



DEPT. OF COMMUNITY DEVELOPMENT  
 PLANNING DIVISION  
 301 W. CHESTNUT  
 PHONE: (479) 621-1186  
 FAX: (479) 986-6896

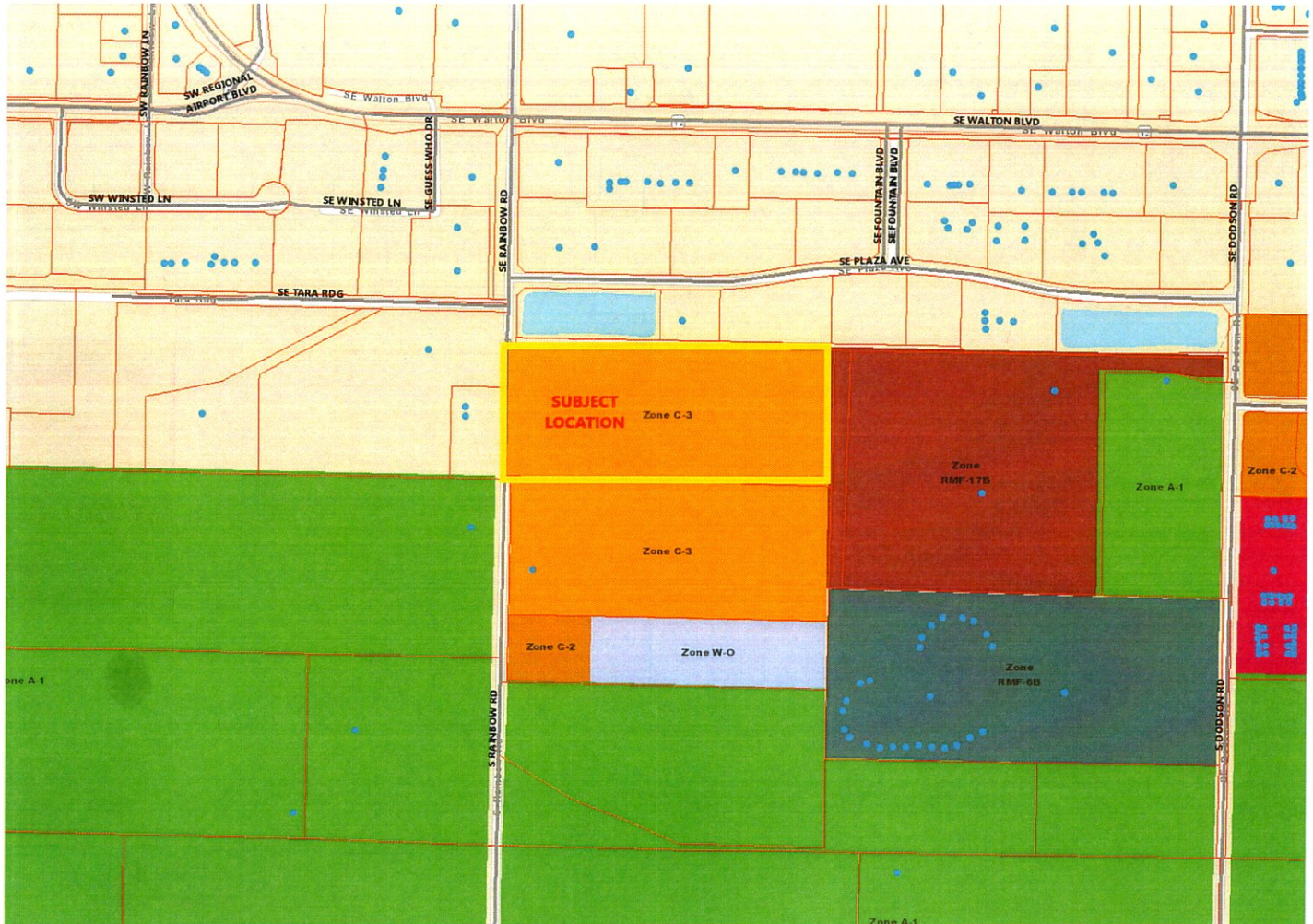
April 5, 2019

TO: PLANNING COMMISSION  
 DEVELOPMENT REVIEW COMMITTEE

**LSDP – LEGENDS SOCCER AND CROSSFIT  
 STAFF SUMMARY REPORT**

LOCATION:	1307 and 1309 S. Rainbow Road
LAND OWNER:	Legends Soccer
DEVELOPER:	Legends Soccer
APPLICANT/ ENGINEER:	Harrison French and Associates
ZONING DISTRICT:	C-3 (Neighborhood Commercial)
PLANNED USE:	Commercial Assembly, Recreation, and Entertainment (Indoor Soccer Fields and Gym), and Offices
DESCRIPTION:	12,062-sf Crossfit / Office building and 27,721-sf Legends Soccer building on 2.63 acres
WAIVERS & VARIANCES:	Yes: Waiver from using materials, surface textures and colors similar in nature to surrounding residential development.
FEES-IN-LIEU:	N/A
REQUEST:	Large-Scale Development Project approval
AUTHORITY:	Article III of Chapter 14, Rogers Code of Ordinances

**VICINITY MAP:**





## BACKGROUND

- The applicant intends to build a 12,092-sf Crossfit / office building and a 27,721-sf Legends Soccer Building on 2.63 acres at the off S. Rainbow Road.
- To the east is an undeveloped parcel, to the south and west are single-family residences, and to the north is commercial property in the City of Bentonville.
- Status: the LSDP has gone through the technical review process, and all revisions requested by staff have been completed and approved.

