

DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

TO: PLANNING COMMISSION

FEBRUARY 14, 2019

**PRELIMINARY PLAT – ROSELAWN SUBDIVISION
STAFF SUMMARY REPORT**

LOCATION:	18.27± acres on E. New Hope Road surrounding existing church
LAND OWNER:	Christ for the World International
DEVELOPER:	Bell Construction Solutions
APPLICANT/ ENGINEER:	Bell Construction Solutions / Expedient Civil Engineering
ZONING DISTRICT:	N-R (Neighborhood Residential)
PLANNED USE:	Single-Family Residential
DESCRIPTION:	87 total lots on 18.27± acres resulting in a density of approx. 4 units per acre
WAIVERS:	Connectivity; lot dimensions
FEES-IN-LIEU:	N/A
REQUEST:	Preliminary Plat approval
AUTHORITY:	Article V of Chapter 14, Rogers Code of Ordinances

VICINITY MAP



This report may not reflect all information, documents, or other materials made available to officials during discussion and public input. Staff recommendations are based on technical review of City code and materials provided by the applicant at time of submittal.

BACKGROUND

- **Program:** The developer intends to plat 87 total lots on 18.27±acres for single-family residential development.
- **Location Context:** The site is located in the southeast corner of city limits and is surrounded by low-density residential.
- **Process History:** The plat has gone through the technical review process, and all revisions requested by staff have been completed with the exception of requested waivers. RWU has issued conditional approval. This project received a unanimous recommendation for approval from Subdivision Committee on 2/7/19 with the following actions on requested waivers and recommendations:
 - i) Recommended approval of the waiver to Sec. 14-64(c)(2) for the requirement to provide a local street (stub-out) connection along each boundary that abuts potentially developable or re-developable land.
 - ii) Recommended denial of the waiver to Sec. 14-604(c)(3) for the requirement that minor streets to align with existing nearby streets to the extent practical. The applicant has since revised their plans to be in compliance with Sec. 14-604(c)(3) and the waiver can be withdrawn.
 - iii) Recommended approval of a variance to Sec. 14-702(d)(3) for lot depth reduction for lots affected by the denied street alignment waiver.
 - iv) Recommended approval of the variance to Sec. 14-702(c)(2)(b) for 5' interior side setbacks rather than the minimum 6' setback.
 - v) Recommended approval of the variance to Sec. 14-702(d)(2) for 50' lot width rather than the minimum 60' width.

STAFF REVIEW

ENGINEERING REVIEW:

- 1) **Access Management:** The site meets all requirements for City access management standards per Sec. 14-260.
- 2) **Stormwater and Water Quality:**
 - a) **Stormwater Management:** Stormwater will be managed by two extended dry detention facilities.
 - b) **Water Quality:** Water quality will be achieved through the proposed extended dry detention facilities.
- 3) **Required Public Improvements:**
 - a) **Street Pavement and Condition:**
 - i) The site is located on E. New Hope Rd. and is classified on the Master Street Plan as a collector street and constructed as a 2-lane road with pavement not in substandard condition. The existing road is proposed to be widened to the minimum required width bordering the project site along the north half of the road.
 - ii) Interior streets to be constructed per the Master Street Plan minor street typical section with all required streetscape items.
 - b) **Street Connectivity:**
 - i) The applicant requests a **WAIVER** to Sec. 14-604(c)(2) for the requirement to provide local street (stub-out) connections along each boundary that abuts potentially developable or re-developable land so that local cross streets exist spaced at intervals not to exceed 660 feet and not less than 200 feet. See applicant's waiver request letter (Tab 2).
 - c) **Streetscape:**
 - i) **Right-of-Way:**
 - (1) **E. New Hope Road:** Minimum required 35' right-of-way to be dedicated from the centerline of E. New Hope Rd.
 - (2) **Interior Street:** 50' total right-of-way width to be dedicated per the Master Street Plan minor street typical section.
 - ii) **Sidewalks and Sidepaths:**
 - (1) **E. New Hope Road:** 6' sidewalk with 6' greenspace to be provided per the Master Street Plan collector street typical section.
 - (2) **Interior Street:** 5' sidewalk with 4.5' greenspace to be provided per the Master Street Plan minor street typical section.
 - iii) **Trails:** No trail construction is required.
 - iv) **Streetlights:**
 - (1) **E. New Hope Road:** One required streetlight to be provided at the proposed intersection of S. 'O' St. and E. New Hope Rd. The streetlights shall be an approved equal to the City standard streetlights provided by the utility company serving this area.
 - (2) **Interior Street:** Required street lighting to be provided along the interior streets. The streetlights shall be an approved equal to the City standard streetlights provided by the utility company serving this area.
 - v) **Street Trees:**
 - (1) **E. New Hope Road:** Street trees to be provided within the right-of-way.
 - (2) **Interior Street:** Street trees to be provided within the right-of-way.
 - 4) **RECOMMENDATIONS:** The proposed project meets all engineering review requirements for a preliminary plat subject to the following recommendations and waiver requests:

