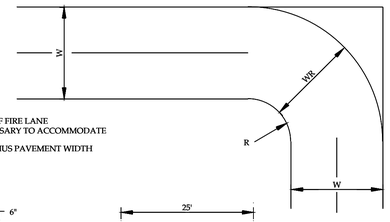
NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS
2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.

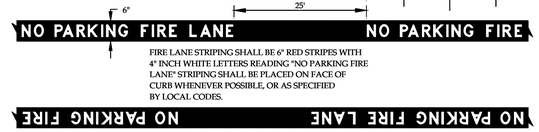
STOP BAR

N.T.S.

W	R	WR
20'	30'	30'MIN.
25'	20'	30'MIN.
30'	10'	30'MIN.

W = WIDTH (feet) OF FIRE LANE
R = RADIUS NECESSARY TO ACCOMMODATE FIRE VEHICLES
WR = TURNING RADIUS PAVEMENT WIDTH

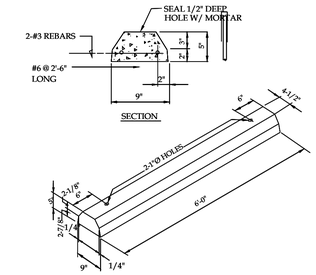




FIRE LANE STRIPING SHALL BE 6" RED STRIPES WITH 4" INCH WHITE LETTERS READING "NO PARKING FIRE LANE" STRIPING SHALL BE PLACED ON FACE OF CURB WHENEVER POSSIBLE, OR AS SPECIFIED BY LOCAL CODES.

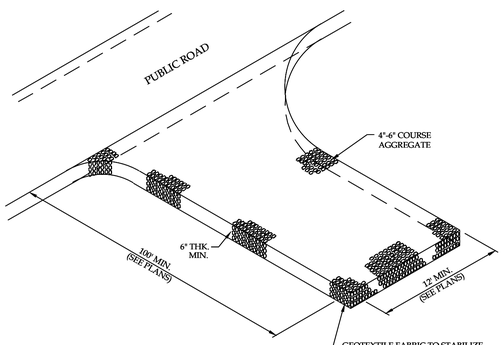
FIRE LANE MARKING

N.T.S.



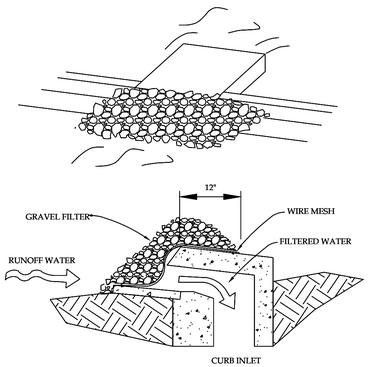
PRECAST CONCRETE WHEEL STOP

N.T.S.



CONSTRUCTION ENTRANCE GRAVEL "MUD-MAT"

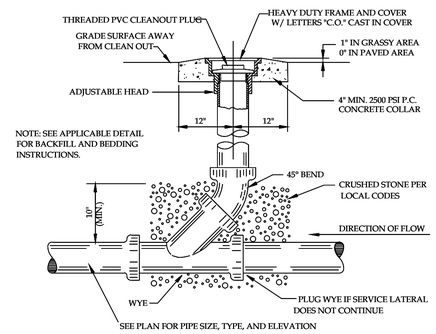
N.T.S.



* GRAVEL SHALL BE TYPE 1 OR TYPE 2.
THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

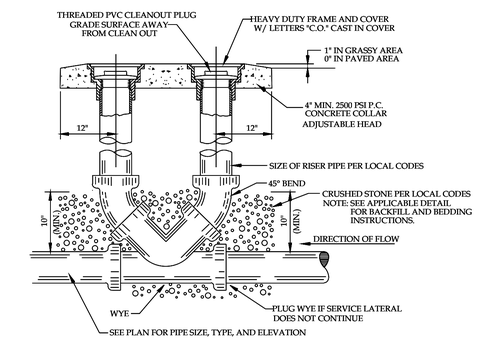
GRAVEL CURB INLET SEDIMENT FILTER

(N.T.S.)



SANITARY SEWER CLEAN-OUT

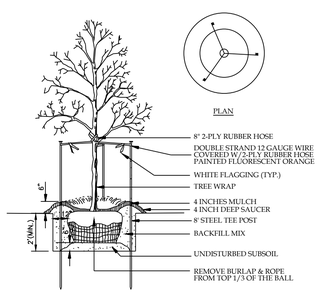
N.T.S.



TWO-WAY SANITARY SEWER CLEAN-OUT

N.T.S.

