



DEPT. OF COMMUNITY DEVELOPMENT
 PLANNING DIVISION
 301 W. CHESTNUT
 PHONE: (479) 621-1186
 FAX: (479) 986-6896

NOVEMBER 30, 2018

TO: PLANNING COMMISSION
 LARGE-SCALE DEVELOPMENT COMMITTEE

LSDP – EIGHT CENTRE DEVELOPMENT STAFF SUMMARY REPORT

LOCATION:	2416, 2418, 2420 S. 8 th Street
LAND OWNER:	Honey Creek Land & Cattle LLC
DEVELOPER:	Dan Dykema
APPLICANT/ ENGINEER:	Dan Dykema / CEI
ZONING DISTRICT:	C-4 (Open Display Commercial)
PLANNED USE:	Office
DESCRIPTION:	3 buildings comprising 32,000sf on ±7.28 acres
WAIVERS:	Curb cuts, connectivity, streetscape improvements, 10' sidepath with 6' greenspace, street trees
FEES-IN-LIEU:	On-site detention (\$19,602)
REQUEST:	Large-Scale Development Project approval
AUTHORITY:	Article III of Chapter 14, Rogers Code of Ordinances

VICINITY MAP



Staff recommendations are based on technical review of city code and may not reflect all information made available to officials during discussion and consideration.

BACKGROUND

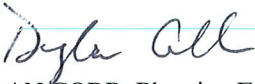
- **Program:** The developer intends to build a total of 32,000sf between a three new buildings. The overall site includes three existing buildings. The three new buildings are planned for construction in two phases. Approximately half of the 8th Street frontage is proposed for future phases not currently under consideration for approval.
- **Location Context:** The site is not located within an existing subdivision or PUD and abuts Wildflower Subdivision to the west. All adjacent properties to the north, south, and east are zoned A-1, C-4, or I-2.
- **Process History:** The LSD plans have gone through the technical review process, and all revisions requested by staff have been completed with the exception of requested waivers. RWU has issued conditional approval.

STAFF REVIEW

ENGINEERING REVIEW:

- 1) **Access Management:** The applicant requests a **WAIVER** to Sec. 14-260(1)e – Number of curb cuts permitted along S. 8th Street. See applicant's waiver request letter (tab 2).
- 2) **Stormwater and Water Quality:**
 - a) **Stormwater Management:** The site is located adjacent to a primary channel and the applicant has elected to pay a fee in-lieu of detention in the amount of \$19,602.00.
 - b) **Water Quality:** Water quality will be addressed by construction of an on-site porous landscape detention facility.
- 3) **Required Public Improvements:**
 - a) **Street Pavement and Condition:** The site is located at the corner of S. 8th Street and W. Post Road classified on the Master Street Plan as a major arterial street and minor street, respectively. S. 8th Street is constructed as a 5-lane road with curb and gutter and W. Post Road is constructed as a 2-lane road with curb and gutter.
The roadway pavement for both streets are not in substandard condition and will not require improvements.
 - b) **Street Connectivity:** The applicant requests a **WAIVER** to Sec. 14-604(c)(3) – Connectivity Standards, for the requirement to provide local street every 660' and not less than 200' along existing streets. See applicant's waiver request letter (Tab 2).
 - c) **Public Improvements:** The applicant requests a **WAIVER** to Sec. 14-228(30) to provide required upgrades to existing City streets bordering the property to meet current standards along the south end of the site on S. 8th Street and along W. Post Road. See applicant's waiver request letter (tab 2).
 - d) **Streetscape:**
 - i) **Right-of-Way:** Minimum 50' right-of-way to be dedicated from the centerline of S. 8th Street.
 - ii) **Sidewalks and Sidepaths:** The applicant requests a **WAIVER** to Sec. 14-256(11) for the requirement to provide 10' sidepath with 6' greenspace per the Master Street Plan major arterial street typical section along S. 8th Street. See applicant's waiver request letter (tab 2).
 - iii) **Trails:** No trail construction is required on this site.
 - iv) **Streetlights:** Four street lights to be provided by the utility company serving this area along S. 8th Street.
 - v) **Street Trees:** The applicant requests a **WAIVER** to Sec. 14-256(14)(g) for required street trees within the greenspace between the back of curb and proposed sidewalk along S. 8th Street. See applicant's waiver request letter (tab 2).
- 4) **RECOMMENDATIONS:** The proposed project meets all engineering review requirements for a large-scale development subject to the following recommendations and waiver requests:
 - a) **Deny waivers to Sec. 14-260(1)(e) – Number of curb cuts permitted and to Sec. 14-260(1)f – Distance between curb cuts.** The site is permitted to have a maximum of 2 curb cuts based on the length of street frontage. Joint access is required that will allow access to all buildings on the site.
 - b) **Approve waiver to Sec. 14-604(c)(3) for the requirement to provide a local street every 660' and not less than 200' along existing streets.** Per Sec. 14-604(c)(6) "The requirements of paragraphs 14-604(c)(2) above may be waived if, in the written opinion of the City Engineer, they are infeasible due to unusual topographic features..." An existing floodplain and an existing residential development west of the site would make connection to another City street impractical.
 - c) **Consider waiver to Sec. 14-228(30) for the requirement to provide required upgrades to existing City streets bordering the property to meet current standards.** A portion of the overall site will be redeveloped with the remaining section at an undetermined date in the future. Based on the proposed scope of this project, providing the required public improvements would not be reasonably proportional to the impacts of the project.
 - d) **Approve waiver to Sec. 14-256(11) for the requirement to provide 10' sidepath with 6' greenspace.** Per Sec. 14-46(c)(3)(d). "Other available means or factors indicate an absence of need, including future need." Sidewalk installed along S. 8th Street appear to be 5' wide. 6' wide sidewalk was recently installed along a section of this site and is proposed to continue this sidewalk with greenspace to the south. A 10' wide sidepath would create an isolated section and would unlikely connect to another sidepath.