- a) **Approve the waiver to Sec. 14-64(c)(2) for the requirement to provide a local street (stub-out) connection along each boundary that abuts potentially developable or re-developable land.** Per Sec. 14-604(c)(6), "The requirements of paragraphs 14-604(c)(2) may be waived if, in the written opinion of the City Engineer, they are infeasible due to existing development..." The applicant is providing one of the two required street stub-outs to the west property boundary. Staff believes that the proposed stub-out to the west property boundary, as depicted in the preliminary plat, would be adequate because the area to the west has already developed and would unlikely allow for a connection to another City street.



DYLAN COBB, Planning Engineer
City of Rogers Engineering Division



LANCE JOBE, City Engineer
City of Rogers Engineering Division

PLANNING REVIEW:

- 1) Land Use:
 - a) Comprehensive Growth Map: The proposed development is consistent with the current Comprehensive Growth Map which designates the subject location as "Neighborhood" (Tab 5).
 - b) Zoning District: The proposed development meets the definition of "Single-Family Residential" per Sec. 14-695(b)(1)(k).
- 2) Development Standards: The plat conforms to all N-R development standards and required plat data, with the exception of the following variances:
 - a) The applicant requests a **VARIANCE** to Sec. 14-702(c)(2)(b) for 5' interior side setbacks rather than the minimum 6' setback.
 - b) The applicant requests a **VARIANCE** to Sec. 14-702(d)(2) for 50' lot width rather than the minimum 60' width.
 - c) The applicant requests a **VARIANCE** to Sec. 14-702(d)(3) for lot depth reductions for lots affected by the denied street alignment waiver.
- 3) Views of Others: No supporting or opposing comments have been received by the Planning Division to date.
- 4) RECOMMENDATIONS: The proposed project meets all planning review requirements for a preliminary plat subject to the following recommendations and variance requests:
 - a) Consider request with regard to land-use compatibility and the health, safety, and general welfare of the public.
 - b) **Approve the variance to Sec. 14-702(c)(2)(b) for 5' interior side setbacks rather than the minimum 6' setback.** The proposed setbacks align with R-AH standards. The applicant initially requested R-AH zoning but modified the request to N-R upon discussion with Planning Commission in order to prevent the possibility of manufactured homes. The proposed setbacks would not adversely impact adjacent property or deviate from commonly accepted standards or best practices.
 - c) **Approve the variance to Sec. 14-702(d)(2) for 50' lot width rather than the minimum 60' width.** The proposed lot widths align with R-AH standards. The applicant initially requested R-AH zoning but modified the request to N-R upon discussion with Planning Commission in order to prevent the possibility of manufactured homes. The proposed lot widths would not adversely impact adjacent property or deviate from commonly accepted standards or best practices.
 - d) **Approve the variance to Sec. 14-702(d)(3) for lot depth reductions for lots affected by the denied street alignment waiver.** The denied street alignment waiver reduces the depth of Lots 1-4 from 100' to 85'. The Subdivision Committee suggested this variance in order to maintain proper alignment of S. O Street while ensuring viable lot dimensions for the developer.
 - e) **Approve preliminary plat.**