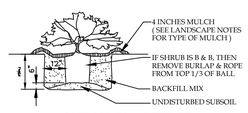
CITY APPROVAL STAMP



NOTE: SEE LANDSCAPE NOTES FOR THE TYPE OF MULCH MATERIAL TO USE.

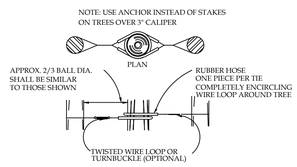
TREE PLANTING

N.T.S.



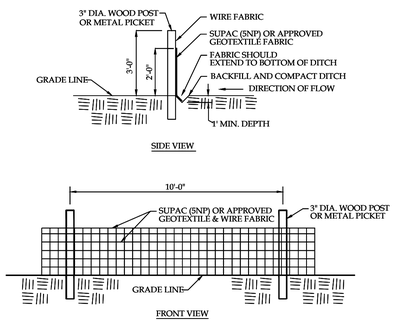
SHRUB PLANTING

N.T.S.



STAKING TIE

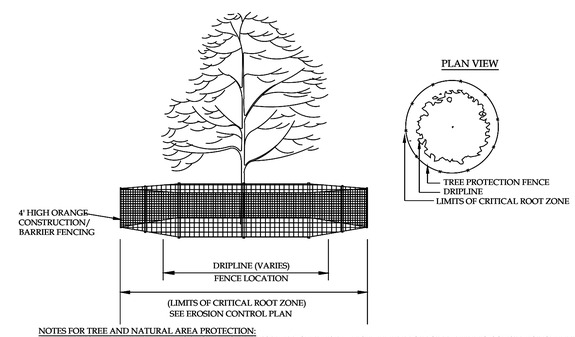
N.T.S.



DETAIL OF SILT FENCE

(N.T.S.)

NOTES:
1. INSTALL SILT FENCE BEFORE CONSTRUCTION BEGINS.
2. CONSTRUCT SILT FENCE AS ABOVE OR USE PREFABRICATED SILT FENCE (METROMONT 24-100X) OR APPROVED EQUAL.



NOTES FOR TREE AND NATURAL AREA PROTECTION:
1. ALL TREES AND NATURAL AREAS SHOWN TO BE PRESERVED ON THIS PLAN SHALL BE PROTECTED DURING CONSTRUCTION WITH TEMPORARY 4' HIGH ORANGE CONSTRUCTION/ BARRIER FENCING.
2. PROTECTIVE FENCES SHALL BE ERECTED ACCORDING TO COMMON STANDARDS FOR TREE PROTECTION.
3. PROTECTIVE FENCES SHALL BE INSTALLED PRIOR TO THE START OF ANY SITE PREPARATION WORK (CLEARING, GRUBBING, OR GRADING) AND SHALL BE MAINTAINED THROUGHOUT ALL PHASES OF THE CONSTRUCTION PROJECT.
4. EROSION AND SEDIMENTATION CONTROL BARRIERS SHALL BE INSTALLED OR MAINTAINED IN A MANNER WHICH DOES NOT RESULT IN SOIL BUILD-UP WITHIN TREE DRIPLINES.
5. PROTECTIVE FENCES SHALL SURROUND THE TREES OR GROUP OF TREES, AND WILL BE LOCATED AT THE DRIPLINE. FOR NATURAL AREAS, PROTECTIVE FENCES SHALL FOLLOW THE LIMIT OF CONSTRUCTION LINE IN ORDER TO PREVENT THE FOLLOWING:
   A. SOIL COMPACTION IN THE ROOT ZONE AREA RESULTING FROM VEHICULAR TRAFFIC OR STORAGE OF EQUIPMENT OR MATERIALS;
   B. ROOT ZONE DISTURBANCES DUE TO GRADE CHANGES (GREATER THAN 6 INCHES OF CUT OR FILL) OR TRENCHING;
   C. WOUNDS TO EXPOSED ROOTS, TRUNKS, OR LIMBS BY MECHANICAL EQUIPMENT.
   D. OTHER ACTIVITIES DETRIMENTAL TO TREES SUCH AS CHEMICAL STORAGE, CONCRETE TRUCK CLEANING, AND FIRES.
6. EXCEPTIONS TO INSTALLING FENCES AT TREE DRIPLINES MAY BE PERMITTED IN THE FOLLOWING CASES:
   A. WHERE THERE IS TO BE AN APPROVED GRADE CHANGE, PERMEABLE PAVING SURFACE, TREE WELL, OR OTHER SUCH SITE DEVELOPMENT.
   B. WHERE PERMEABLE PAVING IS TO BE INSTALLED WITHIN A TREE'S DRIPLINE, ERECT THE FENCE AT THE OUTER LIMITS OF THE PERMEABLE PAVING AREA (PRIOR TO SITE GRADING SO THAT THIS AREA IS GRADED SEPARATELY PRIOR TO PAVING INSTALLATION TO MINIMIZE ROOT DAMAGE)
   C. WHERE TREES ARE CLOSE TO PROPOSED BUILDINGS, ERECT THE FENCE TO ALLOW 6 TO 10 FEET OF WORK SPACE BETWEEN THE FENCE AND THE BUILDING.
   D. WHERE THERE ARE SEVERE SPACE CONSTRAINTS DUE TO TRACT SIZE, OR OTHER SPECIAL REQUIREMENTS.
7. WHERE ANY OF THE ABOVE EXCEPTIONS RESULT IN A FENCE BEING CLOSER THAN 4 FEET TO A TREE TRUNK, PROTECT THE TRUNK WITH STRAPPED ON PLANING TO A HEIGHT OF 8 FEET (OR LIMITS OF LOWER BRANCHING) IN ADDITION TO THE REDUCED FENCING PROVIDED.
8. TREES APPROVED FOR REMOVAL SHALL BE REMOVED IN A MANNER WHICH DOES NOT IMPACT TREES TO BE PRESERVED.
9. ANY TRENCHING REQUIRED FOR THE INSTALLATION OF UTILITIES SHALL BE PLACED AS FAR FROM EXISTING TREE TRUNKS AS POSSIBLE.
10. NO LANDSCAPE TOPSOIL DRESSING GREATER THAN 4 INCHES SHALL BE PERMITTED WITHIN THE DRIPLINES OF TREES. NO SOIL IS PERMITTED ON THE ROOT FLARE OF ANY TREE.
11. PRUNING TO PROVIDE CLEARANCE FOR STRUCTURES, VEHICULAR TRAFFIC, AND EQUIPMENT SHALL TAKE PLACE BEFORE CONSTRUCTION BEGINS.
12. DEVIATIONS FROM THE ABOVE NOTES MAY BE SANCTIONED ORDINANCE VIOLATIONS IF THERE IS SUBSTANTIAL NON-COMPLIANCE OR IF A TREE SUSTAINS DAMAGE AS A RESULT.

