



DEPT. OF COMMUNITY DEVELOPMENT
 PLANNING DIVISION
 301 W. CHESTNUT
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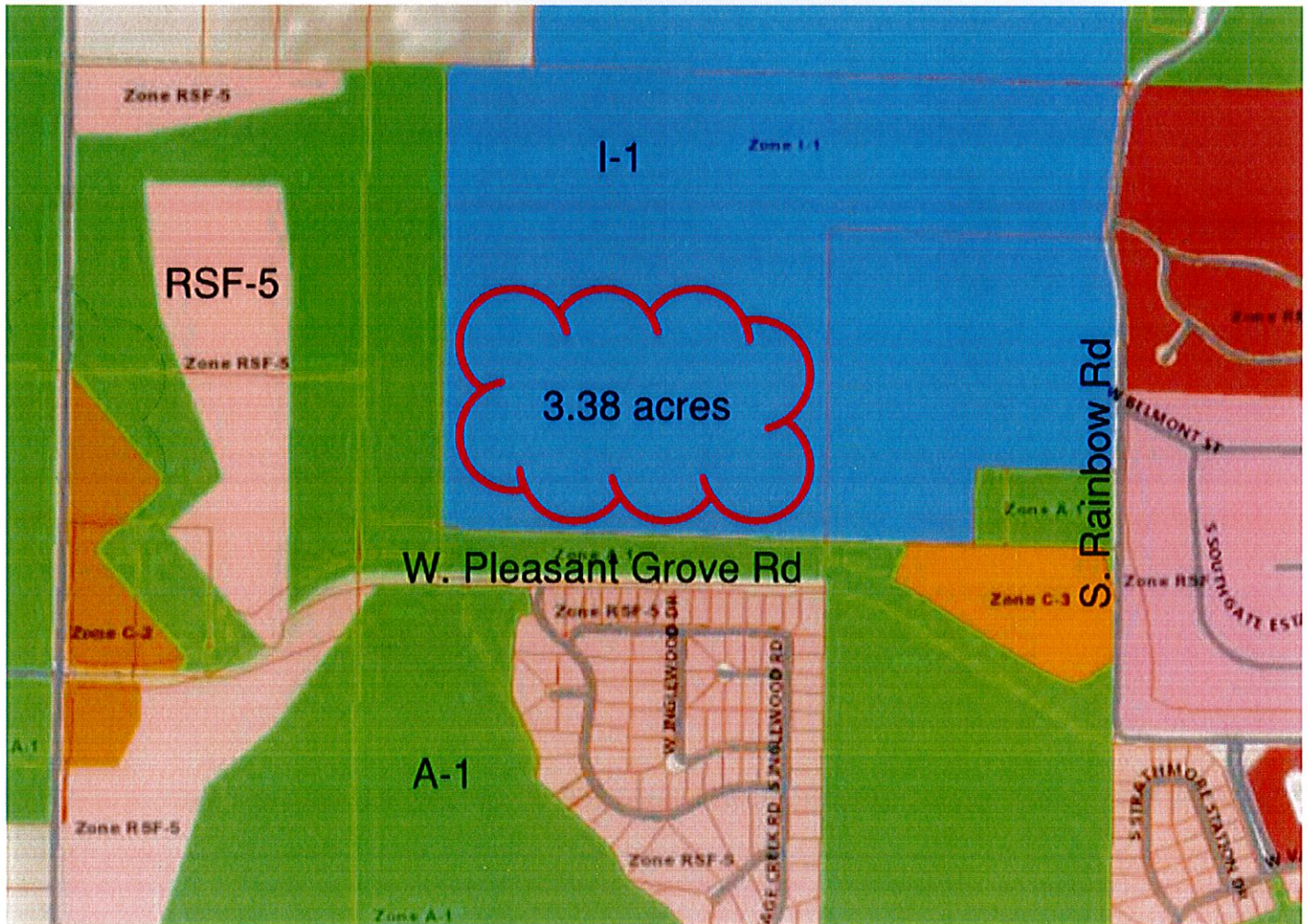
February 7, 2019

TO: PLANNING COMMISSION, LARGE SCALE DEVELOPMENT COMMITTEE

**LSDP, ROGERS FIRE STATION #8
 STAFF SUMMARY REPORT**

LOCATION:	7001 W Pleasant Grove Rd
LAND OWNER:	City of Rogers
DEVELOPER:	Thomas Jenkins / City of Rogers
APPLICANT/ ENGINEER:	Morrison Shipley
ZONING DISTRICT:	I-1 (Light Industrial)
PLANNED USE:	Public Safety Facilities
REQUEST:	Large-Scale Development Project approval
AUTHORITY:	Article III of Chapter 14, Rogers Code of Ordinances
DESCRIPTION:	7,888-sf fire station on 3.38 acres
WAIVERS:	Yes: Waiver from landscaping calculations and street trees.

VICINITY MAP:



BACKGROUND

- The applicant intends to build a 7,888-sf fire station on 3.38 acres off of W. Pleasant Grove Road.
- To the north, east, and west of this project is land owned by the City of Rogers. To the south of this project is undeveloped agricultural land and a single-family neighborhood.
- Status: the LSDP has gone through the technical review process, and all revisions requested by staff have been completed and approved.

