



DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
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APRIL 10, 2019

TO: PLANNING COMMISSION
DEVELOPMENT REVIEW COMMITTEE

LSDP – NABHOLZ OFFICE EXPANSION STAFF SUMMARY REPORT

LOCATION:	3301 N. 2 nd Street
LAND OWNER:	Nabholz Construction Corp.
DEVELOPER:	Nabholz Construction Corp.
APPLICANT/ ENGINEER:	Nabholz Construction Corp. / Crafton Tull
ZONING DISTRICT:	R-O (Residential Office) and I-1 (Light Industrial)
PLANNED USE:	Office
DESCRIPTION:	A 7,500-sf building addition on 1.5± acres
WAIVERS:	2 nd Street improvements
FEES-IN-LIEU:	N/A
REQUEST:	Large-Scale Development Project approval
AUTHORITY:	Article III of Chapter 14, Rogers Code of Ordinances

VICINITY MAP



This report may not reflect all information, documents, or other materials made available to officials during discussion and public input. Staff recommendations are based on technical review of City code and materials provided by the applicant at time of submittal.

BACKGROUND

- The developer intends to expand existing office operations with a 7,500-sf building addition on 1.5± acres.
- The site is not located within a PUD. Surrounding properties are zoned I-1, R-O, or R-SF.
- The project has gone through the technical review process, and all revisions requested by staff have been completed and approved with the exception of requested waivers. RWU has issued conditional approval.

STAFF REVIEW

ENGINEERING REVIEW:

- 1) **Access Management**: The proposed development meets all City access management standards per Sec. 14-260. Staff recommends that the applicant work with the adjacent property owner to the south to provide joint access on or near the south property boundary.
- 2) **Stormwater and Water Quality**:
 - a) **Stormwater Management**: Stormwater will be managed through a proposed extended dry detention pond.
 - b) **Water Quality**: Water quality treatment will be provided by a grass swale on the south
- 3) **Required Public Improvements**:
 - a) **Street Pavement and Condition**: The site is located on N 2nd Street and is classified on the Master Street Plan as a Major Arterial and constructed as a 2-lane road. The applicant requests a **WAIVER** to Sec. 14-228(30) for improvements to N 2nd Street.
The roadway pavement is not in substandard condition and does not require improvements.
 - b) **Connectivity Standards**: No connectivity streets or street stub-outs are required as part of this development.
 - c) **Streetscape**:
 - i) **Right-of-Way**: 40' right-of-way from the centerline of N 2nd Street dedicated prior to this development. An additional 10' will be dedicated.
 - ii) **Sidewalks and Sidepaths**: The applicant requests a **WAIVER** to Sec. 14-228(30) for public improvements to N 2nd Street.
 - iii) **Trails**: No trail construction is required on this site.
 - iv) **Streetlights**: Street lights to be installed on N 2nd Street.
 - v) **Street Trees**: The applicant requests a **WAIVER** to Sec. 14-228(30) for public improvements to N 2nd Street.
- 4) **RECOMMENDATIONS**: The proposed project meets all engineering review requirements for a large scale development subject to the following waiver requests:
 - a) **Approve waiver to Sec. 14-228(30) for the requirement for curb and gutter improvements to N 2nd Street.** Per Sec. 14-46(c)(3)(c) "...complete streets principles is unnecessary, unduly cost prohibitive...". The cost to improve N 2nd Street is not proportional to the scope of the project.
 - b) **Deny waiver to Sec. 14-228(30) for the requirement for sidewalks along N 2nd Street.** Sidewalks have been constructed to the south and would provide pedestrian connectivity to the neighborhood north of the site.



DEREC BASS, Planning Engineer
City of Rogers Engineering Division



LANCE JOBE, City Engineer
City of Rogers Engineering Division

PLANNING REVIEW:

- 1) **Land Use**:
 - a) **Comprehensive Growth Map**: The proposed use is consistent with the CGM, which designates the subject property under the Employment Center Growth Designation.
 - b) **Zoning District**: The proposed development meets the intent of the R-O and I-1 zoning districts per Sec. 14-706(a) and Sec. 14-713(a), respectively.
- 2) **Development Standards**: The site plan conforms to all development standards and requirements per Articles III and VI of Rogers City Code (Large-Scale Development and Zoning, respectively).
 - a) **Landscaping**: All landscaping requirements have been met.
 - b) **Parking**: All vehicle parking requirements have been met.
 - c) **Setbacks**: All building disposition requirements have been met.
 - d) **Screening**: The development site is not directly adjacent to residential use.
- 3) **Views of Others**: No supporting or opposing comments have been received by the Planning Division.
- 4) **RECOMMENDATIONS**: The proposed project meets all planning review requirements for a large-scale development subject to

the following recommendations:

- a) Consider request with regard to land-use compatibility and the health, safety, and general welfare of the public.
- b) **Approve LSDP.**



ETHAN HUNTER, Planner III
City of Rogers Planning Division



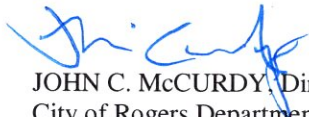
LORI ERICSON, Planning Administrator
City of Rogers Planning Division

SUGGESTED MOTION:

- 1) Motion to **approve, deny, or table** the Large-Scale Development Project contingent upon all conditions and recommendations listed in the staff report, and with the following actions for the requested waivers:
 - **Approve waiver to Sec. 14-228(30) for the requirement for curb and gutter on N 2nd Street.**
 - **Deny waiver to Sec. 14-228(30) for the requirement for sidewalks on N 2nd Street.**

DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. McCURDY, Director
City of Rogers Department of Community Development

Tabs:

- 1. Large-Scale Development plans
- 2. Waiver letter
- 3. RWU conditional approval letter
- 4. Maps and/or photos



13 February 2019

Lori Ericson
City of Rogers
Planning Administrator
301 W Chestnut St.
Rogers, AR 72756

RE: Waiver Request – Nabholz Office Expansion
CTA Job No. 17104100
CityView Project #PL201900040

I am writing this letter to request the following waivers in regard to the Nabholz Office Expansion.

1. Street improvements for the 2nd Street.

The entire property is 18.5 Acres, while the disturbed area for improvement is only 1.028 Acres. Due to the proportion of the site improvements in relation to the entirety of the site, we feel that is not feasible to improve 2nd Street, along the site frontage.

2. Drainage and Water Quality Improvements

Due to the existing improvements to this area that were provided by the Rogers Municipal Airport, we feel it is not feasible to improve the existing drainage measures already established. The drainage improvements made for the Rogers Municipal Airport involved a concrete channel that eliminated the pond at the southwest corner of the Nabholz property. Because of this, there is no longer a pond in this area, and we have no way to analyze it's capacity. Therefore, we did not feel it necessary to add additional drainage improvements to this site.

Should you have any questions, please feel free to contact us at your earliest convenience.

Sincerely,
Crafton Tull & Associates, Inc.

Diego Garcia, P.E.
Project Engineer

Rose Hendley, E.I.



ROGERS WATER UTILITIES

"SERVING ROGERS - PROTECTING THE ENVIRONMENT"

March 14, 2019

Mr. Diego Garcia, PE
Crafton Tull-Civil
901 North 47th Street, Suite 200
Rogers, AR 72756

Re: Conditional Approval of Civil Plans
Nabholz Office Expansion

Dear Mr. Garcia:

We have reviewed the plans that were received for the referenced project and are approving them with the following conditions:

1. The relocated hydrant along Hwy 94 shall be public.
2. Provide utility easement within 7.5 feet of public hydrant.
3. Private waterline shall begin at the demarcation valve at Station 12.70.
4. Move private fire line out of ARDOT right-of-way or provide an approved utility permit from ARDOT.
5. Contact the RWU inspector, Tony Kinion, at (479) 936-6212 to schedule an inspection of the relocated public hydrant.