TREE PROTECTION

N.T.S.

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No.11426
PHILLIP R. SWOPE

Site, Utility, & Landscape Details

Large Scale Development

5th + Elm Townhomes
105 South 5th Stteet
Rogers, AR
Cope Gracy/ 479-530-5060 / cope@copegracy.com

NO.	DATE	REVISION

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Suite #210
Rogers, Arkansas 72756
479.685.8399 office
479.230.4285 fax
Civil Engineering
Construction Management
Municipal Engineering
Land Planning
Land Surveying

DRAWN BY: XXX	JOB NUMBER: XX-XXXX
SUBMITTAL DATE: 07/01/2019	SCALE: 1" = XX'
DRAWING NAME: 18-217pr.dwg	
SHEET NUMBER: C4.1	

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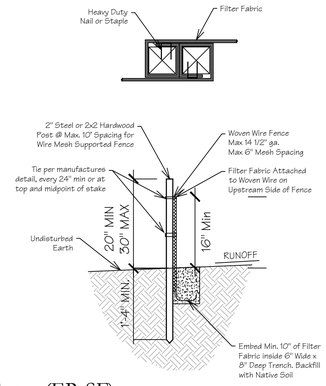
CITY APPROVAL STAMP

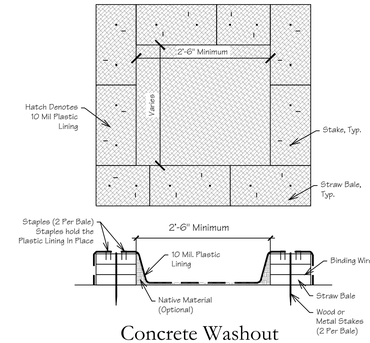
Notes and Specifications:

1. Posts shall be a minimum length of thirty-six (36) inches constructed of either of the following materials: Steel "T" or "U" type, or 2" x 2" hardwood.
2. Woven Wire used as additional fence support shall be Minimum 14.5 gauge with six (6) inch Maximum Mesh Spacing.
3. Woven Wire shall be placed along the uphill side of the fence and fastened with Wire Ties or one (1) inch staples along the uphill side of the posts.
4. Filter Fabric shall be fastened to Woven Wire according to Manufacturer's recommendation, or with ties every twenty four (24) inches at the top and mid-sections.
5. Where two pieces of Filter Fabric adjoin each other they shall be overlapped by six (6) inches and folded together.
6. Where two posts meet to join fence sections, the tops of the posts shall be secured together with wire.
7. The fence shall be constructed along the contour as much as possible.
8. Ends of fences shall be extended up the slope to prevent runoff from migrating around the end of the fence.
9. Inspection of the fence shall be performed weekly, or immediately after a rain event, or when bulges appear in the fence. accumulated silt shall not be allowed to exceed half the height of the fabric. repair and or replacement of damaged fence shall be completed promptly.
10. Accumulated silt shall be removed and disposed of in an approved site in such a manner that it will not contribute to off-site siltation.
11. All fencing shall be removed when the constructioin site is fully stabilized so as to not impede storm flow or drainage.
12. Pre-fabricated units do not require the use of woven wire fence.



