



DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

APRIL 10, 2019

TO: PLANNING COMMISSION
DEVELOPMENT REVIEW COMMITTEE

LSDP – MUNDO-TECH EXPANSION STAFF SUMMARY REPORT

LOCATION:	1745 S. 1 st Street
LAND OWNER:	Harbaugh Revocable Trust
DEVELOPER:	Mundo-Tech Inc.
APPLICANT/ ENGINEER:	Mundo-Tech Inc. / Expedient Civil Engineering
ZONING DISTRICT:	I-1 (Light Industrial)
PLANNED USE:	Warehouse/Office
DESCRIPTION:	A 11,980-sf building addition on 2.6± acres
WAIVERS:	1 st Street improvements (roadway, sidewalk, streetlights), bike racks
FEES-IN-LIEU:	N/A
REQUEST:	Large-Scale Development Project approval
AUTHORITY:	Article III of Chapter 14, Rogers Code of Ordinances

VICINITY MAP



This report may not reflect all information, documents, or other materials made available to officials during discussion and public input. Staff recommendations are based on technical review of City code and materials provided by the applicant at time of submittal.

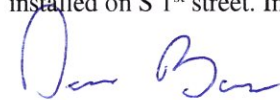
BACKGROUND

- The developer intends to expand existing operations with a 11,980-sf building addition on 2.6± acres
- The site is not located within a PUD. Surrounding properties are zoned I-1, I-2, or R-DP.
- The project has gone through the technical review process, and all revisions requested by staff have been completed and approved with the exception of requested waivers. RWU has issued conditional approval.

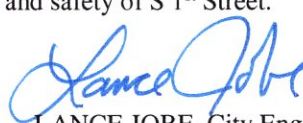
STAFF REVIEW

ENGINEERING REVIEW:

- 1) **Access Management:** The proposed development meets all City access management standards per Sec. 14-260.
- 2) **Stormwater and Water Quality:**
 - a) **Stormwater Management:** Due to the sites proximity to the Blossom Way Creek floodway, the development is eligible for paying a fee-in-lieu of providing stormwater detention.
 - b) **Water Quality:** Water quality will be provided by a grass swale on the north side of the site.
- 3) **Required Public Improvements:**
 - a) **Street Pavement and Condition:** The site is located on S 1st Street and is classified on the Master Street Plan as a Major Arterial and constructed as a 2-lane road with center turn lane, sidewalk, side path, and curb and gutter. The applicant requests a **WAIVER** to Sec. 14-228(30) for improvements to S 1st Street.
The roadway pavement is not in substandard condition and does not require improvements.
 - b) **Connectivity Standards:** No connectivity streets or street stub-outs are required as part of this development.
 - c) **Streetscape:**
 - i) **Right-of-Way:** Total of 50' right-of-way from the centerline of S 1st Street to be dedicated as part of this development.
 - ii) **Sidewalks and Sidepaths:** The applicant requests a **WAIVER** to Sec. 14-228(30) for public improvements to S 1st Street.
 - iii) **Trails:** No trail construction is required on this site.
 - iv) **Streetlights:** The applicant requests a **WAIVER** to Sec. 14-228(30) for public improvements to S 1st Street.
 - v) **Street Trees:** Street trees to be installed along S 1st Street.
- 4) **RECOMMENDATIONS:** The proposed project meets all engineering review requirements for a large scale development subject to the following waiver requests:
 - a) **Approve waiver to Sec. 14-228(30) for the requirement for roadway improvements to S 1st Street.** Per Sec. 14-46(c)(3)(c) "...complete streets principles is unnecessary, unduly cost prohibitive...". The cost to improve S 1st Street is not proportional to the scope of the project.
 - b) **Approve waiver to Sec. 14-228(30) for the requirement for sidewalks and side paths on S 1st Street.** Per Sec. 14-46(c)(3)(c) "...complete streets principles is unnecessary, unduly cost prohibitive...". Widening the sidewalks would create an isolated section unlikely to be connected to.
 - c) **Deny waiver to Sec. 14-228(30) for the requirement to provide street lights on S 1st Street.** Currently, no street lights are installed on S 1st street. Including street lights will improve visibility and safety of S 1st Street.



DEREC BASS, Planning Engineer
City of Rogers Engineering Division



LANCE JOBE, City Engineer
City of Rogers Engineering Division

PLANNING REVIEW:

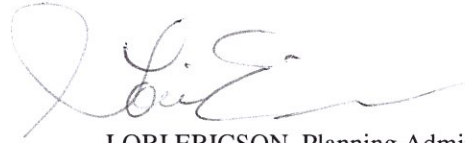
- 1) **Land Use:**
 - a) **Comprehensive Growth Map:** The proposed use is consistent with the CGM, which designates the subject property under the Employment Center Growth Designation.
 - b) **Zoning District:** The proposed development meets the intent of the I-1 zoning district per Sec. 14-713(a).
- 2) **Development Standards:** The site plan conforms to all development standards and requirements per Articles III and VI of Rogers City Code (Large-Scale Development and Zoning, respectively), with the exception of requested waivers.
 - a) **Landscaping:** All landscaping requirements have been met.
 - b) **Parking:** All vehicle parking requirements have been met. The applicant requests a **WAIVER** to Sec. 14-256(16) for the requirement to provide a minimum of one bike rack per 20 parking spaces.
 - c) **Setbacks:** All building disposition requirements have been met.
 - d) **Screening:** A 6' privacy fence and evergreen landscape screening is provided along boundaries with residential use.
- 3) **Views of Others:** No supporting or opposing comments have been received by the Planning Division.