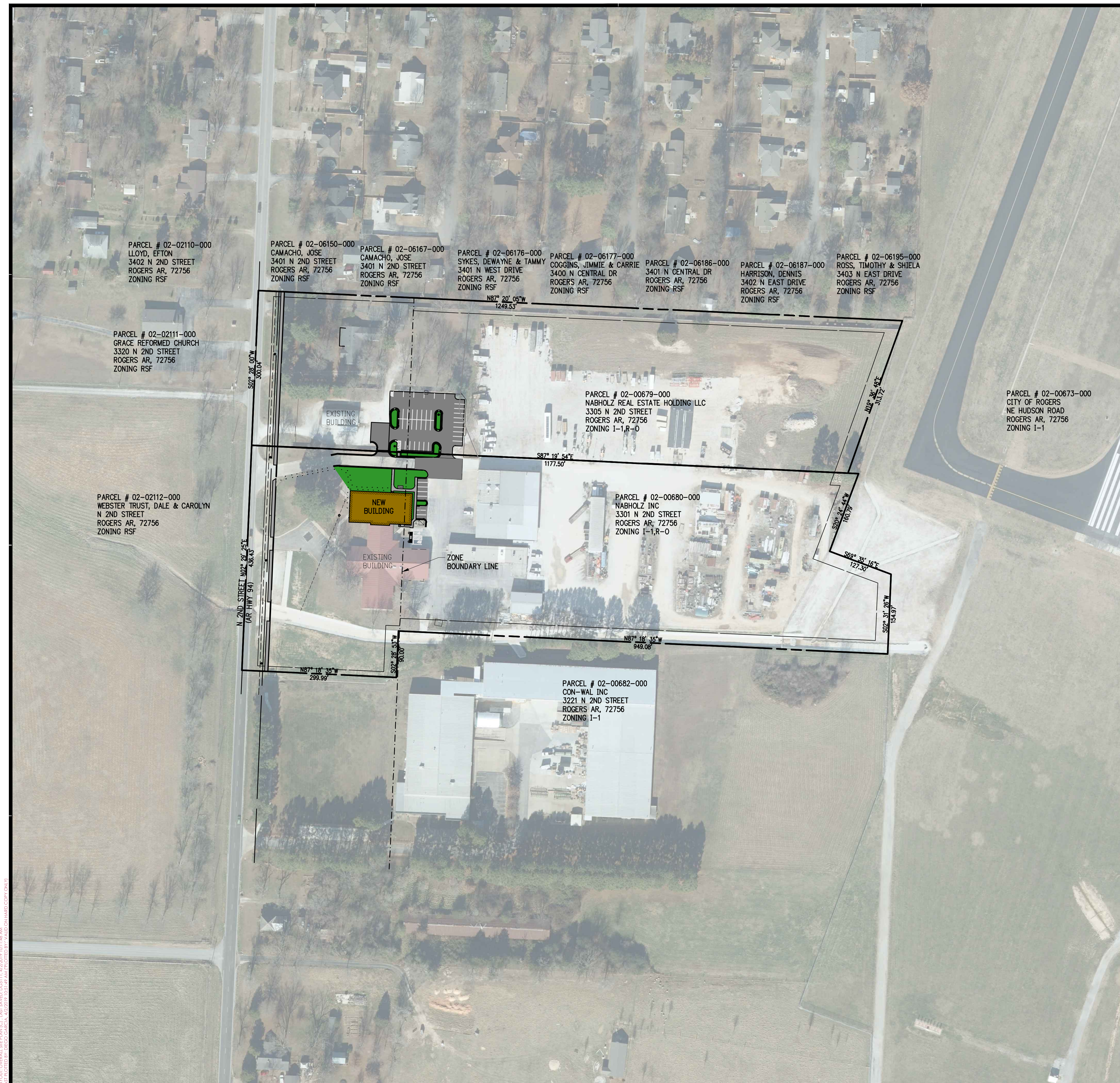
Approval of this project is void if construction is not started within one year of the date affixed hereto.