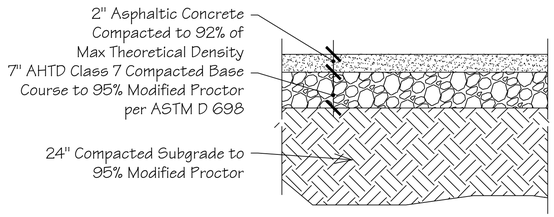
Silt Fence (ER-SF)

Scale: As Noted



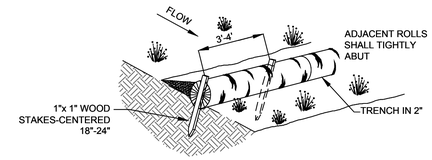
Concrete Washout

nts



Contractor shall refer to Geotechnical Engineer / Study for Final Pavement Sections

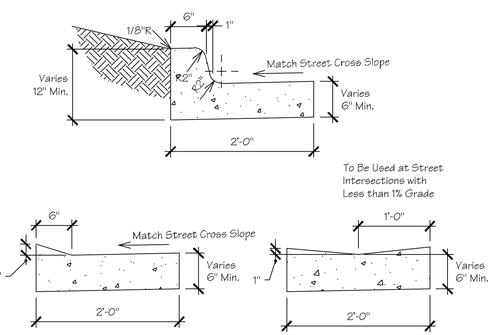
REGULAR-DUTY ASPHALT PAVING



INSTALLATION NOTES
1. WATTLES SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR, OR COCONUT FIBER.
2. NOT FOR USE IN CONCENTRATED FLOW AREAS.
3. THE WATTLES SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF TWO (2) INCHES.
4. WATTLES SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
5. ON SLOPES, WATTLES SHOULD BE INSTALLED ON CONTOUR WITH A SLIGHT UPWARD CURVE AT THE END OF THE ROW IN
ORDER TO CREATE PONDING.
6. RUNNING LENGTHS OF WATTLES SHOULD BE ABUTTED FIRMLY TO ENSURE NO LEAKAGE AT THE ABUTMENTS.
7. WHEN INSTALLING RUNNING LENGTHS OF WATTLES, BUTT THE SECOND WATTLE TIGHTLY AGAINST THE FIRST, DO NOT
OVERLAP THE ENDS. STAKE THE WATTLES AT EACH END AND FOUR FOOT ON CENTER.
8. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE. LEAVING 2 - 3 INCHES OF THE STAKE PROTRUDING
ABOVE THE WATTLE. WHEN INSTALLING WATTLES ON SLOPES, DRIVE THE STAKES PERPENDICULAR TO THE SLOPE.
9 . DRIVE THE FIRST END STAKE OF THE SECOND WATTLE AT AN ANGLE TOWARD THE FIRST WATTLE IN ORDER TO HELP ABUT
THEM TIGHTLY TOGETHER.
10. STAKING: THE CITY RECOMMENDS USING WOOD STAKES TO SECURE THE WATTLES. 1/2" TO 5/8"
REBAR IS ALSO ACCEPTABLE WITH A SAFETY CAP.. BE SURE TO USE A STAKE THAT IS LONG ENOUGH TO PROTRUDE
SEVERAL INCHES ABOVE THE WATTLE.
11. THE CONTRACTOR SHALL INSPECT WATTLES EVERY TWO WEEKS AND AFTER ANY SIGNIFICANT STORM EVENT AND MAKE
REPAIRS OR REMOVE SEDIMENT ACCUMULATED BEHIND WATTLE AS NECESSARY.
12. SEDIMENT ACCUMULATED BEHIND WATTLE SHALL BE REMOVED WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE
DIAMETER OF THE WATTLE.
13. WATTLES SHALL REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND IS ACCEPTED BY THE CITY.