4) **RECOMMENDATIONS:** The proposed project meets all planning review requirements for a large-scale development subject to the following recommendations:

- a) Consider request with regard to land-use compatibility and the health, safety, and general welfare of the public.
- b) **Deny waiver to Sec. 14-256(16) for the requirement to provide a minimum of one bike rack per 20 parking spaces.** Staff cannot identify a compelling justification for this waiver request considering the development's proximity to existing bicycle infrastructure along S. 1st Street, its proximity to a Neighborhood Center at New Hope and 1st Street, and the possibility of building adaptation over time.
- c) **Approve LSDP.**



ETHAN HUNTER, Planner III
City of Rogers Planning Division



LORI ERICSON, Planning Administrator
City of Rogers Planning Division

SUGGESTED MOTION:

- 1) Motion to **approve, deny, or table** the Large-Scale Development Project contingent upon all conditions and recommendations listed in the staff report, and with the following actions for the requested waivers:
 - **Approve waiver to Sec. 14-228(30) for the requirement for roadway improvements to S 1st Street.**
 - **Approve waiver to Sec. 14-228(30) for the requirement for sidewalks and side paths on S 1st Street.**
 - **Deny waiver to Sec. 14-228(30) for the requirement to provide street lights on S 1st Street.**
 - **Deny waiver to Sec. 14-256(16) for the requirement to provide a minimum of one bike rack per 20 parking spaces.**

DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. MCCURDY, Director
City of Rogers Department of Community Development

Tabs:

- 1. Large-Scale Development plans
- 2. Waiver letter
- 3. RWU conditional approval letter
- 4. Maps and/or photos



Expedient Civil Engineering, PLLC

11 Newnham Lane
Bella Vista, AR 72714
Phone: (509) 759-5300
Email: jason@ece-pllc.com

March 11, 2019

Dylan Cobb, PE
Planning Engineer
City of Rogers
301 W. Chesnut
Rogers, AR 72756

**RE: WAIVER REQUESTS
MUNDO-TECH LARGE SCALE DEVELOPMENT
1745 S. 1ST STREET, ROGERS, AR
ECE PROJECT NO. 19-1003
CITY PROJECT NO. PL2019001092**

Dear Mr. Cobb:

The purpose of this letter is to request waivers for selected items required by Rogers City Code. First, we would like to request a waiver for requiring bike racks for the facility. The current employees do not use bicycles and the business does not see any future cyclists at the facility. Second, a waiver for a pedestrian crossing to City right of way. The business does not have any employees or clients that either walk or ride bikes to the facility. Also, the proposed development is being added east of existing facilities and does not have any work slated along the right of way at this time. Therefore, we are requesting a waiver from this requirement. Next, the Master Street Plan was updated last year changing the street classification of South First Street. We understand that the new street section and sidewalk sections, as specified by the Master Street Plan, are wider than what exists now. However, we have been informed by staff that there are no immediate plans to widen south First Street. If we were to widen our 300 feet of roadway, the business would be the only one along this stretch of the road. Lastly, we are requesting a waiver of a streetlight along the street frontage. There is an existing overhead power line along the site's street frontage that would conflict with the placement of a streetlight. Also, if at some point in the future the street is widened, the light would either have to be removed or relocated. For this reason, we are requesting this waiver. Thank you for your consideration of these waivers and we look forward to discussing them further with you and to your approval.



ROGERS WATER UTILITIES

"SERVING ROGERS - PROTECTING THE ENVIRONMENT"

February 22, 2019

Mr. Jason Ingalls, PE
Expedient Civil Engineering
11 Newnham Lane
Bella Vista, AR 72714

RE: Mundo-Tech 2019, 1st Rev TR

Dear Mr. Ingalls:

We have reviewed the plans for Mundo-Tech 2019. We have no comment at this time.

Sincerely,

Stephen Ponder, PE
Project Review Engineer

SP:VH

MUNDO-TECH LARGE SCALE DEVELOPMENT PLANS

1745 S. FIRST STREET

ROGERS, ARKANSAS

CONSTRUCTION NOTES

- CONTRACTOR SHALL RETAIN A FULL SET OF THE LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITEWORK SPECIFICATIONS PROVIDED BY EXPEDIENT CIVIL ENGINEERING, PLLC OR AS SPECIFIED BY THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY:**

THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.