- e) **Deny waiver to Sec. 14-256(14)(g) for the requirement to provide street trees.** The greenspace between the back of curb and sidewalk appears to be within ArDOT right-of-way and not a Carroll Electric's private utility easement.



DYLAN COBB, Planning Engineer
City of Rogers Engineering Division



LANCE JOBE, City Engineer
City of Rogers Engineering Division

PLANNING REVIEW:

- 1) Land Use:
 - a) Comprehensive Growth Map: The proposed development is consistent with the current Comprehensive Growth Map which designates the subject location as "Employment Center."
 - b) Zoning District: The proposed development meets the intent of C-4. Tenant infill must comply with the C-4 use schedule.
- 2) Development Standards: The site plan conforms to all development standards and requirements per Sec. 14-711.
 - a) Landscaping: All landscaping requirements have been met per Sec. 14-256(12).
 - b) Parking: All vehicle parking requirements have been met per Sec. 14-711(h).
 - c) Setbacks: All building setback requirements have been met per Sec. 14-711(d).
 - d) Screening: All screening requirements have been met per Sec. 14-711(g).
- 3) Views of Others: No supporting or opposing comments have been received by the Planning Division to date.
- 4) RECOMMENDATIONS: The proposed project meets all planning review requirements for a large-scale development subject to the following recommendations:
 - a) **Approve Large-Scale Development Project.**



ETHAN HUNTER, Planner III
City of Rogers Planning Division



LORI ERICSON, Planning Administrator
City of Rogers Planning Division

SUGGESTED MOTION:

Motion to approve the Large-Scale Development Project, contingent upon all conditions listed in the engineering review, and with the following actions for the requested waivers:

- **Deny waivers to Sec. 14-260(1)(e) – Number of curb cuts permitted and to Sec. 14-260(1)f – Distance between curb cuts.**
- **Approve waiver to Sec. 14-604(c)(3) for the requirement to provide a local street every 660' and not less than 200' along existing streets.**
- **Approve/Deny waiver to Sec. 14-228(30) for the requirement to provide required upgrades to existing City streets bordering the property to meet current standards.**
- **Approve waiver to Sec. 14-256(11) for the requirement to provide 10' sidepath with 6' greenspace.**
- **Deny waiver to Sec. 14-256(14)(g) for the requirement to provide street trees.**

DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. MCCURDY, Director
City of Rogers Department of Community Development

Tabs:

1. Large-Scale Development Plans
2. Waiver Letter
3. Infrastructure Agreement
4. Maps and photos

LARGE SCALE DEVELOPMENT PLANS

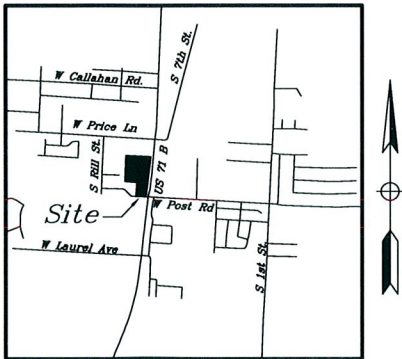
EIGHT CENTRE DEVELOPMENT

2416, 2418, 2420 S. 8TH STREET

ROGERS, ARKANSAS

CITY VIEW PROJECT #PL201800730

CURRENT ZONING	C4 (OVERLAY DISTRICT)
PROPOSED ZONING	C4
PROPOSED USE	OFFICE SPACE; 32,000 SF
EXISTING USE	RETAIL; 25,671 SF
TOTAL BUILDING AREA	57,671 SF
CONSTRUCTION TYPE	IIB
SPRINKLED	NO



Vicinity Map

Not to Scale

LOCATION ADDRESS:

(BUILDING 4) 2416 S 8TH ST, ROGERS AR 72758
(BUILDING 5) 2418 S 8TH ST, ROGERS AR 72758
(BUILDING 6) 2420 S 8TH ST, ROGERS AR 72758

CEI CONTACT:

NAME: NATE BACHELOR
EMAIL: NBACHELOR@CEIENG.COM
PHONE: (479) 273-9472

CLIENT CONTACT:

NAME: DAN DYKEMA
EMAIL: DYKEMA.DAN@GMAIL.COM
PHONE: (479) 295-9930

ARCHITECT CONTACT:

NAME: DAN TOWNSLEY
EMAIL: DAN@DT-ARCHITECT.COM
PHONE: (479) 631-8817

PLAN INDEX:

- C0 COVER SHEET
- C1 DEMOLITION PLAN
- C2 OVERALL SITE PLAN
- C3 SITE PLAN
- C4 GRADING PLAN
- C5 DRAINAGE PLAN & PROFILE
- C6 EROSION CONTROL PLAN
- C7 UTILITY PLAN
- C8 WATER PLAN & PROFILE
- C9 LANDSCAPE PLAN
- C10 LANDSCAPE NOTES
- C11 DETAIL SHEET 1
- C12 DETAIL SHEET 2
- C13 DETAIL SHEET 3
- C14 DETAIL SHEET 4