Wattle

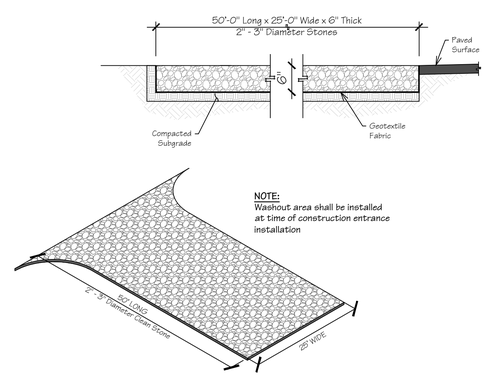
Scale: As Noted



TYPE I TYPE II

CURB AND GUTTER

Notes:
1. Concrete for Curb and Gutter to be Class A, 3,000 psi, 5.5 Bag Mix with 4-7% Air Entrainment.
2. All Curb and Gutter shall have a broomed finish unless otherwise specified.
3. Modified Curb (Type I) shall be placed across all Driveway Entrances.
4. Modified Curb (Type II) Shall be placed across All Side Streets where the longitudinal grade is Less than 1%.
5. Saw Cut Joints at 15'-0" o.c. Seal with one part cold applied Silicone Joint Sealer or Other Approved Sealant. All Joints to be Sealed Prior to Final Asphalt Placement.
6. Provide 1/2" preformed Expansion Joint Material (Asphalt Impregnated Fiberboard or other Approved Material) at Stationary Structures (Drop Inlets, End of Curbs, Driveways - See Detail) or as Directed by Engineer.



NOTE:
Washout area shall be installed at time of construction entrance installation

Construction Entrance

Not to Scale

(LSD 18-217)

STATE OF ARKANSAS REGISTERED PROFESSIONAL ENGINEER No.11426 PHILLIP R. SWOPE

Erosion Control Details

Large Scale Development
5th + Elm Townhomes
105 South 5th Stteet
Rogers, AR
Cope Gracy/ 479-530-5060 / cope@copegracy.com

NO.	DATE	REVISION

SWOPE ENGINEERING
7 Halsted Circle
Suite #210
Rogers, Arkansas 72756
479.685.8399 office
479.250.4285 fax
Civil Engineering
Construction Management
Municipal Engineering
Land Planning
Land Surveying

DRAWN BY: XXX	JOB NUMBER: XX-XXXX
SUBMITTAL DATE: 07/01/2019	SCALE: 1" = XX'
DRAWING NAME: 18-217pr.dwg	
SHEET NUMBER: C4.2	

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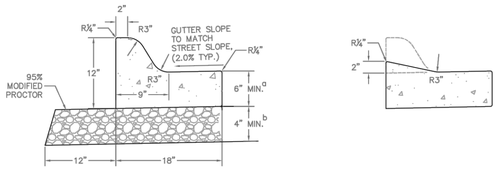


STANDARD CURB AND GUTTER

1. CONCRETE SHALL BE CLASS B, 3500 PSI, 4–7% AIR ENTRAINED. CONCRETE MAY NOT BE POURED IF A FALLING AIR TEMPERATURE FALLS BELOW 40° F NOR RESUMED UNTIL AN ASCENDING AIR TEMPERATURE RISES ABOVE 35° F WITHOUT SPECIFIC AUTHORITY FROM THE CITY REPRESENTATIVE. ALL CONCRETE MATERIALS, HANDLING, PLACING, JOINTING, SAMPLING, FINISHING AND CURING SHALL BE PER CITY STANDARD SPECIFICATIONS.
2. CONTRACTION JOINTS SHALL BE PLACED AT 15 FOOT INTERVALS WITH EXPANSION JOINTS AT 75 FOOT INTERVALS.
3. ALL CONTRACTION JOINTS SHALL BE SEALED WITH SONNEBORN® SONOLASTIC SL 1™ (OR APPROVED EQUAL) ACCORDING TO MANUFACTURER'S INSTRUCTIONS PRIOR TO FINAL ASPHALT PLACEMENT.
4. EXPANSION JOINT MATERIAL SHALL BE REQUIRED AT ALL STATIONARY STRUCTURES OR AS DIRECTED BY ENGINEER. THE EXPANSION MATERIAL SHALL BE ½" ASPHALT IMPREGNATED FIBERBOARD CONFORMING TO AASHTO M–213. MATERIAL SHALL BE LEFT LOWER OR TRIMMED TO BE ½" BELOW THE TOP OF CURB.
5. EXPANSION JOINT MATERIAL SHALL BE FULL DEPTH OF THE CURB AND PERPENDICULAR TO THE CURB LINE.
6. ALL CURB AND GUTTER SHALL RECEIVE A BROOM FINISH.
7. CONTRACTOR SHALL PROVIDE THE CITY 24 HOURS NOTICE WHEN FORMS OR STRINGLINE ARE READY PRIOR TO CONCRETE PLACEMENT.
8. FOR CONCRETE STREETS, IF THE CURB AND GUTTER IS CAST SEPARATELY, ½"ø DOWEL RODS 30" LONG SHALL BE PROVIDED A MINIMUM OF EVERY 30" ON–CENTER.