ETHAN HUNTER, Planner III
City of Rogers Planning Division



LORI ERICSON, Planning Administrator
City of Rogers Planning Division

SUGGESTED MOTION:

- 1) Move to **approve, deny, or table** the preliminary plat contingent upon all conditions and recommendations listed in the staff report, with the following action for the requested waivers and variances:
 - a) **Approve** the waiver to Sec. 14-64(c)(2) for the requirement to provide a local street (stub-out) connections along each boundary that abuts potentially developable or re-developable land.
 - b) **Approve** the variance to Sec. 14-702(c)(2)(b) for 5' interior side setbacks rather than the minimum 6' setback.
 - c) **Approve** the variance to Sec. 14-702(d)(2) for 50' lot width rather than the minimum 60' width.

- d) **Approve** the variance to Sec. 14-702(d)(3) for lot depth reductions for lots affected by the denied street alignment waiver.

DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. McCURDY, Director
City of Rogers Department of Community Development

Tabs:

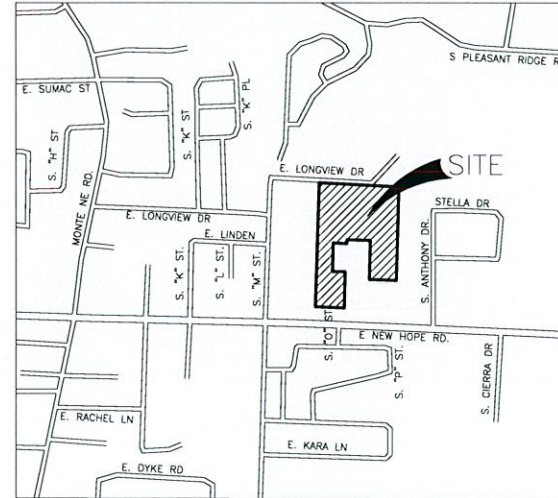
1. Preliminary plat
2. Waiver request letter
3. Infrastructure Improvement Agreement
4. RWU conditional approval letter
5. Maps and/or photos

ROSELAWN SUBDIVISION 1221 E NEW HOPE ROAD ROGERS, ARKANSAS

CONSTRUCTION NOTES

- CONTRACTOR SHALL RETAIN A FULL SET OF THE LATEST APPROVED CONSTRUCTION PLANS ON SITE DURING CONSTRUCTION ACTIVITIES.
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE SITEMARK SPECIFICATIONS PROVIDED BY EXPEDIENT CIVIL ENGINEERING, PLLC OR AS SPECIFIED BY THE DEVELOPER'S RESIDENT REPRESENTATIVE.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY:**

THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL ENSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO HIGHWAYS IN THE CONSTRUCTION AREA IN AN ADEQUATE AND SATISFACTORY MANNER IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR STREETS AND HIGHWAYS AND THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
- GRADING NOTES:**
 - THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES EXCEPT THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PAVED AREA. BURNING OF TIMBER AND DEBRIS WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS.
 - AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 8-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY PER ASTM D1557. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.
 - OFF-SITE FILL MATERIAL (SANDY CLAY, CLAYEY SAND, GRAVELLY CLAY, OR CLAYEY GRAVEL), SHALL HAVE A PLASTICITY INDEX OF 15 OR LESS, A LIQUID LIMIT OF 40 OR LESS, A CBR VALUE GREATER THAN 8, AND CONTAIN NO ROCK LARGER THAN 4 INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE DEVELOPER'S REPRESENTATIVE PRIOR TO BRINGING ON SITE.
 - AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A FULLY LOADED TANDEM-AXLE DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOILS. CUT AREAS ARE TO BE SCARIFIED AND RECOMPACTED TO 95% MAXIMUM DRY DENSITY PER ASTM D698 AND TESTED BY A GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF BASE MATERIAL.
 - IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOILS ARE ENCOUNTERED, A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE DEVELOPER'S CONSTRUCTION DIVISION ON THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHALL BE PERFORMED DURING A SUFFICIENT DURATION OF DRY WEATHER PERIOD.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND SCATTERING IN THE AIR DURING CONSTRUCTION AND SHALL PROVIDE WATER SPRINKLING OR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 - AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF THE SUBGRADE FOR COMPLIANCE WITH THE MINIMUM REQUIREMENTS OF SUBGRADE COMPACTION. FOR BASE COURSE AND ASPHALT PAVING.
 - ALL SLOPES ARE TO BE 3:1 OR FLATTER UNLESS OTHERWISE INDICATED. SLOPES STEEPER THAN 3:1, BUT FLATTER THAN 2:1 SHALL BE STABILIZED BY AN APPROVED VEGETATIVE LAYER OR OTHER APPROVED METHODS.
 - ALL SLOPES EXCEEDING 2:1 SHALL BE PROTECTED BY RIP-RAP, CONCRETE PAVING, OR OTHER METHODS INDICATED ON THESE PLANS THAT WILL PREVENT EROSION, AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED.
- PAVING NOTES:**
 - ASPHALT CONCRETE SURFACE SHALL BE TYPE 2 PER SECTION 407 AND BASE COURSE MATERIALS SHOULD MEET OR EXCEED THE REQUIREMENTS SPECIFIED IN THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
 - AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF IN-PLACE ASPHALT CONCRETE COURSES FOR COMPLIANCE WITH REQUIREMENTS FOR THICKNESS AND SURFACE SMOOTHNESS REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
- CONCRETE NOTES:**
 - CONCRETE PAVING AND STRUCTURES SHOULD CONFORM TO THE ARKANSAS DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, LATEST EDITION.
 - AN INDEPENDENT TESTING LABORATORY, SELECTED AND PAID BY THE CONTRACTOR, APPROVED BY THE DEVELOPER, SHALL BE RETAINED TO PERFORM CONSTRUCTION TESTING OF CONCRETE FOR COMPLIANCE WITH CONCRETE STRENGTH REQUIREMENTS AS SPECIFIED IN THE CONSTRUCTION SPECIFICATIONS.
 - VERTICAL CONCRETE SURFACES EXPOSED TO THE GENERAL PUBLIC SHALL BE WET-RUBBED TO A SMOOTH FINISH AFTER FORMS HAVE BEEN REMOVED. HORIZONTAL SURFACES SHALL BE BROOMED AS REQUIRED IN THE CONSTRUCTION PROJECT SPECIFICATIONS.
 - CONTRACTOR IS TO PROVIDE WEAKENED-PLANE (CONSTRUCTION) JOINTS, SECTIONING CONCRETE INTO AREAS AT 10-FOOT ON CENTERS, MAXIMUM EACH WAY. CONSTRUCT WEAKENED-PLANE JOINTS FOR A DEPTH EQUAL TO AT LEAST 1/4" CONCRETE THICKNESS. CONTRACTOR IS TO FURNISH JOINT FILLERS APPROVED BY THE DEVELOPER'S CONSTRUCTION DIVISION OR AS DETAILED ON PLANS.
- UTILITY NOTES:**
 - CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM ROGERS WATER UTILITIES, AND THE CONTRACTOR HAS BEEN NOTIFIED BY EXPEDIENT CIVIL ENGINEERING, PLLC.
 - CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO ROGERS WATER UTILITIES UNLESS DULY AUTHORIZED TO DO SO BY ROGERS WATER UTILITIES. ANY ADVERSE CONSEQUENCES OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. EXPEDIENT CIVIL ENGINEERING, PLLC AND THE DEVELOPER ARE TO BE HELD HARMLESS.
 - DISINFECTION AND PRESSURE TESTING OF WATER LINES SHALL BE PERFORMED AND PAID FOR BY THE CONTRACTOR UNDER SUPERVISION OF A REPRESENTATIVE OF CENTERTON WATER AND SEWER DEPARTMENT AND A REPRESENTATIVE OF EXPEDIENT CIVIL ENGINEERING, PLLC. CONTRACTOR SHALL NOTIFY EXPEDIENT CIVIL ENGINEERING, PLLC AT LEAST ONE WEEK IN ADVANCE, PRIOR TO ANY TESTING.
 - ALL WATER AND SEWER MAINS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST ROGERS WATER UTILITIES STANDARD SPECIFICATIONS AND THE ARKANSAS STATE HEALTH DEPARTMENT STANDARD SPECIFICATIONS, AND SHALL BE INSPECTED BY THE UTILITY INSPECTOR & EXPEDIENT CIVIL ENGINEERING, PLLC.
- BLASTING AND EXPLOSIVE MATERIALS:**
 - THE CONTRACTOR IS SUBJECT TO ALL FEDERAL, STATE AND LOCAL REGULATIONS GOVERNING THE USE AND STORAGE OF EXPLOSIVE MATERIALS AND IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND LICENSES.
 - EXPEDIENT CIVIL ENGINEERING, PLLC ACCEPTS NO RESPONSIBILITY OR LIABILITY PERTAINING TO STORAGE, USE, METHODS, PROCEDURES, SAFETY PRECAUTIONS, TECHNICAL SPECIFICATIONS, CONCERNING BLASTING AND EXPLOSIVE MATERIALS. THE CONTRACTOR SHALL HOLD THE OWNER, ENGINEER, AND THEIR ASSOCIATES HARMLESS WITH REGARD TO BLASTING AND EXPLOSIVE MATERIALS.