ASSOCIATED PLAN INDEX:

- RWW DETAIL SHEET WD-1
- RWW DETAIL SHEET WD-2
- RWW DETAIL SHEET SD-1
- BOUNDARY SURVEY

RESOURCE LIST:

COMMUNITY DEVELOPMENT
CITY OF ROGERS
301 W. CHESTNUT ST.,
ROGERS, AR 72756
ETHAN HUNTER
EMAIL: EHUNTER@ROGERSAR.GOV
PH: (479) 621-1186

FIRE PREVENTION
ROGERS FIRE DEPARTMENT
201 N. 1ST ST.
ROGERS, AR 72756
BILL RUMSEY, CAPTAIN
EMAIL: WRUMSEY@ROGERSAR.GOV
PH: (479) 621-1100

COMMUNITY RISK REDUCTION DIVISION
CITY OF ROGERS INSPECTION DEPARTMENT
113 NORTH 4TH ST.,
ROGERS, AR 72756
TRAVIS HOLLIS
EMAIL: THOLLIS@ROGERSAR.GOV
PH: (479) 621-1100

CURB CUT & ROAD INFORMATION
ROGERS STREET DEPARTMENT
3101 OAK STREET
ROGERS, AR 72756
FRANKIE GUY II
EMAIL: ADAM.PARKER@ROGERSAR.GOV
PH: (479) 621-1140

WATER
ROGERS WATER UTILITIES
601 S. 2ND ST.,
ROGERS, AR 72756
STEPHEN PONDER
EMAIL: STEPHENPONDER@RWW.ORG
PH: (479) 621-1142

SANITARY SEWER
ROGERS WATER UTILITIES
601 S. 2ND ST.,
ROGERS, AR 72756
STEPHEN PONDER
EMAIL: STEPHENPONDER@RWW.ORG
PH: (479) 621-1142

STORM SEWER
COMMUNITY DEVELOPMENT
301 W. CHESTNUT ST.,
FAYETTEVILLE, AR 72703
DYLAN COBB
EMAIL: WVS150@ATT.COM
PH: (479) 442-3173

HEALTH DEPARTMENT
ARKANSAS DEPARTMENT OF HEALTH
4815 S. MARKHAM ST.
LITTLE ROCK, AR 72205
ADAM PARKER
EMAIL: ADAM.PARKER@ARKANSAS.GOV
PH: (501) 661-2824

NATURAL GAS
BLACK HILLS ENERGY
130 FEDERAL WAY, PO BOX 21219
LOWELL, AR 71745
BRANDON STUBBS
EMAIL: BRANDON.STUBBS@BLACKHILLSACORP.COM
PH: (479) 333-7004

ELECTRIC
AEP
415 W. STRIBLING DR.,
ROGERS, AR 72756
MARK BEASLEY
EMAIL: MKBEASLEY@AEP.COM
PH: (479) 986-1004

TELEPHONE
AT&T
1133 E. HAROLD ST.,
FAYETTEVILLE, AR 72703
BRYAN WILLIAMS
EMAIL: WVS150@ATT.COM
PH: (479) 442-3173

INTERNET
COX COMMUNICATIONS
4901 S. 48TH ST.,
SPRINGDALE, AR 72762
DOUG ELUSON
PH: (479) 717-3608

GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY: CEI ENGINEERING ASSOCIATES, INC.
3108 SW REGENCY PKWY #2
BENTONVILLE, ARKANSAS 72712
PHONE: (479) 273-9472
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DERRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. **WARRANTY/DISCLAIMER:**
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTINUOUS BASIS AT THE SITE.
- G. **SAFETY NOTICE TO CONTRACTOR:**
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. **WETLANDS NOTE:**
ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. **RESIDENT ENGINEERING SERVICES:**
WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

FLOOD CERTIFICATION:

A PORTION OF THIS SITE AS SHOWN IN IS THE "ZONE AE" DESIGNATED FLOOD AREA 100-YEAR FLOODPLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 05007C0270K, FOR BENTON COUNTY, ARKANSAS, EFFECTIVE DATE JUNE 5, 2012.

NOTE TO CONTRACTOR:
A PRE-CONSTRUCTION MEETING WITH ROGERS PLANNING DEPARTMENT IS REQUIRED PRIOR TO ISSUANCE OF A GRADING AND/OR BUILDING PERMIT. ALL PHASE I EROSION CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE MEETING AND A REDUCED SET OF APPROVED CONSTRUCTION PLANS (11X17) WILL BE REQUIRED.

ALL MECHANICAL EQUIPMENT (ROOF AND GROUND MOUNTED) SHALL BE SCREENED ON ALL EXPOSED TO VIEW SIDES BY SIMILAR MATERIALS AS THE BUILDING.

- CITY SPECIFIC NOTES:**
- EASEMENT PLAT IS REQUIRED BEFORE ISSUANCE OF CERTIFICATE OF OCCUPANCY.
 - ALL CIVIL PLANS USED ON-SITE MUST INCLUDE CURRENT STAMP FROM ROGERS PLANNING.
 - EASEMENT PLAT MUST BE APPROVED AND RECORDED PRIOR TO CERTIFICATE OF OCCUPANCY.
 - IF THE PROJECT COSTS EXCEED \$20,000, AS STATE CONTRACTOR'S LICENSE IS REQUIRED PER RODGERS CODE SEC. 14-228(6).