Sincerely,

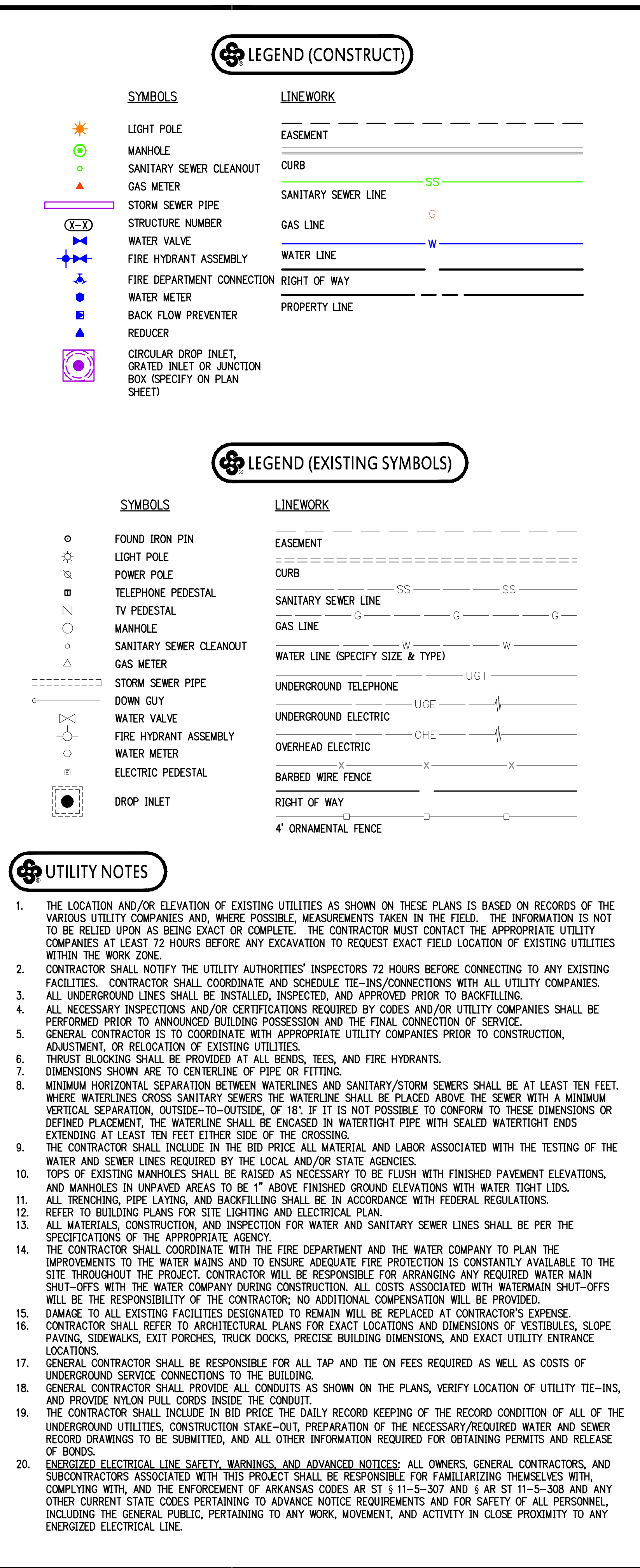
Brian Sartain, PE
Utility Engineer

BS:VH

Copy: B. Dobler, B. Sartain, J. Lunsford, T. Kinion, J. Porter, L. Ericson
P:\NabholzOfficeExpDiegoGarcia031419