## STAFF REVIEW

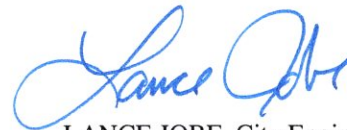
### ENGINEERING REVIEW:

- 1) Access Management: The proposed development meets all City access management standards per Sec. 14-260.
- 2) Stormwater and Water Quality:
  - a) Stormwater management: Stormwater will be managed through a proposed on-site extended dry detention pond
  - b) Water quality: Water quality will be served by the proposed on-site extended dry detention pond.
- 3) Required Public Improvements:
  - a) Street pavement and condition: The site is located on S Rainbow Road. Rainbow Road is classified on the Master Street Plan as a collector street and constructed as a 2-lane Boulevard without curb and gutter, sidewalks, or streetlights. An additional 3' of roadway with curb and gutter to be provided.  
The roadway pavement for both streets are not in substandard condition and do not require improvements.
  - b) Connectivity Standards: One required east-west connectivity street to be provided.
  - c) Streetscape:
    - i) Right-of-Way:
      - (1) S Rainbow Road: 30' right-of-way from the centerline of S Rainbow Road dedicated prior to this development.  
Additional 5' of right-of-way to be dedicated to contain the required streetscape elements
    - ii) Sidewalks and sidepaths:
      - (1) S Rainbow Road: 10' side path with minimum 6' greenspace to be provided.
    - iii) Trails: No trail construction is required on this site.
    - iv) Streetlights: Street lights to be installed within the right-of-way along S Rainbow Road and along the connectivity street to be provided.
    - v) Street trees: Street trees to be provided within the right-of-way along S Rainbow Road.
- 4) RECOMMENDATIONS:

The proposed project meets all engineering review requirements for a large scale development. Approve LSDP.



DEREC BASS, Planning Engineer  
City of Rogers Engineering Division



LANCE JOBE, City Engineer  
City of Rogers Engineering Division

### PLANNING REVIEW:

- 1) Land Use:
  - a) Comprehensive Growth Map: The proposed use is consistent with the CGM, which designates the subject property under the Neighborhood Center Growth Designation.
  - b) Zoning District: The proposed buildings meet the definition of "Commercial Assembly, Recreation, and Entertainment," and is allowed conditionally in the C-3 (Neighborhood Commercial) District. The applicant was granted a conditional use permit for "Commercial Assembly, Recreation, and Entertainment" by the Planning Commission on October 2, 2018. The conditional use permit limited the use to "indoor soccer fields and gymnasium". The proposed buildings also meet the definition of "Business and Professional Office," and is allowed by right in the C-3 (Neighborhood Commercial) District.
- 2) Disposition of Structures: The site plan conforms to all development standards and requirements per Articles III and VI of Rogers City Code (Large-Scale Development and Zoning, respectively), subject to the waiver requests below.
  - a) Landscaping: All landscaping requirements have been met.
  - b) Parking: The site plan has met all vehicle parking requirements stated in Section 14-710(f)(5).
  - c) Setbacks: The proposed project has met all setback requirements, as stated in Section 14-710(d).
  - d) Screening: The site plan has met all screening requirements, as stated in Section 14-710(d).
  - e) Exterior Design: The applicant requests a **WAIVER** from using materials, surface textures and colors similar in nature to surrounding residential development.

surrounding residential development.

3) Views of Others: No supporting or opposing comments have been received by the Planning Division.

4) **RECOMMENDATIONS**:

a) The proposed project meets all planning review requirements for a large-scale development subject to the following recommendations and waiver requests below:

- i) **Approve waiver to Sec. 14-710(f) from using materials, surface textures, and colors similar in nature to surrounding residential development.** Staff supports this waiver due to there not being a strong presence of residential housing to incorporate in the design of the proposed development.