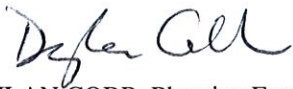
STAFF REVIEW

ENGINEERING REVIEW:

- 1) Access Management: The proposed development meets all City access management standards per Sec. 14-260.
- 2) Stormwater and Water Quality:
 - a) Stormwater management: The site will be served by an off-site detention facility with adequate capacity for the proposed improvements to be constructed as part of the W. Pleasant Grove Road Improvements project.
 - b) Water quality: Water quality will be served by the off-site detention facility and will have adequate capacity for the proposed improvements.
- 3) Required Public Improvements:
 - a) Street pavement and condition: The site will be located on future W. Pleasant Grove Road. W Pleasant Grove Road will be constructed as a City project to the Master Street Plan minor arterial street typical section as a 4-lane Boulevard with curb and gutter, sidepaths, and streetlights.
No roadway pavement improvements are required.
 - b) Connectivity Standards: No connectivity streets or additional street stub-outs are required.
 - c) Streetscape:
 - i) Right-of-Way: Minimum 40' right-of-way from the centerline of W. Pleasant Grove Rd. to be dedicated as part of the W. Pleasant Grove Road Improvements Project.
 - ii) Sidewalks and sidepaths: 10' sidepath with minimum 6' greenspace to be installed as part of the W. Pleasant Grove Road Improvements Project by the City.
 - iii) Trails: No trail construction is required on this site.
 - iv) Streetlights: Streetlights to be installed as part of the W. Pleasant Grove Road Improvements Project.
 - v) Street trees: The applicant is requesting a **WAIVER** to Sec. 14-256(14)(g) for the requirement to plant street trees within the right-of-way. See the applicant's waiver request letter (tab 2).
- 4) RECOMMENDATIONS:

The proposed project meets all engineering review requirements for a large scale development subject to the waiver requests below.

 - a) **Approve waiver to Sec. 14-256(14)(g) for the requirement to provide street trees.** Per Sec. 14-46(c)(3)c "...the application of complete streets principles is... inappropriate because it would be contrary to public safety." The applicant proposes to plant the street trees outside of the street right of way. The Fire Chief requested that the trees be planted outside of the right of way in order to keep visibility along the street when the emergency vehicles leave the station.



DYLAN COBB, Planning Engineer
City of Rogers Engineering Division



LANCE JOBE, City Engineer
City of Rogers Engineering Division

PLANNING REVIEW:

- 1) Land Use: This proposed building meets the definition of "Public Safety Facilities," and is allowed by right in the I-1 (Light Industrial) District.
- 2) Disposition of Structures: The site plan conforms to all setback and form requirements for this district.
 - a) Landscaping: The applicant requests a **WAIVER** from Sec. 14-256(12) requiring the landscaping calculations to be based off of the total development area. All other landscaping requirements have been met.
 - b) Parking: The site plan has met all other vehicle parking requirements stated in Section 14-713(h).
 - c) Setbacks: The proposed project has met all other the setback requirements, as stated in Section 14-713(d).
 - d) Screening: The site plan has met all screening requirements, as stated in Section 14-713(g).
- 3) Views of Others: No supporting or opposing comments have been received by the Planning Division.
- 4) RECOMMENDATIONS:
 - a) The proposed project meets all large-scale land use and disposition requirements. Approve with the following waiver:

- i) **Approve waiver to Sec. 14-256(12) from the requirement that the landscaping calculations are based off of the total development area.** The total development area of the subject site is approximately 98 acres. The applicant is only using 3.7 acres of it. Due to the scale of the property that is not being disturbed, staff finds it reasonable to allow the applicant to base their landscaping calculations off of the disturbed area for this project instead.



ELIZABETH JOHNSON, Planner II
City of Rogers Planning Division



LORI ERICSON, Planning Administrator
City of Rogers Planning Division

ADMINISTRATOR'S SUGGESTED MOTION:

Motion to approve the Large-Scale Development project, contingent upon all conditions listed in the engineer's report, and with the following actions for the requested waivers:

- **Approve waiver from the requirement that the landscaping calculations are based off of the total development area.**
- **Approve waiver from providing street trees.**

DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. MCCURDY, Director
City of Rogers Department of Community Development

Tabs:

1. Large-Scale Development Plans
2. Waiver Letter

Note: staff recommendations are based on the documentation available at the time of request and may not reflect all information made available to the officials during discussion and consideration.



MORRISON SHIPLEY

ENGINEERS • SURVEYORS

Planning Commission
City of Rogers
301 W. Chestnut
Rogers, AR 72756

January 29, 2019

RE: *Fire Station #8 – Waiver Request Letter*
7001 W. Pleasant Grove Road

Dear Planning Commission Chairman:

On behalf of the Rogers Fire Department, Morrison-Shipley Engineers (MSE) would like to respectfully request a waiver from the following city requirement:

1. Landscaping requirements per Article III, Division 3, Sec. 14-256-12a

The city property the fire station is being proposed on total approximately 98 acres. MSE is requesting that landscaping be provided based on the limits of disturbance totaling 3.7 acres, which would follow closely to a reasonable property boundary for the development. Landscaping as shown on the plan set is based on this number and would assist in keeping the Fire Station #8 within planned development budget.

In addition, we are requesting a waiver to plant the street trees, required by the same requirement above, outside of the street right of way. The Fire Chief has requested a few of the trees to be relocated to keep visibility along the street when the emergency vehicles are leaving the facility. All street trees will still be planted, just else where on site.