6. GRADING NOTES:

- THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
- AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
- OFF-SITE FILL MATERIAL(SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
- AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
- IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
- ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
- ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.

- CONTRACTOR SHALL REFER TO THE STORMWATER POLLUTION PREVENTION PLAN AND REPORT FOR STORMWATER QUALITY CONTROL INCLUDING EROSION AND SEDIMENT CONTROL. PROPER MEASURES SHALL BE PRACTICED TO PREVENT EROSION ALONG THE EDGE OF PROPERTY, TOE OF SLOPE, AND ALONG DITCHES. MUD AND DEBRIS ARE NOT ALLOWED TO FLOW ONTO ADJACENT PROPERTIES.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.

7. PAVING NOTES:

- ASPHALT CONCRETE SURFACE SHALL BE TYPE 2 PER SECTION 407 AND BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.

8. CONCRETE NOTES:

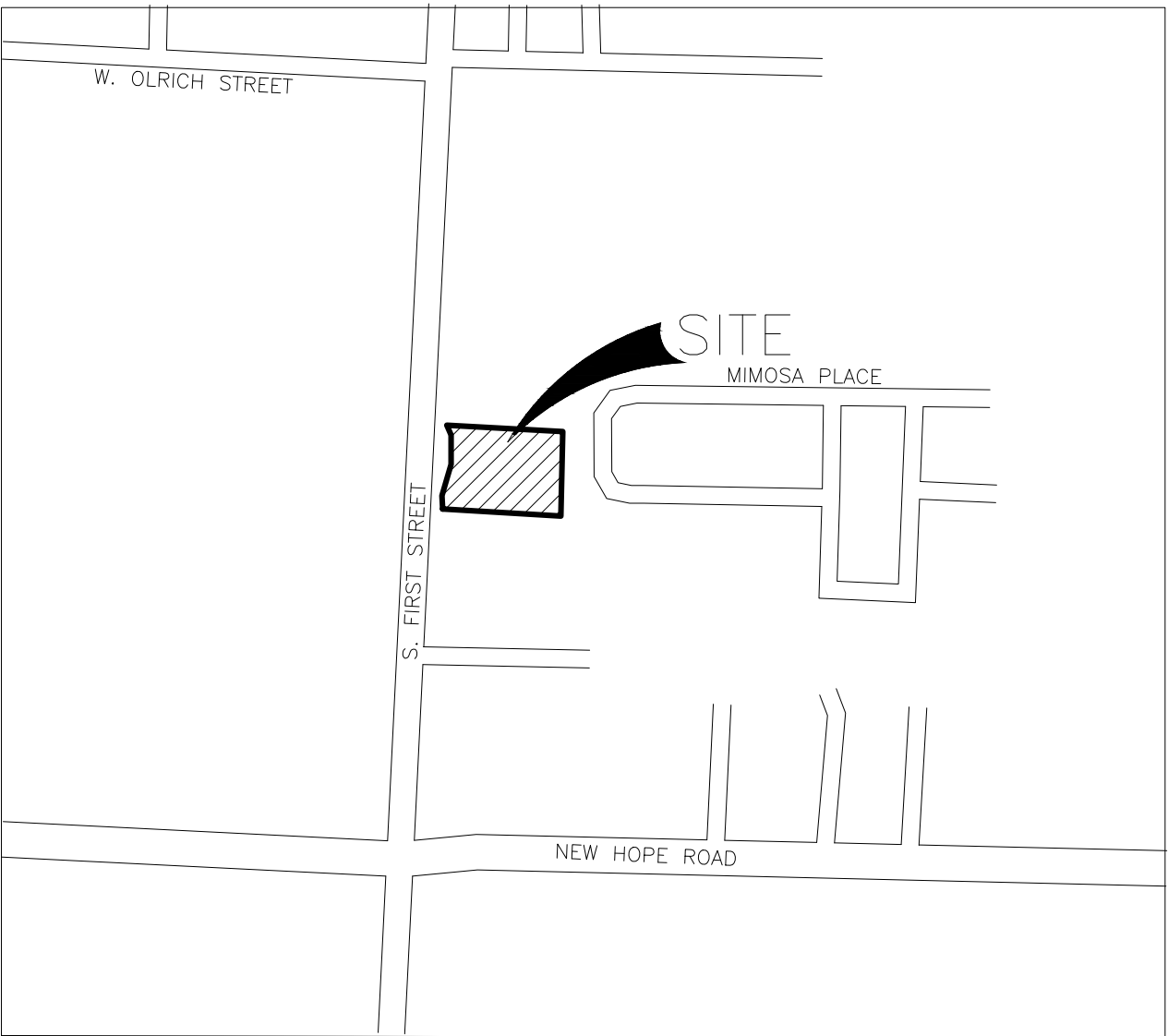
- CONCRETE PAVING AND STRUCTURES SHOULD CONFORM TO THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE CONSTRUCTION PROJECT SPECIFICATIONS.
- CONTRACTOR IS TO PROVIDE WEAKENED-PLANE (CONSTRUCTION) JOINTS, SECTIONING CONCRETE INTO AREAS AT 10-FOOT ON CENTERS, MAXIMUM EACH WAY. CONSTRUCT WEAKENED-PLANE JOINTS FOR A DEPTH EQUAL TO AT LEAST 1/4" CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE DEVELOPER'S CONSTRUCTION DIVISION OR AS DETAILED ON PLANS.