11/19/2018

CITY OF ROGERS STAMP

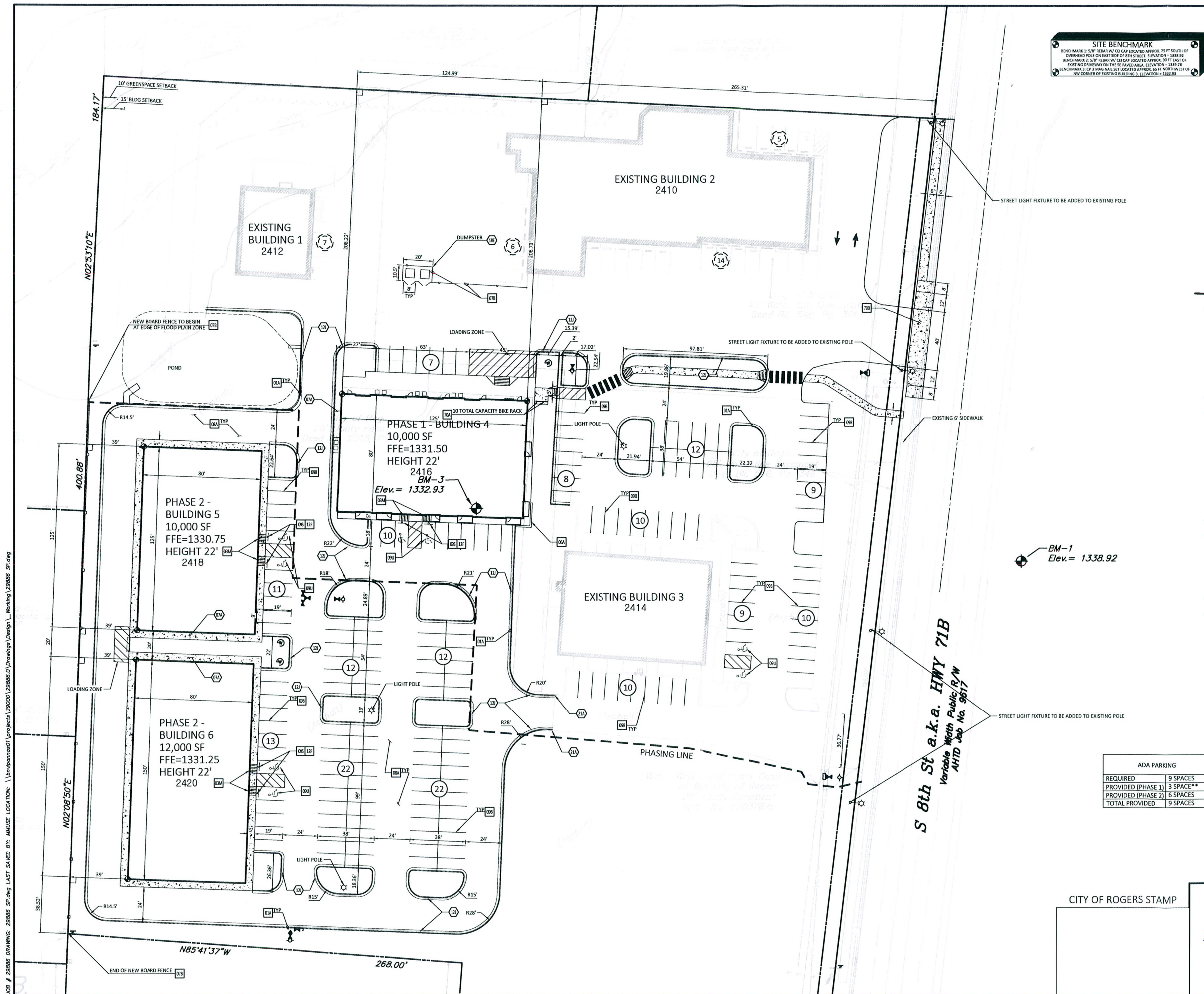


Arkansas * California * Minnesota * Pennsylvania * Texas

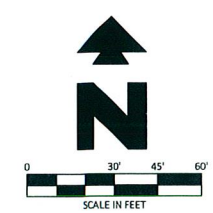
JOB NO.: 29886	SHEET NO.
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TIME: 3:24 PM	
REV: 2	



JOB # 29886 DRAWING: 29886 SP.dwg LAST SAVED BY: MMUSE LOCATION: \\envision07\projects\20000\29886\0 Drawings\Design\Working\29886 SP.dwg



SITE BENCHMARK
BENCHMARK 1: 5/8" REBAR W/ CEI CAP LOCATED APPROX. 75 FT SOUTH OF OVERHEAD POLE ON EAST SIDE OF 8TH STREET. ELEVATION = 1338.92
BENCHMARK 2: 5/8" REBAR W/ CEI CAP LOCATED APPROX. 90 FT EAST OF EXISTING DRIVEWAY ON THE SE PAVED AREA. ELEVATION = 1339.76
BENCHMARK 3: CP 3 MAG NAIL SET LOCATED APPROX. 65 FT NORTHWEST OF NW CORNER OF EXISTING BUILDING 3. ELEVATION = 1332.93