Sincerely,

Morrison-Shipley Engineers, Inc.

Patrick Foy, P.E.
Project Manager

2407 SE Cottonwood Street | Ste 1
Bentonville, AR 72712
479.273.2209

Issued For Review - 01.21.19

First Submittal - 12.07.18

January 2019

Large Scale Development Plans

for

ROGERS FIRE STATION #8 7001 W. Pleasant Grove Rd. #PL201801258

Rogers, Benton County, Arkansas

Legal Description:

Warranty Deed Book 01 Page 085966

A part of the S/2 of the SE 1/4 of the NW 1/4 and a part of the fractional W/2 of the NW 1/4 and a part of the Fractional W/2 of the NW 1/4 of Section 30, Township 19 North, Range 30 West, Benton County, Arkansas, described as:

From the Northwest corner of said Section 30, run south 01 Degrees 16 Minutes 46 Seconds West 14.96 feet along the West line of a survey by Thomas Pace, filed in Benton County Plat Record Book 16 at page 11; thence along said West line South 00 Degrees 33 Minutes 06 Seconds West 1964.82 feet; thence along the South line thereof, North 89 Degrees 55 Minutes 39 Seconds East 350.01 feet to the Point of Beginning; thence following said South line the following courses: North 89 Degrees 55 Minutes 39 Seconds East 78.55 feet; thence South 10 Degrees 00 Minutes 00 Seconds East 13.42; thence South 89 Degrees 55 Minutes 42 Seconds East 313.42 feet; thence South 89 Degrees 19 Minutes 56 Seconds East 328.25; thence South 88 Degrees 17 Minutes 05 Seconds East 188.42 feet; thence South 89 Degrees 57 Minutes 32 Seconds West 1722.65 feet; thence North 00 Degrees 33 Minutes 06 Seconds West 222.85 feet to the Point of Beginning. Subject to any and all legal easements and or rights of way.

Legal Description:

Warranty Deed Book 635 Page 727, filed for record June 3rd 1985 at 1:35 PM, Benton County Arkansas

A part of the NW 1/4 Described as beginning at the NW Corner, Section 30, Township 19 North, Range 30 West and run thence South 120 rods; thence due East about 124 rods and 20 links; thence North 80 rods; thence West 40 rods; thence North 40 rods; thence West 80 rods to the place of beginning.

Also the N 1/2 of the NW 1/4, NE 1/4 and N 1/2 of NE 1/4 of NW 1/4 Section 30 Township 19 North, Range 30 West.



2407 SE Cottonwood Street • Bentonville, AR 72712 • 479.273.2209 • morrisonshipley.com

SITE INFORMATION:

- Use: Emergency Facility
- Total Site: 3.70 Acres
- Zone: I-1
- Number Bedrooms: 8

NOTES:

- All Civil Plans On Site Must Include Most Current Stamp By Rogers Planning.
- If The Project Costs Exceed \$20,000, A State Contractors License Is Required. Rogers Code Sec. 14-228(6).
- Easement Plat Must Be Approved And Recorded Prior To Certificate Of Occupancy.

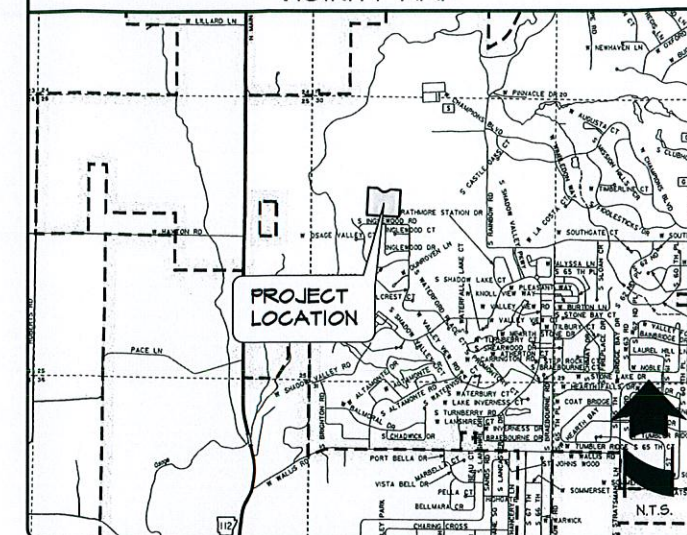
Engineer of Record

Patrick Foy
pfoy@morrisonshipley.com
(479)-273-2209

Owner/Developer

Rogers Fire Department
Thomas Jenkins
tjenkins@rogersar.gov
201 N. First Street
Rogers, AR 72756
(479)-621-1179

VICINITY MAP



INDEX OF SHEETS

- C1. Cover Sheet, Vicinity Map, & Index of Sheets
- C2. Site Dimension Plan
- C3. Erosion Control Plan
- C4. Erosion Control Details
- C5. Grading Plan
- C6. Utility Plan
- C7. Fire Hydrant & Fire Line Plan and Profiles
- C8. Landscape Plan
- C9. Landscape Details
- C10. Miscellaneous Details
- C11. Rogers City Details

* RWU Standard Details

FLOOD CERTIFICATION:

Based Upon Review Of FEMA Firm: Benton County, Arkansas And Incorporated Areas, And By Graphic Plotting Only, The Subject Property Is Determined To Be In Zone X, Or Areas Determined To Be Outside The 0.2% Annual Chance Floodplain.