18	17	16	15
19	20	21	22
30	29	28	27
31	32	33	34

NOTES:

1. SEE SHEET C22.0 FOR STREET SIGNAGE, CROSSWALK, TREE, AND ACCESSIBLE RAMP PLACEMENT.

A circular professional engineer seal for the State of Arkansas. The text "STATE OF ARKANSAS" is at the top, "REGISTERED PROFESSIONAL ENGINEER" is in the center, and "No. 11411" is below it. The name "Jason E. Ingalls" is written in a script font along the bottom edge of the seal.

ROSELAWN SUBDIVISION
1221 E NEW HOPE ROAD ROGERS, ARKANSAS
BELL CONSTRUCTION SOLUTIONS, LLC
10035 WAGER ROAD, SPRINGDALE, AR 72762

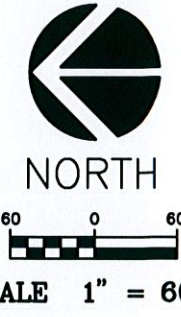
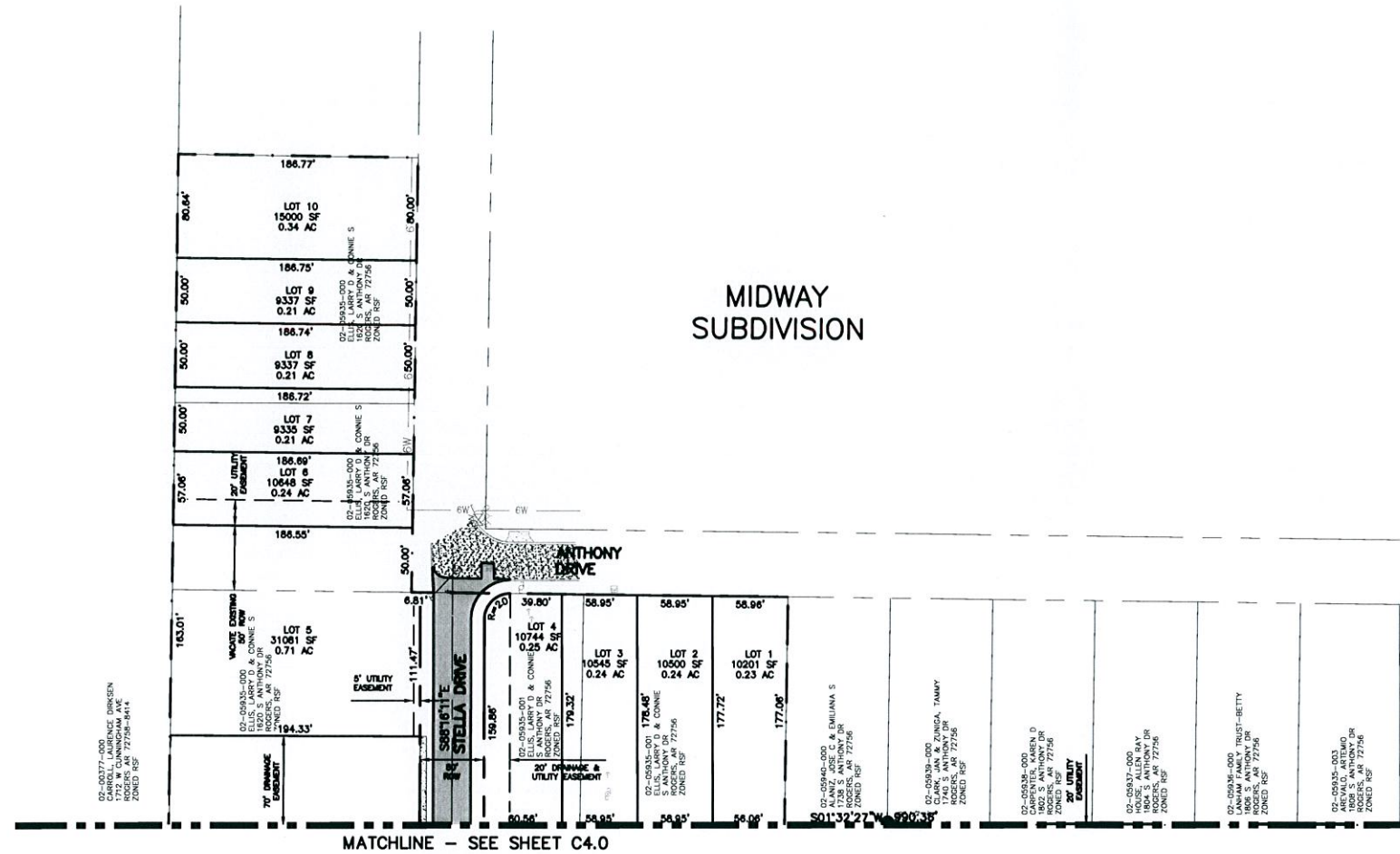
11 NEWNHAM LANE
BELLA VISTA, AR 72714
P: (509) 759-5300
EMAIL: jason@vcoe-pilot.com



DRAWN BY: JEI
CHECKED BY: JEI
DATE 6/22/2018
JOB NUMBER 18-1015
SHEET NAME PRELIMINARY PLAT
File No. 18-1015.dwg
C4.0

DENSITY AND LOT SIZE:
 MINIMUM LOT WIDTH: 50'
 MINIMUM LOT DEPTH: 100'
 MINIMUM LOT DEPTH (LOTS 1-4): 85'