**Know what's below.
Call before you dig.**

LEGEND			
EXISTING			
	EAST OR ELECTRIC		OVERHEAD TELEPHONE
	NORTH		OVERHEAD TV
	OVERHEAD		SANITARY SEWER
	SOUTH OR SEWER		UNDERGROUND ELECTRIC
	TELEPHONE		UNDERGROUND ELECTRIC AND TELEPHONE
	UNDERGROUND		UNDERGROUND TELEPHONE
	WEST OR WATER		UNDERGROUND TV
	PROPERTY LINE		WATER
	RIGHT OF WAY LINE		TREE INFO
	STORM DRAIN		5" = DIAMETER OF TRUNK IN FEET
	GAS		10" = HEIGHT OF TREE IN FEET
	OVERHEAD ELECTRIC		11" = CANOPY DIAMETER IN FEET
	OVERHEAD ELECTRIC AND TELEPHONE		50.5" = ELEVATION AT BASE OF TREE

PROPOSED LEGEND			
	PROPERTY LINE/RIGHT OF WAY LINE		CURB INLET
	CONCRETE CURB AND GUTTER. SEE DETAIL 01A/01B.		LIMITS OF SIDEWALKS AND CONCRETE APRONS (PER ARCH. PLANS)
	BUILDING CONTROL POINT		
	EXISTING PARKING SPACES		
	PROPOSED PARKING SPACES		

- GENERAL SITE NOTES**
- ALL DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL CURB RETURN RADII SHALL BE 3' OR 10', AS SHOWN TYPICAL ON THIS PLAN, UNLESS OTHERWISE NOTED.
 - UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL CURB AND GUTTER ADJACENT TO ASPHALT PAVING SHALL BE INSTALLED PER DETAIL 01A. ALL CURBING ADJACENT TO CONCRETE PAVING SHALL BE INSTALLED PER DETAIL 01B. PAVEMENT SHALL BE INSTALLED IN ACCORDANCE WITH DETAIL 08A OVER THE ENTIRE PARKING LOT AREA AND ALL APPROACH DRIVES. ALL PARKING LOT STRIPING INCLUDING ACCESSIBLE AND VAN ACCESSIBLE SPACES SHALL BE PAINTED PER DETAIL 70A.
 - ALL PARKING LOT SIGN BASE SUPPORTS SHALL BE INSTALLED PER DETAIL 12F.
 - ALL ACCESSIBLE PARKING STALLS SHALL HAVE SIGNAGE INSTALLED PER DETAIL 09S.
 - ALL HVAC AND OTHER MECHANICAL EQUIPMENT MUST BE SCREENED FROM PUBLIC VIEW.
 - ALL WALL PACK LIGHTING ON BUILDING SHALL BE FULL CUT-OFF TYPE.

- SITE NOTES**
- 07A SIDEWALK (PER ARCH. PLANS).
 - 12J FIRE LANE STRIPING PER LOCAL CODES.
 - 18A EXISTING TO BE REMOVED.
 - 18B EXISTING TO BE RELOCATED.
 - 18E POINT OF RELOCATION.
 - 19A EXISTING TO REMAIN.
 - 21A TAPER CURB TO MATCH EXISTING CURB.
 - 51B LIMITS OF SAWCUT AND PAVEMENT REMOVAL.

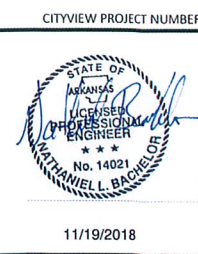
- SITE DETAILS**
- 01A TYPE A CONCRETE CURB AND GUTTER
 - 03M WHEELCHAIR RAMP IN SIDEWALK
 - 07B WOOD FENCE
 - 06A SEGMENTAL RETAINING WALL NOTES
 - 08A STANDARD DUTY ASPHALT PAVING
 - 09B NINETY DEGREE PARKING SPACE STRIPING
 - 09S ACCESSIBLE / VAN ACCESSIBLE PARKING SIGN
 - 09U ACCESSIBLE PARKING SYMBOL
 - 12F SIGN BASE
 - 70A BIKE RACK
 - 70B DR-1 DRIVEWAY

ADA PARKING	
REQUIRED	9 SPACES
PROVIDED (PHASE 1)	3 SPACES**
PROVIDED (PHASE 2)	6 SPACES
TOTAL PROVIDED	9 SPACES

BUILDING	AREA	PARKING REQUIRED	PARKING PROVIDED
EXISTING BUILDING 1	3,061 SF	11 SPACES	7 SPACES**
EXISTING BUILDING 2	15,566 SF	52 SPACES	25 SPACES**
EXISTING BUILDING 3	7,044 SF	24 SPACES	39 SPACES**
BUILDING 4 (1 SPACE PER 300 SF AREA)	10,000 SF	34 SPACES	47 SPACES
PHASE 1 TOTALS		121 SPACES	118 SPACES
BUILDING 5 (1 SPACE PER 300 SF AREA)	10,000 SF	34 SPACES	35 SPACES
BUILDING 6 (1 SPACE PER 300 SF AREA)	12,000 SF	40 SPACES	56 SPACES
PHASE 2 TOTALS		74 SPACES	91 SPACES
FINAL PARKING COUNT		195 SPACES	209 SPACES