Map Number: 05007C0265K

Effective Date: June 5, 2012

SITE UTILITY CONTACTS CITY OF ROGERS, AR

Natural Gas
Black Hills Energy
Contact: Kenneth Peters
1255 N. 13th Street
Rogers, Arkansas 72756
Telephone: (479) 636-1759 *6021

Telephone
AT&T
Contact: John Hill
627 White Road
Springdale, Arkansas 72766
Telephone: (479) 442-1963

Cable Television
Cox Communications
Contact: Larry Alexander
4901 S. 48th Street
Springdale, Arkansas
Telephone: (479) 871-7606

Electric
AEP-SWPCO
415 W. Stribling Drive
Rogers, AR 72756
Contact: Mark Beasley
Telephone: (479) 986-1004

GOVERNING AGENCIES

City Of Rogers
301 W Chestnut
Rogers, Arkansas 72756
City Of Rogers Planning & Transportation Department
Telephone: (479) 621-1186
Planning: Lori Ericson
Engineering: Lance Jobe

City Of Rogers Street Dept.
Contact: Frankie Guyll
Telephone: (479) 644-5008

Department Of Health
Arkansas Department Of Health
Division Of Engineering, Slot 37
4815 W. Markham
Little Rock, Arkansas 72205
Telephone: 501-661-2623

City Of Rogers Fire Department
201 North First Street
Rogers, Arkansas 72756
Contact: Bill Rumsey
Telephone: (479) 621-1117

Water & Sewer
Rogers Water Utilities
601 S. 2nd St.
Rogers, Arkansas 72757
Contact: Stephen Ponder
Telephone: (479) 621-1156

City of Rogers
Fire Station #8

Rogers, AR

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WER Northwest Arkansas
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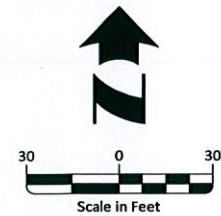
Key Plan

No.	Issue	Date

Job No. _____
Date _____
Title _____

SITE PLAN
Sheet No. _____

C2.00



LEGEND

Property Line	Existing Sewer Manhole
Easement Line	Existing Fence
Proposed Building	Storm Drain By Others
Proposed Light Duty Concrete Pavement Re: Details	Fire Hydrant By Others
Proposed Heavy Duty Concrete Re: Details	Valve By Others
Proposed Asphalt Parking Re: Details	FES By Others
Proposed 2'-0" Curb & Gutter Re: Detail	Sidewalk By Others
Proposed Light Duty Concrete Paving/Sidewalk	Curb and Gutter By Others
Proposed Handicap Ramp W/ Detectable Warning Devices	
Proposed Sign, See Plan For Type	
Accessible Parking Symbol	
Proposed Water Meter	
Proposed Fire Hydrant	
Proposed FDC	
Proposed Transformer	
Proposed Scour Stop Mat	

Site General Notes:

- The Contractor Shall Be Solely And Completely Responsible For Conditions Of The Job Site, Including Safety Of All Persons And Property During All Phases Of Construction Of This Site. This Requirement Shall Apply Continuously And Shall Not Be Limited To Construction Working Hours.
- It Is The Contractor's Responsibility To Take All Precautions Necessary To Avoid Property Damage To Adjacent Properties During The Construction Phases Of This Project.
- All Dimensions, Unless Otherwise Noted, Are To The Face Of Curb, Face Of Building, Edge Of Pavement, Or Centerline Of Stripe.
- Contractor Shall Coordinate And Comply With All Utility Companies Involved In Project And Pay All Required Fees And Costs.
- Unless Otherwise Noted, All Curb Shall Be 6" Type "A" Concrete Curb And Gutter. Refer To Detail Sheets.
- See Architectural Plans For Exact Building Dimensions and Layout.
- Refer To M.E.P. Plans For Proposed Parking Lot Lighting Locations And For Pole, Pole Footing, And Pole Fixture Details.
- Refer To Architectural Plans For Details Of The Proposed Dumpster Enclosure.
- All Construction Of Public Improvements Shall Conform To The City Of Rogers Development Regulations.
- All Signage, Pavement Markings, And Striping Shall Conform To The Manual Of Uniform Traffic Control Devices (MUTCD) Standards And Regulations.
- All HVAC And Mechanical Equipment Must Be Screened From Public View.

Site Area Calculations:

Total Site Area: 147,044 S.F.
Maximum Impervious Area: (80%)
Proposed Impervious Area: 315,224 S.F. (26%)
Minimum Green Space Required: (20%)
Proposed Green Space: 100,418 S.F. (14%)
Total Building Area: 8,461 S.F. (6%)
Note: Site Outer Boundary Based on Limits of Disturbance

Impervious Area
Green Space

Key Map
Not To Scale

R-MF RESIDENTIAL MULTIFAMILY MINIMUM SETBACK REQUIREMENTS (FT.)				
Front	Side		Rear	
	Interior	Exterior		
50'	25'	50'	25'	

I-1 ZONING REGULATIONS:
Maximum Building Height: 50'
Minimum Pervious Area: 20%
Maximum Impervious Area: 80%