 MAXIMUM BUILDING COVERAGE: 30%
 MINIMUM OPEN SPACE: NOT LESS THEN 40%

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ENGINEER:
EXPEDIENT CIVIL ENGINEERING, PLLC
11 NEWNHAM LANE
BELLA VISTA, AR 72714

DEVELOPER:
BELL CONSTRUCTION SOLUTIONS, LLC
10035 WAGER ROAD
SPRINGDALE, AR 72762
EMAIL: CHUCK.BELL@BELLCONSOLUTIONS.COM

- LEGEND**
- FOUND IRON PIN
 - PROPERTY LINE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING BARBED WIRE FENCE
 - EXISTING EASEMENT
 - EXISTING GAS METER
 - EXISTING ELECTRIC TRANSFORMER
 - PROPOSED EASEMENT
 - PROPOSED CENTERLINE OF ROAD
 - PROPOSED RIGHT OF WAY
 - PROPOSED CURB
 - PROPOSED BUILDING SETBACK
 - PROPOSED LOT LINE
 - PROPOSED 5' SIDEWALK
 - PROPOSED STREET LIGHT
 - PROPOSED STOP SIGN
 - PROPOSED UTILITY EASEMENT
 - PROPOSED DRAINAGE EASEMENT

ZONING REQUIREMENTS:

MAXIMUM STRUCTURE HEIGHT:
35 FEET (2 1/2 STORIES) ABOVE FINISHED GRADE

ACCESSORY STRUCTURE: 16 FEET EXCEPT STORAGE BUILDINGS WHICH SHALL NOT EXCEED 10 FEET.