** PARKING SPACES ARE EXISTING.

CITY OF ROGERS STAMP



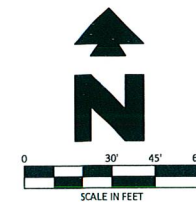
29886 11/19/18 NLB NLB DKH KAP
CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW

CEI Engineering Associates, Inc.
ENGINEERS • PLANNERS • SURVEYORS
LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS

3108 S.W. REGENCY PARKWAY, SUITE 2 (479)273-9472
Bentonville, AR 72712 FAX (479)273-0844

EIGHT CENTRE DEVELOPMENT
2416, 2418, 2420 S. 8TH STREET
ROGERS ARKANSAS

SITE PLAN REV DATE 11/19/18 REV-2 SHEET NO. C3



EXISTING	
EAST OR ELECTRIC	OVERHEAD TELEPHONE
NORTH	OVERHEAD TV
OVERHEAD	SANITARY SEWER
SOUTH OR SEWER	UNDERGROUND ELECTRIC
TELEPHONE	UNDERGROUND ELECTRIC AND TELEPHONE
UNDERGROUND	UNDERGROUND TELEPHONE
WEST OR WATER	UNDERGROUND TV
PROPERTY LINE	WATER
RIGHT OF WAY LINE	TREE INFO
STORM DRAIN	.5 = DIAMETER OF TRUNK IN FEET
GAS	10 = HEIGHT OF TREE IN FEET
OVERHEAD ELECTRIC	11 = CANOPY DIAMETER IN FEET
OVERHEAD ELECTRIC AND TELEPHONE	50.5 = ELEVATION AT BASE OF TREE

=====	PROPERTY LINE/RIGHT OF WAY LINE
== - - - ==	STORM DRAIN
-----X"G-----	GAS SERVICE
-----X"SS-----	SANITARY SEWER SERVICE
-----UGE-----	UNDERGROUND ELECTRIC SERVICE
-----UGE&T-----	UNDERGROUND ELECTRIC AND TELEPHONE SERVICE
-----X"W-----	WATER SERVICE

- A. ALL DOMESTIC WATER LINES SHALL BE TYPE K COPPER WITH 3/6" MIN. COVER.
ALL WATER MAIN LINES SHALL BE CLASS 350 DUCTILE IRON PIPE WITH 36" MIN. COVER.
- B. ALL SANITARY SEWER LINES SHALL BE SDR-26 WITH 36" MIN. COVER.
- C. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- E. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- F. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- G. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM CEI ENGINEERING AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED VARIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. CEI ENGINEERING AND ITS CLIENTS SHALL BE INFORMED IMMEDIATELY IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- H. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN SPECIFICATIONS: ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL 31A. ALL WATER LINE PIPE BEDDING SHALL BE INSTALLED PER DETAIL 47A. SANITARY SEWER PIPE BEDDING SHALL BE INSTALLED PER DETAIL 42B.

22A POINT OF CONNECTION - WATER SERVICE (PER LOCAL CODES).
22B 1/2" TAPPING ELBOW WITH M/2" TAPPING VALVE AND THRUST BLOCKING WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET).
22C M/2" GATE VALVE WITH ADJUSTABLE VALVE BOX (SEE SIZES THIS SHEET).
22D M/2" TEE WITH THRUST BLOCK (SEE SIZES THIS SHEET).
22E M/2" REDUCER (SEE SIZES THIS SHEET).
22F M/2" CAP/PLUG WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22G 90 DEGREE M/2" BEND WITH THRUST BLOCKING (SEE SIZES THIS SHEET).
22H PROPOSED WATER SERVICE (PER LOCAL CODES AND SPECIFICATIONS).
23A POINT OF CONNECTION - SANITARY SEWER SERVICE (PER LOCAL CODES).
24A POINT OF CONNECTION FOR ELECTRICAL SERVICE (PER ELECTRIC COMPANY REQUIREMENTS).
24B PROPOSED ELECTRIC TRANSFORMER.
27A POINT OF CONNECTION FOR GAS SERVICE (PER LOCAL GAS COMPANY REQUIREMENTS).
27C PROPOSED GAS METER.
31A CONTRACTOR SHALL VERIFY UTILITY AS SHOWN IS FOR DRAINING PURPOSES ONLY. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN FIELD PRIOR TO THE CONSTRUCTION OF THE PROPOSED UTILITY LINE TO BE CONNECTED. CONTRACTOR SHALL NOTIFY CEI ENGINEERING IF THE DESIGN AS SHOWN IS NOT ACHIEVABLE.
76A FIRE HYDRANT PER RW/ AND STANDARD DETAIL WD-44 AND 4B
76B WATER LINE PER RW/ STANDARD DETAIL WD-112
76C MANHOLE PER RW/ STANDARD DETAIL SD-12
76D SANITARY SEWER LINE PER RW/ STANDARD DETAIL SD-13
76E RPA2 TYPE BACKFLOW PREVENTER
76F NEW LIGHT POLE
76G SANITARY SEWER CAP
76H MANHOLE ADJUSTMENT PER RW/ STANDARD DETAIL SD-110



S 8th St a.k.a. HWY 71B
Variable Width Public R/W
AHTD Job No. 9617

0 10' 15' 20'