ELIZABETH JOHNSON, Planner II  
City of Rogers Planning Division



LORI ERICSON, Planning Administrator  
City of Rogers Planning Division

#### ADMINISTRATOR'S SUGGESTED MOTION:

Motion to **approve, deny, or table** the Large-Scale Development project, contingent upon all conditions listed in the engineer's report, and with the following actions for the requested waivers:

- **Approve waiver from using materials, surface textures, and colors similar in nature to surrounding residential development.**

#### DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. McCURDY, Director  
City of Rogers Department of Community Development

#### Tabs:

- 1. Large-Scale Development Plans
- 2. Waiver Letter

*Note: This report may not reflect all information, documents, or other materials made available to officials during discussion and public input. Staff recommendations are based on a technical review of City code and materials provided by the applicant at time of submittal.*



February 15, 2019

RE: Legends Soccer & Crossfit  
1307 & 1309 S Rainbow Rd.  
Rogers, AR  
LSDP # PL201900006

Dear Planning Commission,

For the Legends Soccer & Crossfit project, we are requesting a waiver to the Sec. 14-710(f)(1), all structures in the C-3 district shall be considered using materials, surface textures and colors similar in nature to surrounding residential development. As the single-family residence next to this property is no longer in existence and appears to be moving forward with commercial development, there does not seem to be a comparable, existing precedent in this area for residential natured design. With that, we took our cues from the client's requests and the building's intended use: sports, activity the organization's logo colors, and the desire for a contemporary and modern aesthetic. It will be the first facility of its kind in NWA. We hope that you would consider this as justification in approving the current elevations for the required waiver necessary.

Sincerely,

A handwritten signature in blue ink that reads 'Kelsey Kreher'.

Kelsey Kreher  
Project Manager

A handwritten signature in black ink that reads 'Th B. Merritt'.

Thomas B Merritt  
Project Architect





# ROGERS WATER UTILITIES

"SERVING ROGERS - PROTECTING THE ENVIRONMENT"

April 4, 2019

Mr. Ryan Gill, PE  
Harrison French and Associates, LTD Civil  
1705 S. Walton BLVD., Suite 3  
Bentonville, AR 72712

Re: Conditional Approval of Civil Plans  
Legends Soccer & Crossfit

Dear Mr. Gill,

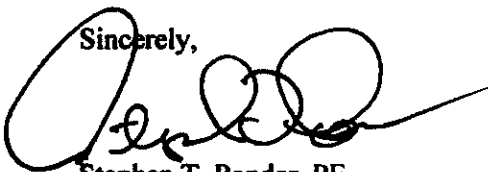
We have reviewed the plans that were received for the referenced project and are approving them with the following conditions:

1. Sewer lines should be designed a minimum of 18" beneath water mains where they cross in accordance with the intent of "Ten States Standards" and "The Rules and Regulations Pertaining to Public Water Systems" where possible. It should always be possible when the sewer is a force main. However, both water and sewer are designed too deep. Shallow both water and sewer to less than 10 feet even if you cannot maintain the positive grade we required previously on the water main and have to install air/vacuum valves. Sewer should be designed a minimum of 18" beneath water on this project and neither should be over 10 feet deep (the maximum depth a rubber tired backhoe can attain).
2. Utility easements are not required within city rights-of-way. In response to previous comment #5, remove the portion of easement that is within the city right-of-way.
3. You will need to provide your own detail for the RPZA installation in accordance with previous comment #9, since ours only explains the information needed in yours.
4. The plug/demarcation valve should be shown just south of the private sanitary sewer pump and not on the public portion of the line. See previous comment #15.
5. The fire hydrant lines can be specified as 6" in accordance with RWU Standard Detail WD-1/4A. (This includes the temporary flushing hydrant unless this line is going to extend north in the future.)
6. Review the RWU Standard Details for proper meter service connections depending on size. Some of your notes do not agree with our standards.
7. The 6" Fire Line will connect to the 8" water main with an 8"x 6" Tee instead of a tap.
8. It appears the point of connection for the proposed water main isn't shown at the existing valve where it's supposed to connect.
9. The proposed force main flow line into the existing manhole should be 1276.17.

10. Locate the future meter behind the sidewalk.
11. Remove Detail 3 (Steel Water Line Encasement) on Page C10.5 and refer to the RWU Standard Detail instead.
12. The following must be submitted prior to scheduling a pre-construction meeting:
  - A. The utility contractor must be licensed by the State of Arkansas in the Underground Piping, Cable, Trenching, Boring Specialty Class or as a Municipal Utility Contractor. A copy of the contractor's license must be submitted if the contractor has not worked recently within the Utility's service area.
  - B. One copy of the revised plans for review.
  - C. Written approval from the Arkansas Department of Health.
  - D. A signed copy of the enclosed Special Contract for Facilities Extensions. Please note and bring to the attention of your client that access fees and impact fees are defined in the contract and must be delivered to the Utility before water service will be established.
  - E. A copy of the executed contract between the developer or general contractor and the utility contractor.
  - F. Performance and payment bonds executed by the utility contractor.
  - G. Three copies of the approved plans submitted at the pre-construction meeting.

Approval of this project is void if construction is not started within one year of the date affixed hereto.