C-101



1. CONTRACTOR SHALL CONFIRM THE LOCATION OF ALL UTILITIES PRIOR TO STARTING ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ONE-CALL SYSTEM. ALL UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE AND ARE BASED ON SURVEY INFORMATION, SITE DEVELOPMENT PLANS, UTILITY RECORDS, ETC.
2. ALL PLANT MATERIAL SHALL BE NURSERY GROWN. THE SIZE AND GRADING SHALL MEET OR EXCEED THE LATEST EDITION OF AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
3. ALL ENTRANCE/EXIT PLANTINGS SHALL BE INSTALLED AND MAINTAINED TO PROVIDE CLEAR SIGHT DISTANCE FROM THE STREETS AND THE ENTRANCE/EXIT LOCATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING REQUIRED SHRUBS AND TREES PER CITY LANDSCAPE ORDINANCE OR UNTIL PROJECT IS TURNED OVER AND ACCEPTED BY OWNER.
5. NO CHANGES TO THE PLANT SCHEDULE ARE ALLOWED WITHOUT APPROVAL OF THE OWNER, LANDSCAPE ARCHITECT AND CITY. SUBSTITUTED PLANTS SHALL MEET THE SAME CRITERIA REGARDING TYPE, SIZE AND FUNCTION AS THOSE PLANTS SHOWN ON THE PLAN.
6. ALL LAWN AREAS ARE TO RECEIVE A 4" OF TOPSOIL TO FINAL GRADE. ALL SHRUB AREAS SHALL RECEIVE 6" OF TOPSOIL, AND THE SOIL SHALL BE AMENDED TO ENHANCE FAVORABLE GROWING CONDITIONS. ALL EXISTING SOD/WEEDS SHALL BE REMOVED FROM PLANTING BED AREAS. ALL SHRUB BEDS SHALL BE EXCAVATED, TILLED, AND AMENDED TO A DEPTH OF AT LEAST 12".
7. ALL PLANT BEDS SHALL BE TREATED WITH A WEED BARRIER AND A MINIMUM OF 3" DOUBLE GROUND SHREDDED HARDWOOD MULCH. TREES NOT LOCATED IN PLANT BEDS SHALL RECEIVE A MULCH SAUCER PER DETAIL.
8. ALL TREES AND SHRUBS SHALL BE INSTALLED IN ACCORDANCE WITH THE DETAILS PROVIDED.
9. ALL SHRUBS AND TREES SHALL BE TREATED WITH 13-13-13 TIME RELEASE FERTILIZER UPON COMPLETION OF THEIR INSTALLATION.
10. ALL DISTURBED AREAS NOT TO RECEIVE PLANTINGS SHALL BE SEEDED WITH 60% BERMOUDA GRASS AND 40% ANNUAL RYEGRASS AT 5 LBS PER 1,000 SF DURING THE APPROPRIATE TIME OF YEAR FOR THE SEED TO GERMINATE; IF THIS CANNOT BE ACCOMPLISHED, THE CONTRACTOR SHALL CALL THE LANDSCAPE ARCHITECT FOR A GRASS SEED SUBSTITUTION.
11. AT A MINIMUM, SOD SHALL BE INSTALLED ON 3:1 SLOPES AND GREATER AND AN EIGHT (8) INCH (2") STRIP OF SOD SHALL BE INSTALLED BEHIND ALL CURBS AND ADJUNCT TO ALL SIDEWALKS AND ENTRY WALKS.
12. ALL SOD ON 4:1 SLOPES OR GREATER SHALL BE STAPLED IN PLACE.
13. LANDSCAPE IRRIGATION SYSTEM IS TO BE CONSTRUCTED. LANDSCAPE CONTRACTOR TO CONFIRM LOCATION OF PLANNED IRRIGATION LINES WITH THE IRRIGATION CONTRACTOR PRIOR TO PLANT BED AND PLANT INSTALLATION.
14. ALL TREES MUST BE PLANTED AT LEAST 10' FROM ANY UNDERGROUND UTILITIES, DRAINAGE STRUCTURES, AND DRAINAGE LINES. LINES MUST BE FIELD LOCATED TO INSURE THERE IS NO CONFLICT.
15. NO PLANTINGS SHALL BE WITHIN 10' OF THE DOORS OF GROUND MOUNTED TRANSFORMERS AND ELECTRICAL GEAR.

TOTAL DEVELOPMENT DISTURBED AREA
= 50,963± SQ.FT. / 1000 = 51 PLANTS
51 PLANTS * 25% = 13 TREES REQUIRED
51 PLANTS * 75% = 38 SHRUBS REQUIRED

INTERNAL PARKING LOT TREES AT 1 TREE PER 15 SPACES
INTERNAL PARKING SPACES = 47 / 15 = 3.13 OR 3
TREES

PRESERVATION TREES REQUIRED = 1

TOTAL TREES REQUIRED = 1

TREES PROVIDED:
DECIDUOUS TREES PROVIDED = 20

EVERGREEN TREES PROVIDED

TOTAL TREES PROVIDED = 20

SHRUBS PROVIDED:
5 GALLON SIZE = 46

1. ONCE INSTALLED, LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANTS THAT DIE SHALL BE REPLACED BY THE DEVELOPER FOR A WARRANTY PERIOD OF THREE YEARS.
2. AFTER THE REQUIRED THREE YEAR WARRANTY PERIOD LANDSCAPING SHALL BE MAINTAINED IN HEALTHY LIVING CONDITION AND ALL PLANTS THAT DIE SHALL BE REPLACED BY THE OWNER OF THE PROPERTY.
3. TREES SHALL NOT BE TOPPED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
4. HEALTHY TREES SHALL NOT BE REMOVED AT ANY TIME AND PROPER TREE PRUNING TECHNIQUES AS ESTABLISHED BY THE LATEST EDITION OF ANSI A300 "STANDARDS FOR TREE CARE" SHALL BE UTILIZED FOR MAINTENANCE PURPOSES.
5. LIVING MATERIALS, SUCH AS LAWN, GRASS OR HERBACEOUS GROUNDCOVER LIKE JUNIPER OR LIRIOPE, ETC., SHALL COVER A MINIMUM OF EIGHTY PERCENT (80%) OF THE PLANTING ISLANDS. ONE HUNDRED (100%) OF LIVING MATERIALS IS STRONGLY ENCOURAGED.