9. UTILITY NOTES:

- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM ROGERS WATER UTILITIES, AND THE CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO ROGERS WATER UTILITIES UNLESS DULY AUTHORIZED TO DO SO BY ROGERS WATER UTILITIES. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. EXPEDIENT CIVIL ENGINEERING, PLLC AND THE DEVELOPER ARE TO BE HELD HARMLESS.
- DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF CENTERTON WATER AND SEWER DEPARTMENT AND A REPRESENTATIVE OF EXPEDIENT CIVIL ENGINEERING, PLLC. CONTRACTOR SHALL NOTIFY EXPEDIENT CIVIL ENGINEERING, PLLC AT LEAST ONE WEEK IN ADVANCE, PRIOR TO ANY TESTING.
- ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ROGERS WATER UTILITIES STANDARD SPECIFICATIONS AND THE ARKANSAS STATE HEALTH DEPARTMENT STANDARD SPECIFICATIONS, AND SHALL BE INSPECTED BY THE UTILITY INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.

10. BLASTING AND EXPLOSIVE MATERIALS:

- THE CONTRACTOR IS SUBJECT TO ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING THE USE AND STORAGE OF EXPLOSIVE MATERIALS AND IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSES.
- EXPEDIENT CIVIL ENGINEERING, PLLC ACCEPTS NO RESPONSIBILITY OR LIABILITY PERTAINING TO STORAGE, USE, METHODS, PROCEDURES, SAFETY PRECAUTIONS, TECHNICAL SPECIFICATIONS, CONCERNING BLASTING AND EXPLOSIVE MATERIALS. THE CONTRACTOR SHALL HOLD THE OWNER, ENGINEER, AND THEIR ASSOCIATES HARMLESS WITH REGARD TO BLASTING AND EXPLOSIVE MATERIALS.



VICINITY MAP
NOT TO SCALE



RESOURCE LIST

NAME	ADDRESS	TELEPHONE
DEVELOPER MUNDO-TECH, INC. EMAIL: MUNDO@MUNDO-TECH.COM	1745 S. FIRST STREET ROGERS, ARKANSAS 72756	(479) 636-8600
BLACK HILLS ENERGY MR. JOSHUA KNIGHT	1301 FEDERAL WAY LOWELL, ARKANSAS 72745	(479) 333-7005
AT&T	627 WHITE ROAD SPRINGDALE, ARKANSAS 72766	(479) 442-1963
ROGERS WATER UTILITIES MR. STEPHEN PONDER, PE	601 S. 2ND STREET ROGERS, ARKANSAS 72756	(479) 621-1146
CITY OF ROGERS PLANNING MR. ETHAN HUNTER	301 W. CHESNUT ROGERS, ARKANSAS 72756	(479) 621-1186
CITY OF ROGERS (DRAINAGE & STORMWATER) MR. DYLAN COBB, PE	301 W. CHESNUT ROGERS, ARKANSAS 72756	(479) 621-1186
CITY OF ROGERS (FIRE MARSHAL) MR. WILLIAM RUMSEY	301 W. CHESNUT ROGERS, ARKANSAS 72756	(479) 621-1117
AEP/SWEPSCO MR. RON BERTRAM	101 W. TOWNSHIP STREET FAYETTEVILLE, ARKANSAS 72703	(479) 973-2333
COX COMMUNICATIONS MR. KIP SMITH	4901 S. 48TH STREET SPRINGDALE, ARKANSAS 72763	(479) 274-0995
UTILITY LOCATIONS ARKANSAS ONE-CALL SYSTEM, INC.		1-800-482-8998

CITY PROJECT #PL201901092

SHEET INDEX

No.	DESCRIPTION	PLOT DATE	
		No.	DATE
C1.0	COVER SHEET	3	4/6/2019
C2.0	AS-BUILT SURVEY	3	4/6/2019
C3.0	STORMWATER POLLTION PREVENTION PLAN	3	4/6/2019
C4.0	SITE PLAN	3	4/6/2019
C5.0	GRADING PLAN	3	4/6/2019
C6.0	UTILITY PLAN	3	4/6/2019
C7.0	LANDSCAPE PLAN	3	4/6/2019
C8.0	DETAIL SHEET	3	4/6/2019
C9.0	DETAIL SHEET	3	4/6/2019
WD-1	ROGERS WATER UTILITY WATER DETAILS - SHEET 1		
WD-2	ROGERS WATER UTILITY WATER DETAILS - SHEET 2		
SD-1	ROGERS WATER UTILITY SEWER DETAILS		