PARKING SUMMARY		
Description	Parking Requirement	Parking Requirement
	1 Space per Sleeping Accommodation	8
	Total Units: 8	
Parking Spaces	Total Provided	15*
Accessible Spaces	Total Required	1
Accessible (AC) Spaces	Total Provided	1

*Includes Accessible Spaces

City of Rogers
Fire Station #8

Rogers, AR

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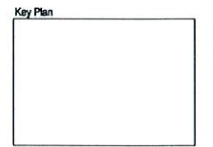
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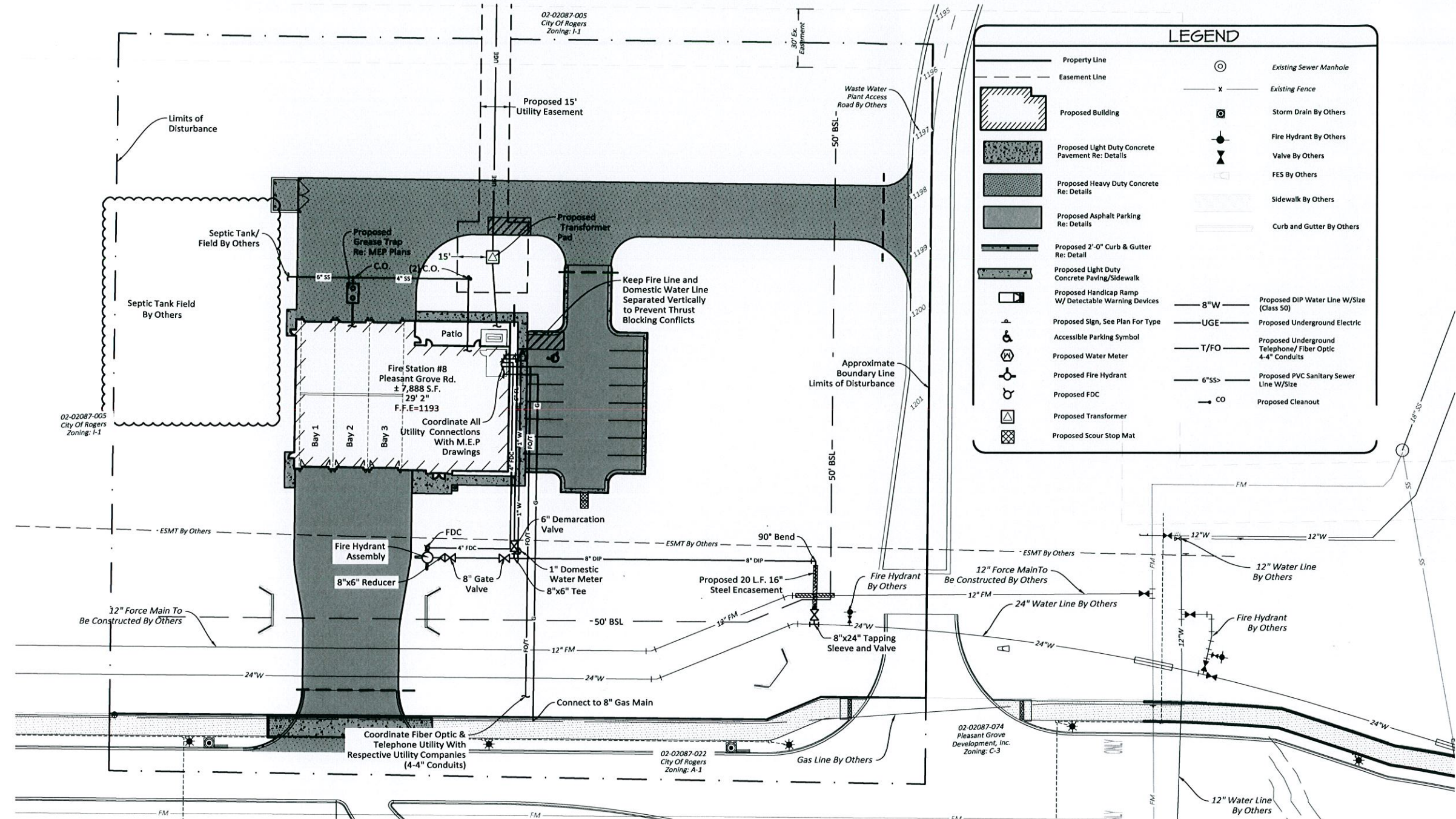
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Job No. _____
Date _____
Title _____

UTILITY PLAN

Sheet No.

C6.00



Sanitary Sewer Notes:

- Sanitary Sewer Service Lines Under 14' Of Depth Shall Be Schedule 6" PVC SDR-26. Sanitary Sewer Service Lines 14' Deep Or Greater Shall Be 6" Ductile Iron Class 51 With Required Coating. All Sanitary Sewer Services Shall Be Connected To Sanitary Sewer Manholes Per Rogers Water Utilities Specifications.
- All Sanitary Sewer Appurtenances Shall Comply With Rogers Water Utilities Specifications And The Arkansas Department Of Health.
- Any Adjustment To Existing Sanitary Sewer Manholes Due To Changes In Surrounding Grades Shall Be Made In Accordance With Rogers Water Utilities Details And Specifications.
- Sanitary Sewer Service Lines Greater Than 4" Diameter Must Connect To A Sanitary Sewer Manhole, In Accordance With Rogers Water Utilities Regulations.
- All Connections To Existing Sanitary Sewer Lines Or Manholes Are Made By Rogers Water Utilities On A Cost Plus Basis.
- All Necessary Inspections And/or Certifications Required By Codes And/or Utility Service Companies Shall Be Performed Prior To Permanent Connection Of Services.
- Maintain 5' Minimum Horizontal Clearance Between Gas Lines, Electric Lines, And Transformers Where They Run Parallel To Sanitary Sewer Mains And Water Mains.