SITE AREA = 44,778 ± SQ.FT.
IMPERVIOUS AREA = 25,657 sq.ft. = 57%
PERVIOUS AREA = 19,121 sq.ft. = 43%

TOTAL SIGNIFICANT TREES REMOVED = 5
REPLACEMENT TREES REQUIRED
5 TREES / 5 = 1 TREES OR
TOTAL TREE REPLACEMENTS REQUIRED = 1

QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
3	PLATANUS OCCIDENTALIS / AMERICAN SYCAMORE	B & B	2.5" CAL	10' HT. MIN.
5	QUERCUS SHUMARDII / SHUMARD RED OAK	B & B	2.5" CAL	10' HT. MIN.
11	TAXODIUM ASCENDENS / POND CYPRESS MALE ONLY	B & B	2.5" CAL	10' HT. MIN.
1	ZELKOVA SERRATA / SAWLEAF ZELKOVA	B & B	2.5" CAL	10' HT. MIN.
QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
3	CEDRUS ATLANTICA 'GLAUCO' / BLUE ATLAS CEDAR	B & B	2" CAL	8' HT. MIN.
QTY	BOTANICAL NAME / COMMON NAME	SIZE	HEIGHT	SPREAD
17	ABELIA X GRANDIFLORA 'KALEIDOSCOPE' / GLOSSY ABELIA	3 GAL	18" HT. MIN.	18" SPREAD MIN.
13	AZALEA GLENN DALE HYBRID 'FASHION' / FASHION AZALEA	5 GAL	24" HT. MIN.	18" SPREAD MIN.
264	CAREX MORROWII 'AUREA-VARIEGATA' / VAR. JAPANESE SEDGE	1 GAL	12" HT. MIN.	9" SPREAD MIN.
5	ILEX CORNUTA 'NEEDLEPOINT' / NEEDLEPOINT HOLLY	5 GAL	24" HT. MIN.	18" SPREAD MIN.
31	ILEX VERTICILLATA 'RED SPRITE' / RED SPRITE WINTERBERRY	3 GAL	18" HT. MIN.	18" SPREAD MIN.
27	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPICE	5 GAL	24" HT. MIN.	18" SPREAD MIN.
1	MAHONIA BEALEI / LEATHERLEAF MAHONIA	5 GAL	24" HT. MIN.	24" SPREAD MIN.
QTY	BOTANICAL NAME / COMMON NAME	CONT		
375 SF	EUONYMUS FORTUNEI / WINTERCREEPER	QUART		
QTY	BOTANICAL NAME / COMMON NAME	CONT		
16,079 SF	ZOYSIA JAPONICA 'EL TORO' / EL TORO ZOYSIA	SOLID SOD		

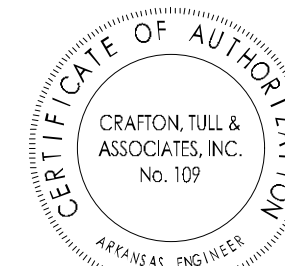


Call before you dig.



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www.craftontull.com

CERTIFICATE OF AUTHORIZATION



GRAPHIC SCALE IN FEET

A horizontal scale bar with alternating black and white segments. It is labeled '20'' at the left end, '0' in the middle, and '20'' at the right end.

ROGERS, ARKANSAS

Key Point

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PROJECT NO: 17104100

ISSUE DATE: 01/21/19
CONTACT: D. GARCIA

CHECKED BY _____

PRELIMINARY PLANS

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PLANTING PLAN

L-101

DRAWING: G:\17104100_NABHOLZ\INFRASTRUCTURE\CIVIL\DWG\PLANTING PLAN.DWG
LAYOUT: L-101 PLANTING PLAN , LAST SAVED: BW1196, 4/5/2019 11:00:30 AM