MODIFIED CURB AND GUTTER

(PLACE ACROSS ALL DRIVEWAYS)

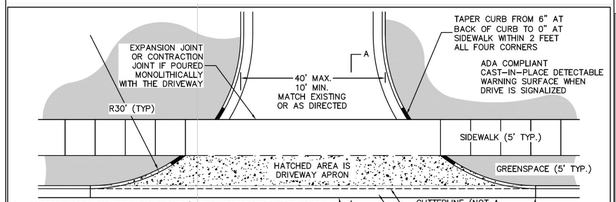
a. IF MONOLITHICALLY CAST WITH THE STREET, THICKNESS SHALL MATCH STREET PAVING THICKNESS.

b. IF PAVEMENT SECTION IS 10" THICK OR MORE, 4" OF CLASS 7 AGGREGATE SHALL EXTEND UNDER CURB AND 1 FOOT BEYOND. IF THE PAVEMENT SECTION IS LESS THAN 10" THICK, THE CURB AND GUTTER MAY BE PLACED ON SUBGRADE. SUBGRADE SHALL BE PROOF–ROLLED BY A LOADED TANDEM–AXLE DUMP TRUCK.

CITY OF ROGERS
301 WEST CHESTNUT STREET
ROGERS, ARKANSAS 72756
(479) 621-1186

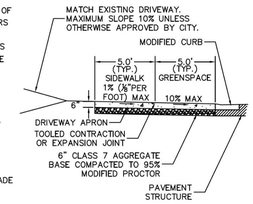
CURB AND GUTTER DETAIL

NOT TO SCALE — JUNE 23, 2015



TO REMOVE EXISTING CURB, A FULL DEPTH SAWCUT SHALL BE MADE AT CURB AND STREET PAVING JOINT. ANY DAMAGE TO THE STREET SHALL BE REPAIRED AT CONTRACTOR'S EXPENSE AS DIRECTED BY CITY.

1. CURB RADII SHALL BE A MINIMUM 30' MEASURED TO BACK OF CURB FOR STREETS CLASSIFIED AS COLLECTOR OR BELOW, 40' FOR MINOR ARTERIALS AND 50' FOR MAJOR ARTERIALS.
2. DRIVEWAY APRON SHALL BE 6" THICK CONCRETE (MIN.).
3. ASPHALT SHALL BE SURFACE COURSE FOR ASPHALT DRIVEWAYS.
4. IF THERE IS NO SIDEWALK, THE DRIVEWAY APRON SHALL BE 6' AS MEASURED PERPENDICULAR FROM BACK OF CURB OR EDGE OF PAVEMENT.
5. EXPANSION JOINTS SHALL BE A MINIMUM OF ½" AND EXTEND THE FULL DEPTH OF THE CONCRETE. EXPANSION JOINT MATERIAL SHALL MEET AASHTO M213 FOR AN ASPHALTIC FIBER EXPANSION JOINT MATERIAL AND INSTALLED WITH A ZIP STRIP WHICH IS REMOVED AFTER THE CONCRETE HAS CURED AND SEALED WITH A MASTIC SEALER.
6. CONTRACTION JOINTS TO BE PLACED IN CONCRETE DRIVEWAY SO THAT NO SLAB DIMENSION IS MORE THAN 15'.
7. ALL SIDEWALKS AND DRIVEWAYS TO RECEIVE A BROOM FINISH.
8. CITY SHALL INSPECT ALL SIDEWALKS AND DRIVEWAYS IN PUBLIC RIGHT OF WAY PRIOR TO CONCRETE OR ASPHALT PLACEMENT. PROVIDE 24 HOURS NOTICE PRIOR TO PLACEMENT.
9. ALL CONCRETE FOR CURB, SIDEWALKS AND DRIVEWAYS SHALL BE CLASS B CONCRETE (3500 PSI, 4–7% AIR ENTRAINED). CONCRETE MAY NOT BE PLACED IF A FALLING AIR TEMPERATURE FALLS BELOW 40° F NOR RESUMED UNTIL AN ASCENDING AIR TEMPERATURE RISES ABOVE 35° F WITHOUT SPECIFIC AUTHORITY FROM THE CITY REPRESENTATIVE. ALL CONCRETE MATERIALS, HANDLING, PLACING, JOINTING, SAMPLING, FINISHING, AND CURING SHALL BE PER CITY STANDARD SPECIFICATIONS.
10. DRIVEWAY APRON AND MODIFIED CURB SHALL BE PLACED MONOLITHICALLY.
11. REFER TO APPROVED PLANS FOR ACTUAL SIDEWALK AND GREENSPACE WIDTHS OR CONTACT CITY.
12. APRON SHALL BE GRADED SO THAT SIDEWALK CONTINUES WITHOUT GRADE BREAKS ALONG ROADWAY.
13. DRIVEWAY SHALL BE HARD SURFACE FOR ANY SLOPES OVER 8%.