Water Notes:

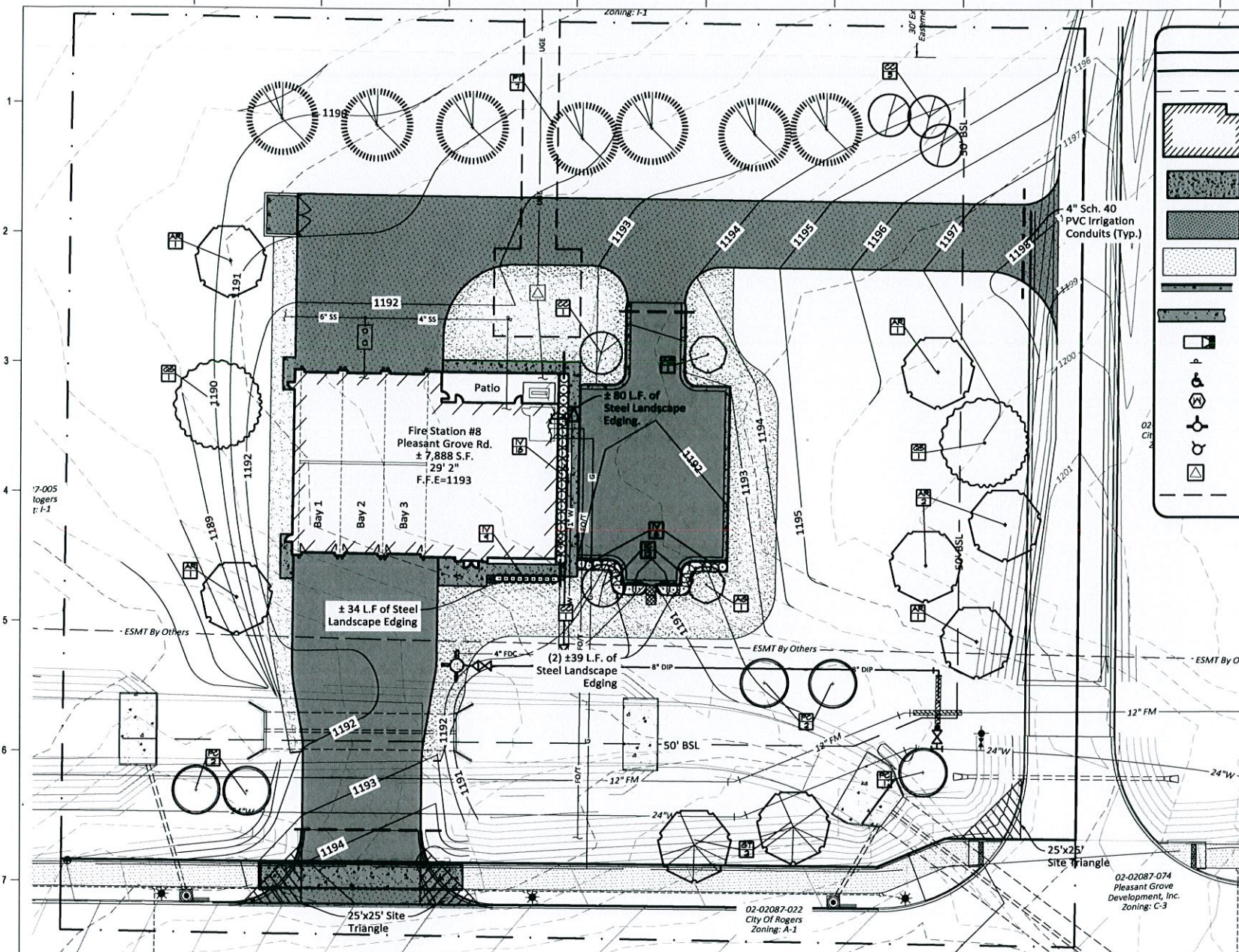
- The Contractor Shall Not Tap Or Otherwise Penetrate Existing Water Mains.
- All Connections To Existing Water Mains Are Made By Rogers Water Utilities On A Cost Plus Basis. Any Tap(s)/connection(s) At Existing Water Mains (or 8" Plugged Gate Valves) Shall Be Made By Rogers Water Utilities At The Developer's Expense. The Water Main Point Of Connection Shall Be Field Verified And The Connection Shall Be Coordinated With Rogers Water Utilities.
- Water Meters Will Be Set By Rogers Water Utilities At The Developer's Expense.
- Contractor Shall Not Operate Valves On Existing Water Mains. Rogers Water Utilities Operates All Water Valves.
- All Necessary Inspections And/or Certifications Required By Codes And/or Utility Service Companies Shall Be Performed Prior To The Permanent Connection Of Services.
- All Inline Gate Valves Shall Be Placed No More Than 5 Feet From Fire Hydrant.
- All Fire Hydrants Shall Be Located In Accordance With Rogers Water Utilities Details And Specifications.
- All Valves With Operating Nuts Deeper Than 4' Below Finished Grade Require Extensions In Accordance With Rogers Water Utilities Requirements.
- The Water Service Line Between The Water Main And The Water Meter Shall Be 2" Seamless Copper Tubing (Type "K" Soft Copper).
- Maintain 10' Horizontal Separation (Minimum) Between Water Mains And Sanitary Sewer Mains.
- Maintain 10' Horizontal Separation (Minimum) Between Water Services And Sanitary Sewer Services.
- Electric Transformers Shall Not Be Installed Across Water Main Trenches Or Sanitary Sewer Main Trenches.
- All Thrust Blocking Shall Be Installed In Accordance With R.W.U. Details.
- No Irrigation Meter Proposed, Hose Bibs To Be Used For Landscape Irrigation.