NOTE TO CONTRACTOR:

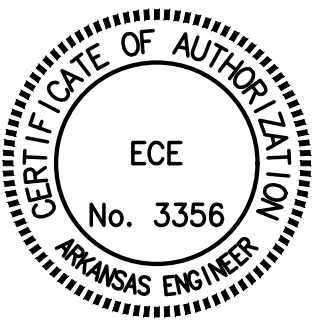
THE CONTRACTOR SHALL NOT TAKE ANY ADVANTAGE OF ANY APPARENT ERROR OR OMISSION IN THE PLANS OR SPECIFICATIONS. IN THE EVENT THE CONTRACTOR DISCOVERS SUCH AN ERROR OR OMISSION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. THE ENGINEER WILL THEN MAKE SUCH CORRECTIONS AND INTERPRETATIONS AS MAY BE DEEMED NECESSARY FOR FULFILLING THE INTENT OF THE PLANS AND SPECIFICATIONS.

SITE DEVELOPMENT STANDARDS:

SITE AREA: 116,586 SF
GROSS FLOOR AREA: EXISTING-11,949 SF
PROPOSED-11,980 SF
SETBACKS: FRONT-50 FEET
SIDE-25'
REAR-25'
LOT COVERAGE/ OPEN SPACE RATIO: 52,635 SF/63,951 SF
0.823
BUILDING HEIGHT: 30'

ZONING:

I-1 - LIGHT INDUSTRIAL
USE - OFFICE AND WAREHOUSE



Know what's below.
Call before you dig.



Rev	Comments	Date
1	PER CITY COMMENTS	3/11/2019
2	PER CITY COMMENTS	4/3/2019
3	PER CITY COMMENTS	4/6/2019