INSET A

SCALE IN FEET

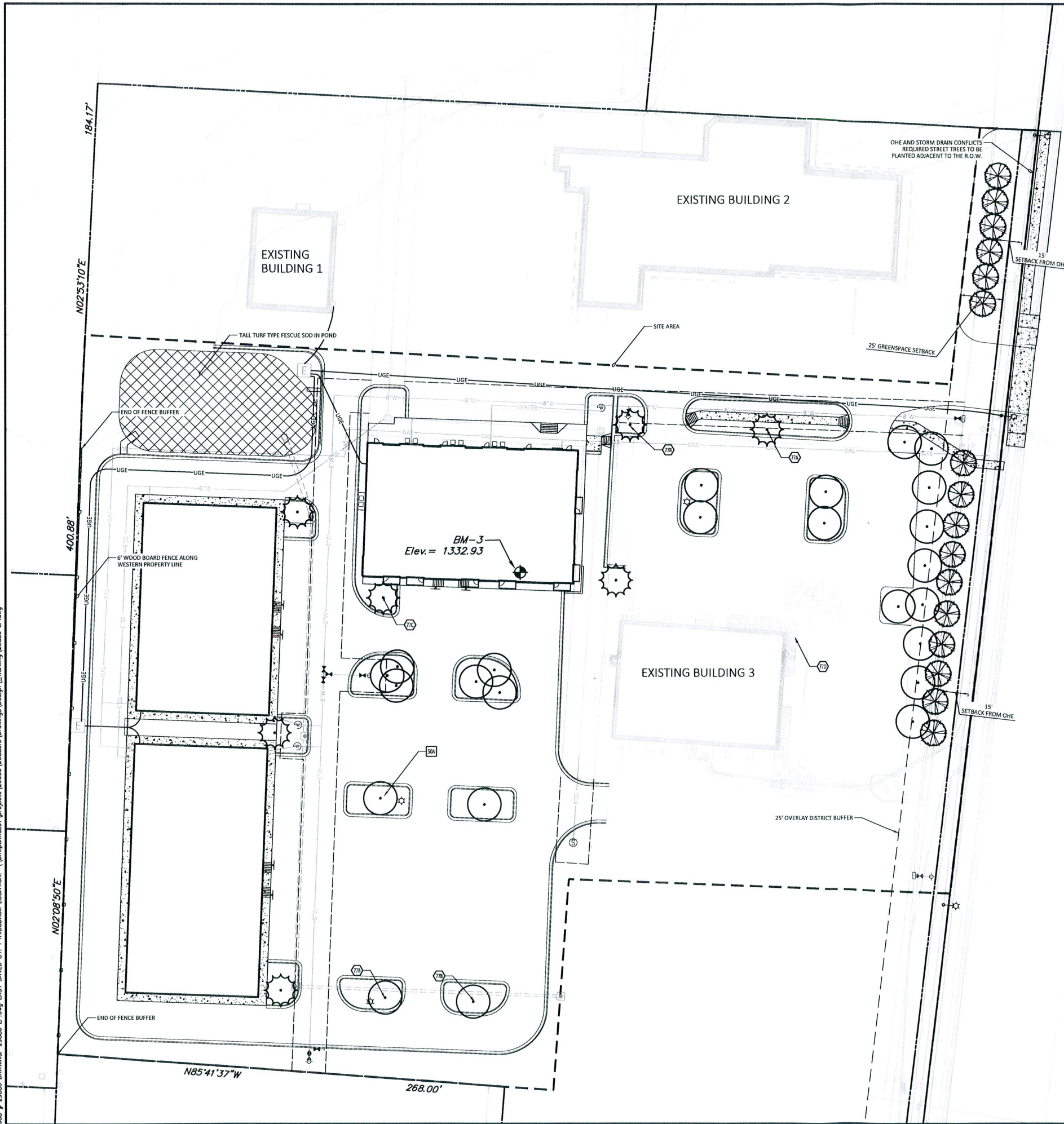
11/19/2018

29886	10/26/18	NLB	NLB	DKH	D
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	D
 Engineering Associates, Inc. ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712				(479) 273-9471 FAX (479) 273-0841	
EIGHT CENTRE DEVELOPMENT					
2416, 2418, 2420 S. 9TH STREET ROGERS ARKANSAS					
UTILITY PLAN			REV DATE 10/26/18 SHEET C:		

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JOB # 29886 DRAWING: 29886 UP.dwg LAST SAVED BY: DHILEMAN LOCATION: \\bnvp\pnas01\projects\29000\29886.0\Drawings\Design_Working\29886 UP.dwg

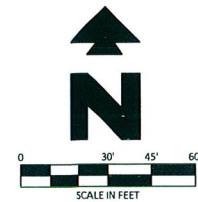
JOB # 29886 DRWING: 29886 LP.dwg LAST SAVED BY: PTHEDDAAUX LOCATION: \\bndpennac\projects\29886\Drawings\Design\29886 LP.dwg



SITE BENCHMARK
BENCHMARK 1: 5/8" REBAR W/ CEI CAP LOCATED APPROX. 75' FT SOUTH OF
OVERHEAD POLE ON EAST SIDE OF 8TH STREET. ELEVATION = 1338.93
BENCHMARK 2: 1/2" REBAR W/ CEI CAP LOCATED APPROX. 90' FT EAST OF
EXISTING DRIVEWAY ON THE SE PAVED AREA. ELEVATION = 1339.76
BENCHMARK 3: CP 3 HANG NAIL SET LOCATED APPROX. 65' FT NORTHWEST OF
NW CORNER OF EXISTING BUILDING 3. ELEVATION = 1332.93

TOTAL SITE AREA:
210,378 (4.82 ACRES)
OPEN SPACE:
55,010 SF (1.26 ACRES)
26.14% OPEN SPACE

NOTE: A LETTER FROM THE OWNER/DEVELOPER IS REQUIRED THAT
GUARANTEES TO MAINTAIN AND/OR REPLACE THE LANDSCAPING FOR A
PERIOD OF THREE YEARS STARTING ONCE INSTALLATION IS COMPLETE.