Site Utility General Notes:

- Existing Utilities Across Or Along The Line Of The Proposed Work Are Shown Only In An Approximate Location On These Plans. The Contractor Shall Call The State One-call System Prior To Construction @ 1-800-482-8998. The Contractor Shall, On His Own Initiative And At No Additional Cost, Locate All Underground Lines And Structures As Necessary. The Contractor Shall Verify And Calculate All Points Of Connection And All Utility Crossings And Inform Morrison-Shipley Engineers, Inc. And/or The Owner Of Any Conflicts Or Required Deviations From The Plans. Morrison-Shipley Engineers, Inc. Shall Be Held Harmless In The Event The Contractor Fails To Make Such Notification.
- All Electric, Telephone, And Gas Extensions Including Service Lines Shall Be Installed To The Appropriate Utility Company Specifications And Requirements. All Utility Company Disconnections Shall Be Coordinated With The Designated Utility Company.
- It Shall Be Distinctly Understood That Failure To Specifically Indicate Work Which Is Required To Complete This Project Shall Not Relieve The Contractor Of His Responsibility To Perform Such.
- All Utilities Shall Terminate Five (5) Feet Outside The Building Unless Otherwise Noted. The End Of All Service Lines Shall Be Tightly Capped Or Plugged And Marked Until Such Time As Connections Are Made Inside The Building. Coordinate All Entrances To The Building With The Architectural Plans And M.E.P. Plans.
- All Private Water And Sewer Materials And Construction Shall Be In Accordance With Local, State, And Federal Plumbing Code.
- All Necessary Inspections And/or Certifications Required By Codes And/or Utility Service Companies Shall Be Performed Prior To Final Connection Of Utility Services.
- It Is The Responsibility Of The Property Owner To Obtain All Utility Easements That Are Necessary For The Installation And Maintenance Of All Proposed Utilities. The Easements Must Be Obtained Prior To Beginning Any Public Utility Installation.
- The Domestic Water Service Line Shall Include An Internal RP Type Backflow Preventor. Provisions Shall Be Provided For Thermal Expansion And Drainage With The Domestic Water Service Line To The RPZ. Refer To M.E.P. Plans.
- The Irrigation Systems Shall Be Protected By An RP Type Backflow Preventor. Irrigation System To Be Designed By Others.
- Backflow Prevention Assemblies Installed Outdoor Shall Be Protected By An Enclosure Which Complies With The Standards And Specifications Set Forth By The American Society Of Sanitary Engineering (ASSE) Code 1060.
- The Owner/ Developer Will Be Responsible For All Costs Associated With The Electrical Extension To The Proposed Building, In Accordance With Carroll Electric & Extension Policy.
- All Sanitary Sewer And Water Systems Shall Be Constructed In Acceptance With Rogers Water Utilities Specifications Dated April 16, 1997.

Total Site Area: ±3.7 Acres

Total Area Limits of Disturbance: ±3.7 Acres



LEGEND

Approximate Property Line

Easement Line

Proposed Building

Proposed Light Duty Concrete Pavement

Proposed Heavy Duty Asphalt

Proposed Sod

Proposed 2'-0" Curb & Gutter Re: Detail

Proposed Light Duty Concrete Paving/Sidewalk

Proposed Handicap Ramp W/ Detectable Warning Devices

Proposed Sign, See Plan For Type

Accessible Parking Symbol

Proposed Water Meter

Proposed Fire Hydrant

Proposed FDC

Proposed Transformer

Proposed Conduit
2 Ea. 4" Sch. 40 PVC Irrigation Conduit

Existing Sewer Manhole

Existing Fence

Storm Drain By Others

Fire Hydrant By Others

Valve By Others

FES By Others

Sidewalk By Others

Curb and Gutter By Others

Landscape Requirements:

Overall Site Landscaping
Required: Minimum 20% Green Space 29,418 S.F.
Provided: 73% Green Space 107,902 S.F.
Total Current Development Area: 147,094 S.F.
Plant Units Required: 147,094/2000= 74 Units
(Plus Required Street Trees)

Plant Units Provided: 74 Units
Street Trees: 408 L.F. Less 73' Drive Frontage= 335/40= 8 Street Trees
Street Trees Required: 8 Street Trees
Street Trees Provided: 8 Street Trees

Interior Parking Lot Landscaping
1 Landscape Island Per 15 Parking Spaces
Total Parking Spaces Proposed: 15 Spaces
Total Landscape Islands Required: 1 Trees
Total Landscape Islands Provided: 4 Trees

Site Sodding Note:

All Disturbed Areas To Be Sodded Shall Be Topsoiled To A Minimum Depth Of 4", Fertilized At A Rate Of 250 Pounds Per Acre, And Sodded With Turf-Type Fescue Grass. If Located On Slopes 3:1 Or Greater, The Corners Of The Sod Must Be Pinned. The Contractor Shall Water And Maintain The Grass Until A Healthy Permanent Stand Is Established.