MUNDO-TECH NEW BUILDING

1745 S. FIRST STREET
ROGERS, ARKANSAS

MUNDO-TECH
1745 S. FIRST ST., AR 72756

11 NEWNAM LANE
BELLA VISTA, AR 72714
EMAIL: jason@ece-plc.com



DRAWN BY:
JEI

CHECKED BY:
JEI

DATE
2/15/2019

JOB NUMBER
19-1003

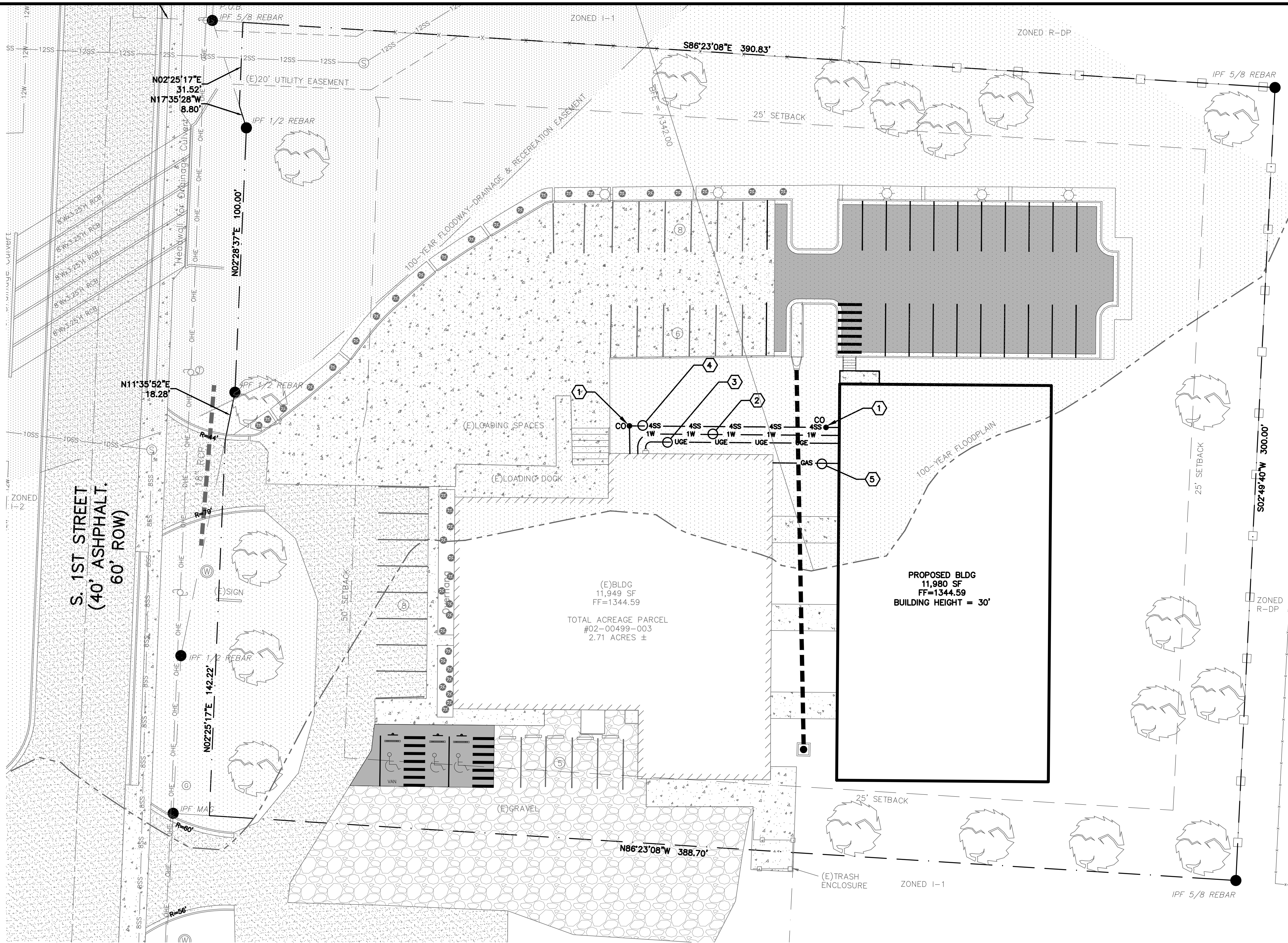
SHEET NAME

COVER
SHEET

File No.
19-1003.dwg

C1.0

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KEYNOTES:

- 1 SANITARY SEWER CLEANOUT PER DETAIL 10/7.0.
- 2 1" POLYETHYLENE WATER SERVICE FROM EXISTING SERVICE LINE TO NEW BUILDING POINT OF CONNECTION. PROVIDE AND EMBED PIPE PER DETAIL 11/C8.0.
- 3 CONNECT NEW SECONDARY SERVICE CONDUIT TO EXISTING METER PACK AND PROVIDE SUBPANEL IN NEW BUILDING. COORDINATE LOCATION AND CONDUIT SIZE WITH AEP/SWEPCCO..
- 4 CONNECT NEW SEWER SERVICE TO EXISTING BUILDING SERVICE. COORDINATE LOCATION OF EXISTING SERVICE FOR LOCATION AND DEPTH PRIOR TO CONSTRUCTION. EMBED SANITARY SEWER SERVICE PER DETAIL 11/C8.0.
- 5 CONNECT NEW GAS SERVICE LINE TO EXISTING BUILDING. COORDINATE LOCATION BY FIELD EXPLORATION.

WATER AND SEWER NOTES:

1. USE 1" SERVICE TUBING FOR SERVICE CONNECTIONS.
2. MAINTAIN A 10" MINIMUM HORIZONTAL CLEARANCE BETWEEN WATER AND SEWER SERVICE LINES. A MINIMUM OF 18" VERTICAL SEPARATION IS REQUIRED AT WATER AND SEWER LINE CROSSINGS.
3. ALL WORK SHALL BE IN COMPLIANCE WITH THE CITY/COUNTY STANDARD SPECIFICATIONS.

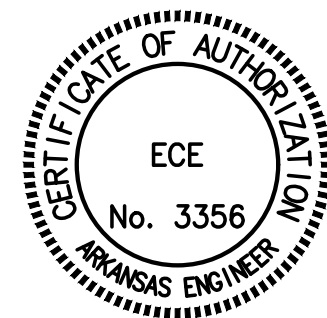
NOTE:

ALL MATERIALS AND METHODS USED TO CONSTRUCT PUBLIC WATER AND SEWER MAINS SHALL CONFORM TO RWJ STANDARD DETAILS AND STANDARD SPECIFICATIONS

- FOUND IRON PIN
PROPERTY LINE
EXISTING OVERHEAD ELECTRIC
EXISTING BARBED WIRE FENCE
EXISTING EASEMENT
EXISTING GAS METER
EXISTING WATER METER
EXISTING TELEPHONE PEDESTAL
EXISTING POWER POLE
EXISTING SEWER MANHOLE
EXISTING ASPHALT
EXISTING CENTERLINE OF ROAD
PROPOSED CURB
PROPOSED CONCRETE
PROPOSED ASPHALT
PROPOSED HANDICAP SIGN
PROPOSED 1" WATER SERVICE
PROPOSED 4" SANITARY SERVICE
PROPOSED UNDERGROUND ELECTRIC
PROPOSED CLEANOUT
PROPOSED GAS SERVICE

UTILITY NOTES:

- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE UTILITY AUTHORITIES AND ROGERS WATER UTILITIES (RWU) AND CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
- DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF RWU AND EXPEDIENT CIVIL ENGINEERING, PLLC.
- ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED RWU AND THE ARKANSAS STATE HEALTH DEPARTMENT AND SHALL BE INSPECTED BY RWU INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
- ALL WATER MAINS SHALL BE DUCTILE IRON CLASS 52. SANITARY SEWER MAINS SHALL BE PVC, SDR-26 AND ALL SANITARY SEWER MANHOLES ARE 4' DIAMETER UNLESS NOTED.
- ALL FILL UNDER UTILITY LINES SHALL BE COMPACTED IN 6 INCH LIFTS COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- ALL DENSITY TESTING REPORTS ARE TO BE FORWARDED TO RWU, EXPEDIENT CIVIL ENGINEERING, PLLC, AND THE CONTRACTOR.
- EVERY SANITARY SEWER MANHOLE SHOULD BE VACUUM TESTED AS WORK PROGRESSES.
- WATER MAINS AND SANITARY SEWERS SHALL BE CONSTRUCTED AS FAR APART AS PRACTICABLE, AND SHALL BE SEPARATED BY UNDISTURBED AND COMPACTED EARTH. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE ARKANSAS DEPARTMENT OF HEALTH. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE ARKANSAS DEPARTMENT OF HEALTH.