Sincerely,

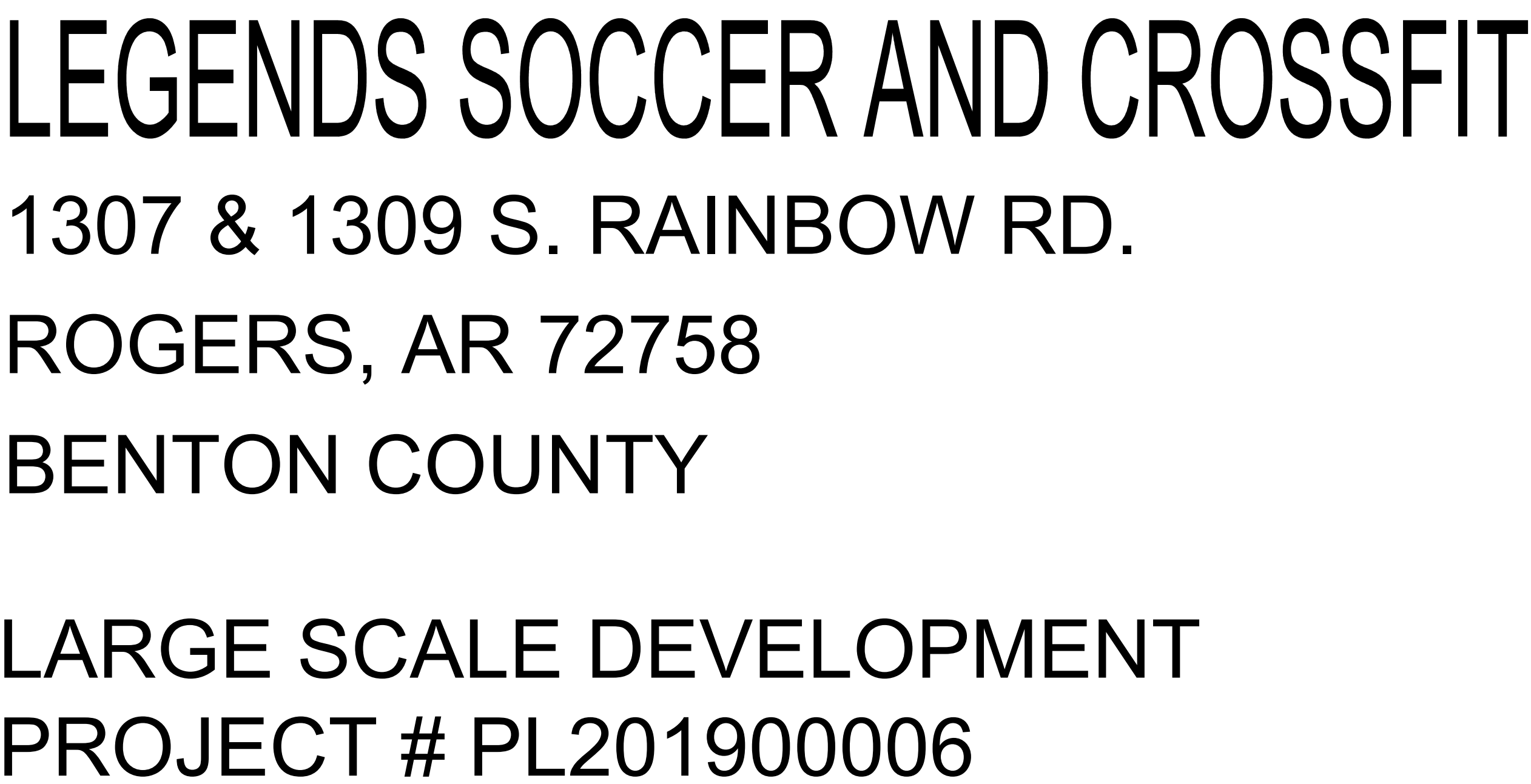


Stephen T. Ponder, PE  
Project Engineer

SP:DG

Attachment(s): Special Contract for Facilities Extension





THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

CITY OF ROGERS STAMP



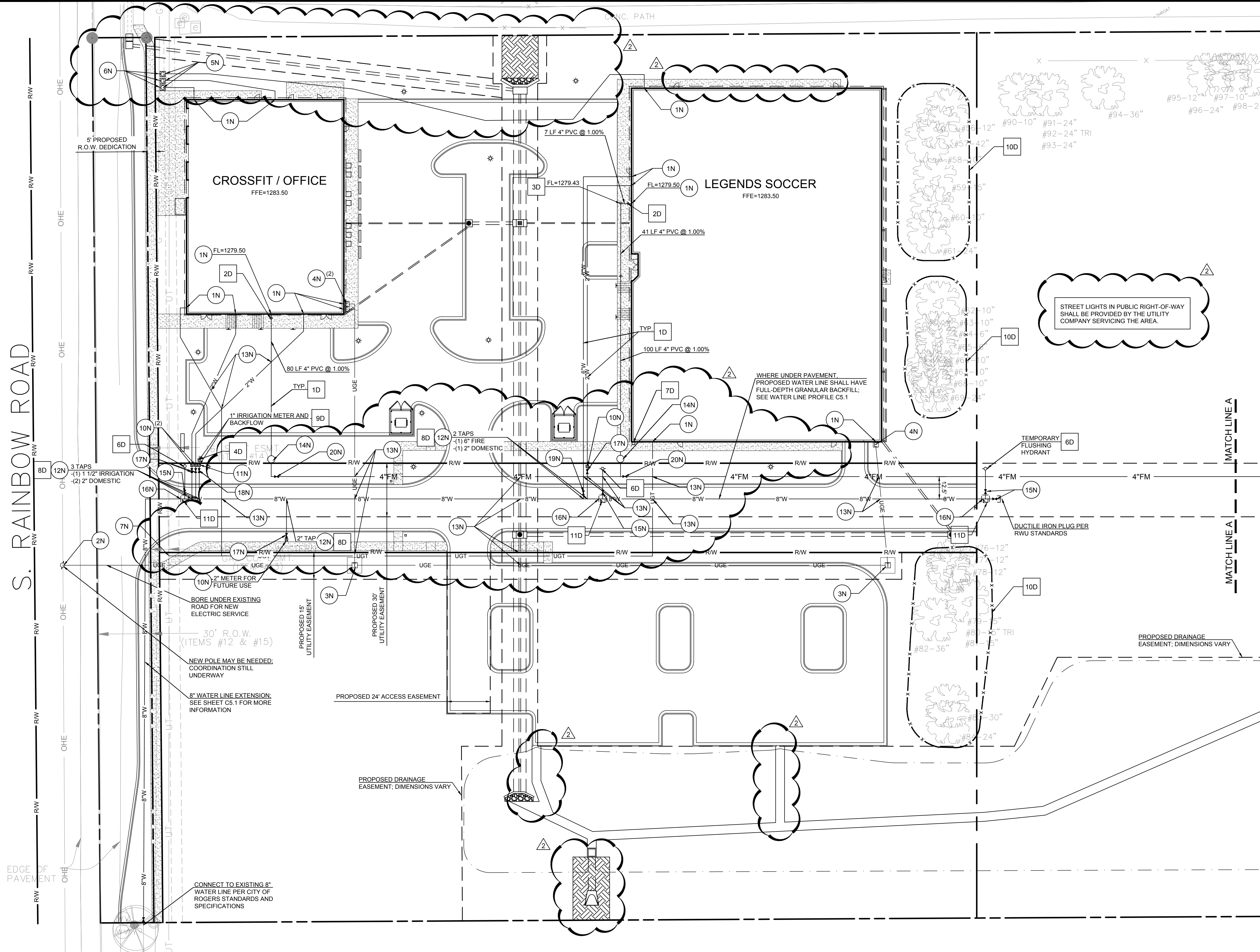
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S. RAINBOW ROAD



#### PROPOSED LEGEND

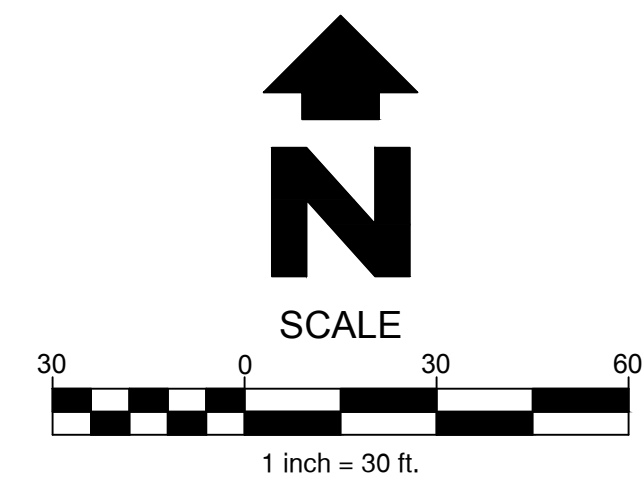
---	PROPERTY LINE
-X-W-	WATERLINE
-X-SS-	SANITARY SEWER LINE
-UGT-	UNDERGROUND TELEPHONE
-UGE-	UNDERGROUND ELECTRIC
-GAS-	GAS LINE
-SS-	STORM SEWER
-L- -L-	LIMITS OF PONDING
-X-X-X-X-	TREE PROTECTION FENCING
[Symbol]	JUNCTION BOX, CURB INLET, GRATE INLET
[Symbol]	ELECTRIC METER
[Symbol]	GAS METER
[Symbol]	PARKING COUNT
[Symbol]	TRANSFORMER
[Symbol]	WATER METER
[Symbol]	BACKFLOW PREVENTER