CITY OF ROGERS
301 WEST CHESTNUT STREET
ROGERS, ARKANSAS 72756
(479) 621-1186

COMMERCIAL DRIVEWAY DETAIL

NOT TO SCALE — SEPTEMBER 23, 2016

APPROVED STREET TREES

50' tall ≥4' from curb or sidewalk	30-50' tall ≥3' from curb or sidewalk	<20' tall ≥2' from curb or sidewalk
* Fruitless Kentucky Coffee Tree	* American Hophornbeam	* American Smoketree
Gingko (male only)	American Holly	Amur Maple
* Hackberry	Chinese Pistache	Crabapple
Japanese Zelkova (Green Vase)	English Oak	Hedge Maple
Lacebark Elm (Allee)	Hawthorns	Magnolia (Little Gem)
Littleleaf Linden (Greenspire)	Kousa Dogwood	Nellie Stevens holly
London planetree	Persian Ironwood	Possumhaw
Oak	* Scarlet Oak	* Redbud
* Black	Thornless Honeylocust (Shademaster)	Shadlow serviceberry
* Northern Red	* Yellowwood	Yaupon Holly
Shingle		
* Shumard		
* Southern Red		
* Swamp White		
White		
* Willow		
* River Birch		
* Shortleaf Pine		
Silver Linden		
* Sugarberry (Sugar Hackberry)		
Turkish Filbert		

* – DENOTES A NATIVE SPECIES
( ) – DENOTES A RECOMMENDED VARIETY

1. SHALLOW ROOTED TREES SUCH AS MAPLE, ASH, SWEETGUM, TULIP TREE, PIN OAK AND POPLAR SHALL NOT BE PLANTED WITHIN 10' OF A CURB OR SIDEWALK.
2. USE OF ANY TREE NOT SHOWN ON THIS LIST REQUIRES APPROVAL BY CITY STAFF.
3. CRITERIA FOR TREES SHALL MATCH THOSE SHOWN IN THE LARGE SCALE DEVELOPMENT ORDINANCE SECTION 14–256.
4. TREE SPACING SHALL BE 30' FOR TREES LESS THAN 20' TALL, 40' FOR TREES 30–50' TALL AND 50' FOR TREES 50' OR TALLER OR AS REQUIRED BY ORDINANCE 18–259. TREE HEIGHTS ARE MATURE TREE HEIGHTS.
5. ONLY TREES ON THE <20' TALL LIST MAY BE USED WITHIN 20' OF OVERHEAD UTILITIES OR WITHIN 10' OF UNDERGROUND UTILITIES.
6. TREES SHALL NOT BE PLANTED WITHIN 20' OF LIGHT POLE.
7. TREES SHALL BE CENTERED IN THE GREENSPACE.