Know what's below.
Call before you dig.



Date	Comments	Rev
3/11/2019	PER CITY COMMENTS	1
4/3/2019	PER CITY COMMENTS	2
4/6/2019	PER CITY COMMENTS	3

MUNDO-TECH NEW BUILDING

1745 S. FIRST STREET
ROGERS, ARKANSAS

MUNDO-TECH
1745 S, FIRST ST., AR 72756

11 NEWNAM LANE
BELLA VISTA, AR 72714
EMAIL: jason@ece-sil.com



DRAWN BY:
JEI

CHECKED BY:
JEI

DATE
2/15/2019

JOB NUMBER
19-1003

SHEET NAME

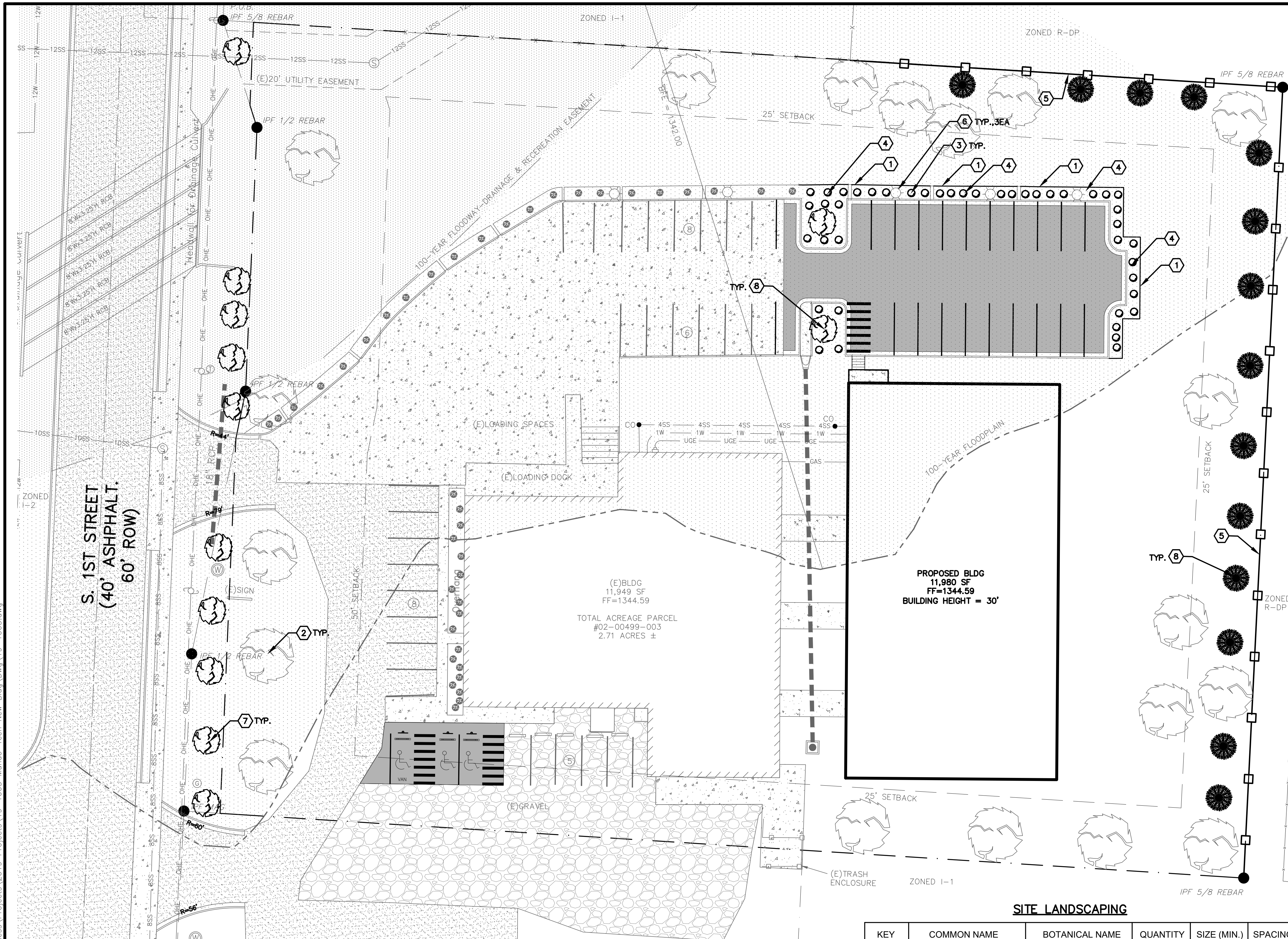
UTILITY
PLAN

File No.