[Symbol]	FIRE DEPARTMENT CONNECTION
[Symbol]	FIRE HYDRANT
[Symbol]	WATER VALVE

#### NOTES

- 1N. CONNECT TO BUILDING
- 2N. CONNECT TO EXISTING ELECTRICAL SERVICE
- 3N. TRANSFORMER (PAD MOUNT)
- 4N. ELECTRIC METER
- 5N. GAS METER
- 6N. CONNECT TO EXISTING GAS LINE
- 7N. CONNECT TO EXISTING TELEPHONE LINE
- 8N. CONNECT TO EXISTING SANITARY SEWER MANHOLE, TO BE CONSTRUCTED BY ADJACENT PROPERTY OWNER
- 9N. NOT USED
- 10N. 2" WATER METER; DOMESTIC BACKFLOW TO BE LOCATED IN BUILDING
- 11N. 1" IRRIGATION METER
- 12N. CONNECT TO PROPOSED WATER LINE
- 13N. MAINTAIN 18" VERTICAL SEPARATION
- 14N. PRIVATE SANITARY SEWER PUMP; FURTHER INFORMATION TBD
- 15N. 8" GATE VALVE
- 16N. 8"x8"x8" SWIVEL TEE WITH SPLIT SWIVEL GLAND
- 17N. 2" GATE VALVE
- 18N. 1" GATE VALVE
- 19N. 6" DEMARCATION VALVE
- 20N. PLUG / DEMARCATION VALVE