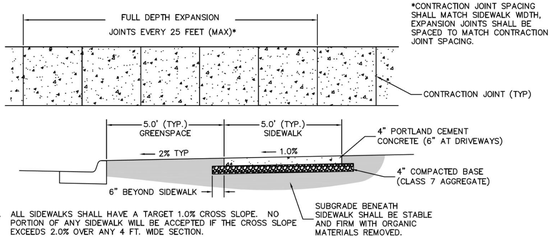
CITY OF ROGERS
301 WEST CHESTNUT STREET
ROGERS, ARKANSAS 72756
(479) 621-1186

TYPICAL STREET SECTIONS

6 OF 6

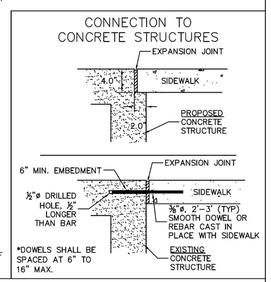
NOT TO SCALE — OCTOBER 18, 2016

CITY APPROVAL STAMP



1. ALL SIDEWALKS SHALL HAVE A TARGET 1.0% CROSS SLOPE. NO PORTION OF ANY SIDEWALK WILL BE ACCEPTED IF THE CROSS SLOPE EXCEEDS 2.0% OVER ANY 4 FT. WIDE SECTION.
2. ALL SIDEWALKS SHALL RECEIVE A BROOM FINISH.
3. ALL SIDEWALK EDGES SHALL HAVE A ½" RADIUS EDGE.
4. ALL CONCRETE SHALL BE CLASS B (3500 PSI, 4–7% AIR ENTRAINED). CONCRETE MAY NOT BE PLACED IF A FALLING AIR TEMPERATURE FALLS BELOW 40° F NOR RESUMED UNTIL AN ASCENDING AIR TEMPERATURE RISES ABOVE 35° F WITHOUT SPECIFIC AUTHORITY FROM THE CITY REPRESENTATIVE. ALL CONCRETE MATERIALS, HANDLING, PLACING, JOINTING, SAMPLING, FINISHING AND CURING SHALL BE PER CITY STANDARD SPECIFICATIONS.
5. EXPANSION JOINTS SHALL BE A MINIMUM OF ½" AND EXTEND THE FULL DEPTH OF THE CONCRETE. EXPANSION JOINT MATERIAL SHALL MEET AASHTO M213 FOR AN ASPHALTIC FIBER EXPANSION JOINT MATERIAL AND BE INSTALLED WITH A ZIP STRIP WHICH IS REMOVED AFTER THE CONCRETE HAS CURED AND SEALED WITH A MASTIC SEALER.
6. CONTRACTION JOINTS SHALL BE PLACED AT 5 FOOT INTERVALS.*
7. WHEN PLACING SIDEWALK AGAINST AN EXISTING CONCRETE STRUCTURE WHERE IT IS DESIRABLE THAT THE SIDEWALK REMAIN FLUSH, THE SIDEWALK SHALL BE DOWELED INTO THE STRUCTURE.
8. ALL SIDEWALK BASE SHALL BE PLACED ON FIRM, STABLE SUBGRADE.
9. CITY SHALL INSPECT ALL SIDEWALKS IN PUBLIC RIGHT OF WAY PRIOR TO CONCRETE PLACEMENT. PROVIDE 24 HOURS NOTICE PRIOR TO PLACEMENT.
10. CONTACT CITY FOR ACTUAL GREENSPACE AND SIDEWALK WIDTHS REQUIRED PRIOR TO BEGINNING OF CONSTRUCTION. SIDEWALK AND GREENSPACE WIDTH MAY BE VARIED TO MATCH EXISTING FEATURES IF APPROVED BY THE PLANNING STAFF.

CONNECTION TO CONCRETE STRUCTURES



*DOWELS SHALL BE SPACED AT 6" TO 16" MAX.

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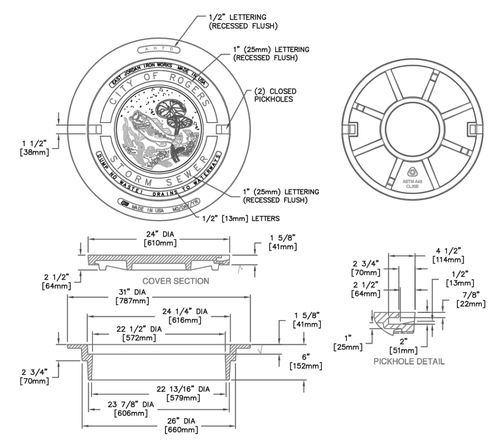
TYPICAL SIDEWALK DETAILS

NOT TO SCALE — SEPTEMBER 23, 2016



√ MACHINED SURFACE

1. SHALL BE USED ON ALL STORM SEWER MANHOLE COVERS.
2. ALL COVERS SHALL BE RATED HEAVY DUTY.
3. EAST JORDAN IRON WORKS PRODUCT 2750 ASSEMBLY SHOWN, AN APPROVED EQUAL MAY ALSO BE USED.

CITY OF ROGERS
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RING AND COVER DETAIL

NOT TO SCALE — FEBRUARY 15, 2012

STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No.11426
PHILLIP R. SWOPE

Utility Details

Large Scale Development

5th + Elm Townhomes
105 South 5th Stteet
Rogers, AR

Cope Gracy/ 479-530-5060 / cope@copegracy.com

NO.	DATE	REVISION

SWOPE ENGINEERING
7 Halsted Circle
Suite #210
Rogers, Arkansas 72756
479.685.8399 office
479.230.4285 fax
Civil Engineering
Construction Management
Municipal Engineering
Land Planning
Land Surveying

DRAWN BY: XXX	JOB NUMBER: XX-XXXX
SUBMITTAL DATE: 07/01/2019	SCALE: 1" = XX'
DRAWING NAME: 18-217pr.dwg	
SHEET NUMBER: C4.3	

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