19-1003.dwg

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KEYNOTES:

- STEEL LANDSCAPE EDGING
- EXISTING LANDSCAPING TREE
- MATCH EXISTING SHRUB TYPE AND SPACING WITH EXISTING LANDSCAPING BEDS
- ROCK MULCHING. MATCH EXISTING LANDSCAPE MULCH
- 6' TALL WOOD OR CHAIN LINK WITH VINYL SLATS
- PARKING LOT LIGHTING WITH CUT OFF LIGHTING SHIELD
- PROPOSED STREET TREE (REFER TO TABLE FOR TYPE AND SPACING)
- PROPOSED LANDSCAPE TREE (REFER TO TABLE FOR TYPE AND SPACING)

STREET TREES

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE (MIN.)	SPACING
	REDBUD	CERCIS CANADENSIS	10	2" CALIPER B & B MIN. 6'	30' MIN.

SITE LANDSCAPING

KEY	COMMON NAME	BOTANICAL NAME	QUANTITY	SIZE (MIN.)	SPACING
	REDBUD	CERCIS CANADENSIS	2	2" CALIPER B & B MIN. 6'	30' MIN.
	SHORTLEAF PINE	PINUS ECHINATA	14	2" CALIPER B & B MIN. 8'	30' MIN.
	SHRUB (MATCH EXISTING SPECIES, TYPE, AND SPACING)		43	5 GALLON	

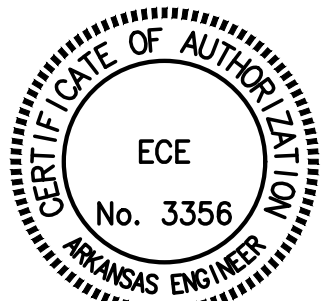
- FOUND IRON PIN
PROPERTY LINE
EXISTING OVERHEAD ELECTRIC
EXISTING BARBED WIRE FENCE
EXISTING EASEMENT
EXISTING GAS METER
EXISTING WATER METER
EXISTING TELEPHONE PEDESTAL
EXISTING POWER POLE
EXISTING SEWER MANHOLE
EXISTING ASPHALT
EXISTING CENTERLINE OF ROAD
PROPOSED CURB
PROPOSED CONCRETE
PROPOSED ASPHALT
PROPOSED HANDICAP SIGN
PROPOSED 1" WATER SERVICE
PROPOSED 4" SANITARY SERVICE
PROPOSED UNDERGROUND ELECTRIC
PROPOSED CLEANOUT
PROPOSED GAS SERVICE

LANDSCAPING REQUIREMENTS:

- STREET TREES
1. REQUIRED - PUBLIC STREET AND PRIVATE ACCESS DRIVE
FRONTAGE: 1 TREE EVERY 30 LINEAR FEET OR 300 LF FRONTAGE
AT 30' SPACING = 10 TREES
2. PROVIDED - 10 TREES
SITE LANDSCAPING
1. REQUIRED - 1 TREE OR SHRUB PER 2,000 SF OF
DEVELOPMENT AREA = 116,586 SF OR 59 TREES AND SHRUBS
2. PROVIDED - 16 NEW TREES AND 43 NEW SHRUBS
GREENSPACE
1. REQUIRED - 20% OF LOT AREA
2. PROVIDED - TOTAL LOT AREA: 116,586 SF
IMPERVIOUS AREA: 52,635 SF
PERVIOUS AREA: 63,951 SF
GREENSPACE: 54.9%

GENERAL LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE AS SPECIFIED IN THE PLANT LIST ON THIS SHEET AND MEET THE REQUIREMENTS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN PUBLICATION "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1 LATEST EDITION).
- ALL PLANT MATERIAL SHALL BE HEALTHY AND VIGOROUS AT THE TIME OF INSTALLATION AND SHALL BE WARRANTED FOR SURVIVAL FOR A PERIOD OF 2 YEARS FROM THE TIME OF INSTALLATION.
- INSTALLATION AND EXECUTION OF THIS PLAN SHALL COMPLY WITH THE REQUIREMENTS OF THE CURRENT LANDSCAPE ORDINANCE FOR THE CITY OF ROGERS.
- INSTALL A 4" LAYER OF ROCK MULCH OVER A WOVEN FABRIC WEED BARRIER IN ALL BEDS.
- INSTALL A 3/16"x 4" STEEL EDGING TO BORDER THE MULCHED BED AREAS WHERE THEY ARE ADJACENT TO TURF AREAS.
- IRRIGATION SYSTEM TO BE DESIGN BUILD.



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