#### DETAILS

- 1D. UTILITY TRENCH AND BEDDING, SEE RWU DETAILS
- 2D. TWO-WAY SANITARY SEWER CLEAN OUT, SEE DETAIL 2/C10.5
- 3D. SANITARY SEWER CLEAN OUT, SEE DETAIL 4/C10.5
- 4D. REDUCED PRESSURE BACKFLOW ASSEMBLY, CITY OF ROGERS STANDARD WATER DETAIL WD-1/8 ON SHEET C10.8; ENCLOSURE SHALL BE FROST FREE; IRRIGATION BACKFLOW SHALL BE RPZA, WATTS 919QT, 1" IN SIZE AND INSTALLED PER RWU STANDARD DETAILS
- 5D. NOT USED
- 6D. FIRE HYDRANT ASSEMBLY, CITY OF ROGERS STANDARD WATER DETAILS C10.8
- 7D. FIRE DEPARTMENT CONNECTION, CITY OF ROGERS STANDARD WATER DETAILS C10.8
- 8D. STANDARD 2" WATER SERVICE DETAILS, REFER TO CITY OF ROGERS STANDARD WATER DETAILS C10.8
- 9D. 1" METER BOX DETAILS, REFER TO CITY OF ROGERS STANDARD WATER DETAILS WD-1/7 ON SHEET C10.8
- 10D. TREE PROTECTION FENCING, SEE DETAIL 4/C6.2
- 11D. THRUST BLOCKING DETAIL, SEE DETAIL 20/WD-1



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**LEGENDS SOCCER AND CROSSFIT**  
1307 & 1309 S. RAINBOW RD.  
ROGERS, AR 72768

PROJ NUMBER: 18-18-00081

#### ISSUE BLOCK

[Symbol]	TITLE	DATE
[Symbol]	OTP	1/4/2019
[Symbol]	REV-1	1/30/2019
[Symbol]	REV-2	3/20/2019

DOCUMENT DATE: 3/19/2019

CHECKED BY: DRG

DRAWN BY: SAB

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HARVIE MALCOLM ATTWOOD, PE  
LICENSE # 17404

**UTILITY  
PLAN**

SHEET:

**C5.0**

CITY OF ROGERS STAMP



GENERAL LANDSCAPE NOTES:

THIS PLAN IS FOR LANDSCAPE LAYOUT ONLY. ALL GRADING, UTILITIES, SITE STRUCTURES, ETC. ARE FOR REFERENCE ONLY AND SHALL BE VERIFIED WITH CIVIL PLANS AND IN THE FIELD.

ALL PLANT MATERIALS SHALL ARRIVE AT THE SITE WITH SOIL MOIST.

CONTRACTORS SHALL HAVE UNDERGROUND UTILITIES LOCATED, LEGIBLY MARKED, AND SHALL REPAIR ANY AND ALL DAMAGE WHICH MAY OCCUR AS A RESULT OF LANDSCAPE INSTALLATION. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATED, AND SHOULD BE VERIFIED ON THE CIVIL UTILITY PLAN AND IN THE FIELD.

UNDER NO CIRCUMSTANCES WILL LANDSCAPE WORK BE APPROVED FOR PAYMENT IF PLANT SIZE AND GENERAL HEALTH ARE NOT AS REQUIRED ON PLAN.

ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED AND MEET ALL REQUIREMENTS AS SPECIFIED.

ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT AND THE OWNER BEFORE, DURING AND AFTER INSTALLATION.

THE LANDSCAPE ARCHITECT MUST APPROVE ANY ALTERATIONS OR REVISIONS TO THE LANDSCAPE PLAN.

THE CONTRACTOR SHALL PROTECT EXISTING FEATURES ON SITE.

ALL DISTURBED AREAS ON AND OFF THE SITE, INCLUDING THE TEMPORARY DETENTION AREA, SHALL BE COMPLETELY HYDROSEEDDED OR SODDED WITH GRASS SEED SPECIFIED ON PLANS.

SEEDING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER BED PREPARATION. HYDROSEED MIXTURE SHALL CONTAIN CELLULOSE MULCH APPLIED AT A RATE OF 2,000 LBS./ACRE, WITH A MAXIMUM OF 50 LBS./100 GAL. OF WATER. IF SEEDING IS DELAYED AFTER MIXING 1/2 - 2 HOURS ADD AN ADDITIONAL 50% OF SEED MIX. IF DELAY IS LONGER THAN 2 HOURS, BEGIN WITH NEW MIXTURE.