Site Seeding Note:

All Disturbed Areas Not To Be Paved, Landscape Beds, Or Sodded Shall Be Topsoiled To A Minimum Depth Of 4", Fertilized At A Rate Of 250 Pounds Per Acre, And Seeded With Annual Rye Grass At A Rate Of 3-4 Pounds Per 1000 S.F. And Turf-Type Fescue At A Rate Of 8 Pounds Per 1000 S.F. The Area Must Also Be Mulched. If The Seeded Areas Are 20% Or Greater Slope, Erosion Control Mat Shall Be Installed. The Contractor Shall Water And Maintain The Grass Until A Healthy Permanent Stand Is Established.

NOTE: A Letter From The Owner/Developer Is Required That Guarantees To Maintain and/or Replace the Landscaping for a Period of Three Years Starting Once Installation is Complete.

Landscape Plan General Notes:

- The Contractor Shall Furnish All Labor, Materials, Tools, Equipment, And Related Items Required For The Complete Installation Of Landscape.
- All Plant Material Shall Be Nursery Grown. Plant Material Sizes And Grading Shall Comply With The Latest Edition Of American Standards For Nursery Stock, Published By The American Nursery And Landscape Association.
- All Plant Material Shall Be Healthy And Free From All Visible Signs Of Disease Or Pest Infestation.
- Contractor Shall Ascertain Location Of All Utilities Prior To Excavation. Prior To Commencing With Any Work, Contact The State One-call.
- No Changes To Approved Plant Schedule (If Any) Will Be Allowed Without The Approval Of The City Of Rogers And The Owner's Representative.
- The Contractor Shall Provide A Three Year Minimum Warranty Or A Letter From The Owner/Developer Is Required That Guarantees To Maintain and/or Replace the Landscaping For a Period of Three Years Starting Once Installation is Complete.
- The Contractor Shall Spoil Any Excess Topsoil Located On The Site That Is Not Required To Perform Landscape Operations. If Sufficient Topsoil Is Not Present On Site, The Contractor Shall Import Topsoil To The Site In Order To Complete The Landscape Operations. The Contractor Shall Perform A Soil Test On The Existing And Imported Topsoil And Apply Lime And Fertilizer As Recommended By The Testing Agency.
- All Trees Shall Be Installed, Mulched, Guyed, And Staked Per The Details. All Shrubs Shall Be Installed And Mulched Per The Details. Refer To Detail Sheets.
- Hardwood Mulch, A Minimum Of 2" Depth, Shall Be Applied To All Planting Beds Shown On This Plan.
- In All Planting Beds, Sod Shall Be Removed Entirely And Soil Shall Be Amended With Twelve Inches Of Topsoil And A Minimum Of Six Inches Of Compost Tilled Into The Beds.
- The Proposed Irrigation System Shall Be Designed By Others And Installed during Landscape Installation.
- The Irrigation Systems Shall Be Protected By An RP Type Backflow Preventer. Irrigation System To Be Designed By Others.
- Backflow Prevention Assemblies Installed Outdoor Shall Be Protected By An Enclosure Which Complies With The Standards And Specifications Set Forth By The American Society Of Sanitary Engineering (ASSE) Code 1060.

PLANT SCHEDULE					
Key	COMMON NAME	Botanical Name	Size	Species	Quantity
IV	DWARF YAUPOH HOLLY	Ilex vomitoria 'Nana'	5 gallon	Evergreen, Shrub	88
IC	DWARF BURFORD HOLLY	Ilex cornuta 'Dwarf Burford'	5 gallon	Evergreen, Shrub	12
OS	SHUMARD OAK	Quercus shumardii	2-1/2" Cal. 6', B4B	Deciduous, Shade Tree	2
PT	LOBLOLLY PINE	Pinus 'Taeda'	2-1/2" Cal. 6', B4B	Evergreen, Shade Tree	1
CC	OKLAHOMA REDBUD	Cercis canadensis 'Oklahoma'	2" Cal. 6', B4B	Deciduous, Ornamental	5
AR	OCTOBER GLORY RED MAPLE	Acer rubrum 'October Glory'	2-1/2" Cal. 6', B4B	Deciduous, Shade Tree	6
AS	AMUR MAPLE	Acer ginnala	2-1/2" Cal. 6', B4B	Deciduous, Ornamental	2
PC	CHINESE PISTACHE	Pistachia chinensis	2-1/2" Cal. 6', B4B	Deciduous, Shade Tree	5
ST	SHADEMASTER HONEYLOCUST	Gleditsia triacanthos var. inermis 'Shademaster'	2-1/2" Cal. 6', B4B	Deciduous, Shade Tree	2

Deciduous Trees Shall Be A Minimum Height Of 6'; Evergreens Trees Min. Height Of 8' At Time Of Planting, Per City Of Rogers.

City of Rogers
Fire Station #8

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Key Plan

No.	Issue	Date

Job No. _____
Date _____
Title _____

LANDSCAPE
PLAN

Sheet No. _____
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