BUILDING SETBACKS:
SIDE YARD (INTERIOR)= 5'
SIDE YARD (EXTERIOR)= 20'
FRONT YARD= 20'
REAR YARD= 20'

DENSITY AND LOT SIZE:
MINIMUM LOT WIDTH: 50'
MINIMUM LOT DEPTH: 100'
MAXIMUM BUILDING COVERAGE: 30%
MINIMUM OPEN SPACE: NOT LESS THEN 40%



STATE OF ARKANSAS
REGISTERED PROFESSIONAL ENGINEER
No. 11411
JASON E. JACOB

Rev	Comments	Date
3	PER CITY COMMENTS	1/2/19
4	PER CITY COMMENTS	1/23/19
5	PER CITY COMMENTS	1/29/19
6	PER CITY COMMENTS	2/11/19

ROSELAWN SUBDIVISION

1221 E NEW HOPE ROAD
ROGERS, ARKANSAS

BELL CONSTRUCTION SOLUTIONS, LLC
10035 WAGER ROAD, SPRINGDALE, AR 72762

11 NEWNHAM LANE
BELLA VISTA, AR 72714
P: 479.756.5000
F: 479.756.5001
EMAIL: JACOB@ECE-AR.COM

ECE
Expedient Civil Engineering, PLLC

DRAWN BY:
JEI

CHECKED BY:
JEI

DATE
6/22/2018

JOB NUMBER
18-1015

SHEET NAME
OFF-SITE STREET IMPROVEMENTS

File No.
18-1015.dwg

C4.1



Expedient Civil Engineering, PLLC

11 Newnham Lane
Bella Vista, AR 72714
Phone: (509) 759-5300
Email: jason@ece-pllc.com

January 18, 2019

Dylan Cobb, PE
Planning Engineer
City of Rogers
301 W. Chesnut
Rogers, AR 72756

**RE: VARIANCE AND WAIVER REQUESTS
1221 E. NEW HOPE ROAD, ROGERS, AR
ECE PROJECT NO. 18-1015
CITY PROJECT NO. PL201800412**

Dear Mr. Cobb:

The purpose of this letter is to request waivers and variances for selected items in the construction drawings. First, we would like to request a waiver for aligning S 'O' Street with the existing street to the south. To obtain a lot depth that was buildable and to allow a 20' wide strip of land for the Church to place their sign on, the alignment is not directly across from one another. However, it is our opinion that the jog is minimal enough that cross traffic can still obtain visual clearance. Second, a waiver for a second street stub to the west is being requested. The street stub to the west included in the plans aligns itself with existing Longview Drive. The properties to the west are long and slender. The adjacent subdivision to the west has no street connections to these properties. If the properties to the west are developed, their access would be from New Hope Road and the street stub we have shown. With limited property acreage, adding the burden of another street stub to those properties could hinder develop due to the size of properties and available lot count. We feel it is in the best interest that only one street stub is extended west. Lastly, we are requesting a variance on the lot width for N-R, Neighborhood Residential, from 60' to 50' and building setback from 6' to 5'. The proposed lots are deep enough to obtain the required square footage for N-R zoning without having a 60' wide lots. The dimensions of the existing property have limited the number of streets leaving extra long lots. For this reason, we are requesting this variance. Thank you for your consideration of these waivers and variances and we look forward to discussing them further with you and to your approval.