MAINTENANCE: SEEDING AREAS ARE TO BE WATERED ENOUGH TO MAINTAIN ADEQUATE SURFACE SOIL MOISTURE FOR PROPER SEED GERMINATION. WATERING SHALL CONTINUE FOR ALL GRASSED AREAS FOR NOT LESS THAN 30 DAYS FOLLOWING SEEDING OR UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED. IMMEDIATELY RESEED, FERTILIZE, AND MULCH DAMAGED AREAS OR ANY AREA THAT FAILS TO ACHIEVE THE COVERAGE SPECIFIED ABOVE UNTIL A HEALTHY STAND OF GRASS, WITH 90% OR MORE COVERAGE, IS ACHIEVED.

THE LANDSCAPE CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN ON THESE PLANS, BEFORE PRICING THE WORK.

THE LANDSCAPE CONTRACTOR SHALL FULLY MAINTAIN ALL PLANTING (INCLUDING BUT NOT LIMITED TO WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF PLANTING AREAS AND LAWNS FOR 90 DAYS AFTER SUBSTANTIAL COMPLETION.

THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE THE END OF THE GUARANTEE PERIOD (AS PER DIRECTION OF THE OWNER).

ANY PLANT MATERIAL WHICH DIES, TURNS BROWN OR DEFOOLIATES (PRIOR TO TOTAL ACCEPTANCE OF WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL PLANT LIST SPECIFICATIONS.

STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1) REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR ALL NEW PLANT MATERIAL. ALL NEW PLANT MATERIAL SHALL BE PLANTED AND MAINTAINED IN ACCORDANCE WITH THE LATEST EDITION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE REQUIREMENTS FOR TREE, SHRUB, AND OTHER WOODY PLANT MAINTENANCE (ANSI A300 PARTS 1 THROUGH 6).

ALL TOPSOIL (4"-5" IN PLANTING BEDS) (1"-2" FOR SEED AND SOD AREAS) APPLIED TO THE SITE SHALL BE LOAMY, FRIABLE SOIL, CONTAINING A MINIMUM OF 1.5 PERCENT BY DRY WEIGHT ORGANIC MATTER, FREE FROM SUBSOIL, REFUSE, ROOTS, HEAVY OR STIFF CLAY, STONES LARGER THAN 25 MM (1 IN.), NOXIOUS SEEDS, STICKS, BRUSH, LITTER, AND OTHER DELETERIOUS SUBSTANCES; SUITABLE FOR THE GERMINATION OF SEEDS AND THE SUPPORT OF VEGETATIVE GROWTH. THE PH VALUE SHALL BE BETWEEN 5.5 AND 6.5.

ALL PLANTING AREAS SHALL BE TOP DRESSED WITH SHREDDED HARDWOOD MULCH AT A MIN. 4" DEPTH ON DEWITT PRO 5 LANDSCAPE FABRIC. TOP OF MULCH SHALL BE EVEN WITH TOP OF CURBS OR EDGING. SEE CIVIL PLANS FOR ELEVATIONS. SECURE FABRIC WITH PINS OR STAPLES (2"x5"). PINS SHALL BE PLACED AT 5' O.C. AND JOINTS SHALL OVERLAP BY 12"

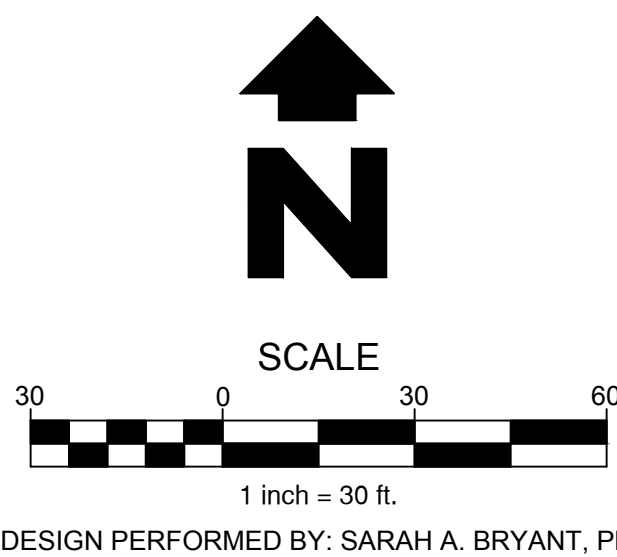
LANDSCAPE EDGING TO BE STEEL AND SHALL BE DARK IN COLOR.

THIS SHEET IS FOR THE PURPOSE OF LANDSCAPING ONLY. ALL GRADING, UTILITIES, SITE FEATURES, ETC. ARE FOR REFERENCE ONLY. PLEASE REFER TO CIVIL PLANS FOR MORE DETAILS.

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT INSTALLED LANDSCAPING DOES NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS. IT SHALL BE THE OWNERS RESPONSIBILITY TO MAINTAIN ALL LANDSCAPING SO AS TO NOT INTERFERE WITH OR OBSTRUCT ANY ADA PATHS OR OTHER VEHICULAR OR PEDESTRIAN USE AREAS

CITY OF ROGERS LANDSCAPE NOTES:

THE OWNER/DEVELOPER SHALL PROVIDE A THREE-YEAR REPLACEMENT GUARANTEE FOR ALL LANDSCAPE TO THE CITY OF ROGERS DEPARTMENT OF COMMUNITY DEVELOPMENT STARTING ONCE INSTALLATION IS COMPLETE.



PLANT SCHEDULE

EVERGREEN TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	MG	15	Dwarf Southern Magnolia / Magnolia grandiflora 'Little Gem'	B & B	2.5"Cal	8' min.
(SHADE TREES) MITIGATION TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	QC	7	Scarlet Oak / Quercus coccinea	B & B	2.5"Cal	6' min.
	QF	9	Southern Red Oak / Quercus falcata	B & B	2.5"Cal	6' min.
ORNAMENTAL TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	CC2	3	Oklahoma Redbud / Cercis canadensis 'Oklahoma'	B & B	2"Cal	6' min.
SHADE TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	QS2	4	Shumard Red Oak / Quercus shumardii	B & B	2.5"Cal	6' min.
STREET TREES	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE
	CC	10	Oklahoma Redbud / Cercis canadensis 'Oklahoma' Single Stem	B & B	2.5"Cal	
	QS	5	Shumard Red Oak / Quercus shumardii	B & B	2.5"Cal	6' min.
SHRUBS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		
	AG	25	Glossy Abelia / Abelia x grandiflora 'Edward Goucher'	5 gal		
	JH	40	Emerald Spreader Juniper / Juniperus horizontalis 'Emerald Spreader'	1 gal		
	RA	17	Gro-Low Fragrant Sumac / Rhus aromatica 'Gro-Low'	5 gal		
GROUND COVERS	CODE	QTY	COMMON NAME / BOTANICAL NAME	CONT		SPACING
	CD2	68,525 sf	Bermuda Grass / Cynodon dactylon	seed		
	CD	100,372 sf	Bermuda Grass / Cynodon dactylon	sod		

GREENSPACE / PERVIOUS RATIO CALCULATION:  
GREENSPACE AREA = 33%  
IMPERVIOUS AREA = 67%

CITY PLANTING REQUIREMENTS:

		REQ	PROV.
GREENSPACE	C-3 ZONING REQUIRES MIN. 10% OF TOTAL SITE AREA BE GREENSPACE SITE AREA = 110,065 SF X 0.10 = 11,006 SF OF GREENSPACE REQUIRED	11,006 SF OR 10%	36,887 SF OR 33%
	1 TREE OR SHRUB REQUIRED FOR EVERY 1,000 SF OF SITE AREA SITE AREA = 110,065 SF / 1,000 SF = 110 TREES OR SHRUBS	110 TREES OR SHRUBS	31 TREES 79 SHRUBS
	A MIN. OF 25% OF REQUIRED TREES OR SHRUBS SHALL CONSIST OF TREES A MAX. OF 25% OF TREES MAY BE ORNAMENTAL A MIN. OF 10% OF TREES SHALL BE EVERGREEN	28 MIN. TREES 7 MAX. ORNAMENTAL TREES 3 MIN. EVERGREEN TREES	31 TREES TOTAL (14 EXISTING) 3 ORNAMENTAL TREES 15 EVERGREEN TREES
INTERIOR PARKING LOT LANDSCAPING	ONE TREE REQUIRED EVERY 15 SPACES IF 10 OR MORE SPACES ARE PROPOSED TOTAL SPACES = 67 ON-SITE + 50 OFF-SITE = 117 SPACES / 15 = 8 TREES INTERIOR TREES SHALL BE PLACED ON EITHER SIDE OF POINTS OF ACCESS WITHIN TREE ISLANDS	8 TREES	8 TREES
STREET TREES	TREE SPACING SHALL BE 30' FOR TREES LESS THAN 20' TALL, 40' FOR TREES 30-50' TALL, AND 50' FOR TREES 50' OR TALLER.	YES	YES
	ONLY TREES ON THE <20' TALL LIST MAY BE USED WITHIN 20' OF OVERHEAD UTILITIES OR WITHIN 10' OF UNDERGROUND UTILITIES.	YES	YES
	TREES SHALL NOT BE PLANTED WITHIN 20' OF A LIGHT POLE	YES	YES
	TREES SHALL BE CENTERED IN THE GREENSPACE	YES	YES
MITIGATION TREES	IF MORE THAN 7 SIGNIFICANT TREES ARE REMOVED THEN 1 TREE MUST BE PLANTED FOR EVERY 5 SIGNIFICANT TREES THAT ARE REMOVED. 65 SIGNIFICANT TREES REMOVED / 5 = 13 TREES TO BE REPLACED	13 TREES TO BE REPLACED	13 TREES REPLACED

**HFA**  
ARCHITECTS  
ENGINEERS  
INTERIORS

**HARRISON FRENCH**  
& ASSOCIATES, LTD

1705 S. Walton Blvd., Suite 3  
Bentonville, Arkansas 72712  
t 479.273.7780  
f 888.520.9685  
www.hfa-ac.com

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