Mr. Dylan Cobb, PE
January 18, 2019
Page 2

Best Regards,
EXPEDIENT CIVIL ENGINEERING, PLLC

Jason E. Ingalls

Jason E. Ingalls, P.E.
Owner/Senior Project Manager

Attachments: As Stated.

Cc: Chuck Bell, Bell Construction Solutions, LLC
Aaron Nickell



DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

Infrastructure Improvement Agreement
Pursuant to A.C.A. § 14-56-417 and A.C.A. § 14-56-103(a)(3)(B)(v)

Project: Roselawn Subdivision City Project #: PL201800412

On-site city infrastructure improvements associated with project: Widen the north half of New Hope Road along the boundary of the site to the collector typical street section, including curb and gutter, sidewalk with greenspace, street light, and street trees. Interior streets are to be constructed per the Master Street Plan minor street section and include all required streetscape items.

Off-site city infrastructure improvements associated with project: Extend E. Stella Drive to Anthony Drive per the minor street typical section.

Agreement on construction and/or financial arrangement:

☒ All city infrastructure required with project approval will be constructed by developer.

☐ City infrastructure to be bonded by developer and constructed at a later date:

_____ Amount: _____

_____ Amount: _____

_____ Amount: _____

☐ A fee-in-lieu to be paid by developer toward future city project:

_____ Amount: _____

_____ Amount: _____

_____ Amount: _____

City of Rogers Infrastructure Improvement Agreement

An engineer's estimate (signed and sealed) must be approved by the Department of Community Development, and a copy must accompany this form for performance bonds or fees-in-lieu.

City statement of rationale for option chosen: The infrastructure improvements meet the requirements for a
preliminary plat submission per Sec. 14-580(2)d.

The parties signing below agree the improvements listed have a reasonable nexus to the legitimate interest of the city and are reasonably proportional to the impacts of the project.

Project: Roselawn Subdivision

Date agreement entered: _____

Signature of Owner/Developer

City of Rogers Engineer

Print Name and Title

Director of Community Development



ROGERS WATER UTILITIES

"SERVING ROGERS - PROTECTING THE ENVIRONMENT"

January 24, 2019

Mr. Jason Ingalls, PE
Expedient Civil Engineering
11 Newnham Lane
Bella Vista, AR 72714

Re: Conditional Approval of Civil Plans
Roselawn Subdivision

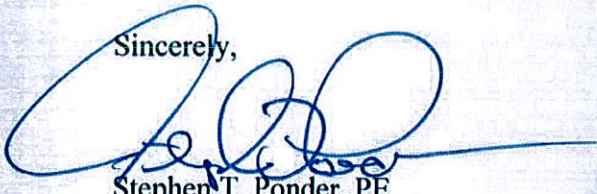
Dear Mr. Ingalls:

We have reviewed the plans that were received for the referenced project and are approving them with the following conditions:

1. Change the encasement note for the sanitary sewer service extending to Lot 47 to read **(Provide 18" minimum separation and encase sewer service)** on the Utility Plan. Also, darken the text to match the manhole numbering text in thickness to make it easier to see.
2. The following must be submitted prior to scheduling a pre-construction meeting:
 - A. The utility contractor must be licensed by the State of Arkansas in the Underground Piping, Cable, Trenching, Boring Specialty Class or as a Municipal Utility Contractor. A copy of the contractor's license must be submitted if the contractor has not worked recently within the Utility's service area.
 - B. One copy of the revised plans for review.
 - C. Written approval from the Arkansas Department of Health.
 - D. A signed copy of the enclosed Special Contract for Facilities Extensions. Please note and bring to the attention of your client that access fees and impact fees are defined in the contract and must be delivered to the Utility before water service will be established.
 - E. A copy of the executed contract between the developer or general contractor and the utility contractor.
 - F. Performance and payment bonds executed by the utility contractor.
 - G. Three copies of the approved plans submitted at the pre-construction meeting.

Approval of this project is void if construction is not started within one year of the date affixed hereto.

Sincerely,



Stephen T. Ponder, PE
Project Engineer

SP:DG

Attachment(s): Special Contract for Facilities Extension