LEGEND

EXISTING	
EAST OR ELECTRIC	OVERHEAD TELEPHONE
NORTH	OVERHEAD TV
OVERHEAD	SANITARY SEWER
SOUTH OR SEWER	UNDERGROUND ELECTRIC
TELEPHONE	UNDERGROUND ELECTRIC AND TELEPHONE
UNDERGROUND	UNDERGROUND TELEPHONE
WEST OR WATER	UNDERGROUND TV
PROPERTY LINE	WATER
RIGHT OF WAY LINE	TREE INFO
STORM DRAIN	5" = DIAMETER OF TRUNK IN FEET
GAS	10" = HEIGHT OF TREE IN FEET
OVERHEAD ELECTRIC	11" = CANOPY DIAMETER IN FEET
OVERHEAD ELECTRIC AND TELEPHONE	50.5" = ELEVATION AT BASE OF TREE

PROPOSED LEGEND

---	BOUNDARY LINE
---	STORM DRAIN
XXXX	TALL TURF TYPE FESCUE SOD

GENERAL NOTES

A. SEE LANDSCAPE NOTES (SHEET C10) FOR LANDSCAPE NOTES AND DETAILS.

LANDSCAPE REQUIREMENTS		
CITY REQUIREMENTS	REQUIRED	PROVIDED
STREET TREES	• 20 FT TREES IN STREET SECTION, 1 TREE PER 30 L.F. • 483 L.F. ALONG HIGHWAY 71B • 16 REQUIRED (DOES NOT COUNT TOWARDS TOTAL INTERIOR PLANTINGS)	• 16 STREET TREES (DOES NOT COUNT TOWARDS OVERALL TOTAL) PLACED OUTSIDE OF R.O.W. ALONG STREET FRONTAGE
INTERIOR PLANTINGS	• 1 TREE / SHRUB PER 2,000 S.F. OF TOTAL SITE (20 PERIRIVALS = 1 TREE/SHRUB) • 210,378 S.F. TOTAL SITE AREA • 1 TREE PER ISLAND • 106 PLANTS REQUIRED (EXCLUDING STREET TREES)*	• 31 PROPOSED TREES • 93 EXISTING SHRUBS • 124 TOTAL
OVERLAY DISTRICT TREES	• 1 TREE PER 20 L.F. HIGHWAY R.O.W. • 483 L.F. ALONG HIGHWAY 71B • 24 OVERLY R.O.W. TREES REQUIRED (DOES COUNT TOWARDS OVERALL PLANT REQUIREMENTS) RELOCATED TO INTERIOR OF SITE	• 24 TREES
SCREENING REQUIREMENTS	• SCREENING REQUIRED BETWEEN ANY ZONE ADJACENT TO A RESIDENTIAL ZONE.	• 6" WOOD BOARD FENCE ALONG WESTERN PROPERTY LINE

* MIN 25% OF REQUIRED PLANTS MUST BE TREES
MIN 10% OF REQUIRED TREES MUST BE EVERGREEN
MAX 25% OF REQUIRED TREES MAY BE ORNAMENTAL

LANDSCAPE DETAILS

50A TREE PLANTING
50B SHRUB PLANTING

LANDSCAPE NOTES

77A TREES TO BE PLANTED MINIMUM 5' BEHIND BACK OF CURB.
77B TREES TO BE PLANTED MINIMUM 5' FROM UNDERGROUND UTILITIES.
77C TREES TO BE PLANTED MINIMUM 5' FROM HYDRANT.
77D EXISTING SHRUBS TO REMAIN, MIX OF SPIREA, BOXWOOD AND CREPE MYRTLES.

PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	TYPE	QTY
	Magnolia virginiana 'Moon Glow' / Sweet Bay	B & B	2.5" Cal	EVERGREEN	7
OVERLAY TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	TYPE	QTY
	Acer rubrum 'October Glory' TM / October Glory Maple	B & B	2.5" Cal	SHADE	24
STREET TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	TYPE	QTY
	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B & B	2.5" Cal	ORNAMENTAL	16

EXISTING SHRUBS

COMMON NAME
SPIREA, BOXWOOD & CREPE MYRTLES

N/A N/A N/A 93

CITY OF ROGERS STAMP



29886	10/23/18	NLB	NLB	OKH	KAP
CEI PROJECT NO.	INITIAL DATE	DPOR	PM	DES	DRW
CEI Engineering Associates, Inc.					
ENGINEERS • PLANNERS • SURVEYORS LANDSCAPE ARCHITECTS • ENVIRONMENTAL SCIENTISTS					
3108 S.W. REGENCY PARKWAY, SUITE 2 Bentonville, AR 72712 (479)273-9472 FAX (479)273-0844					
EIGHT CENTRE DEVELOPMENT					
2416, 2418, 2420 S. 8TH STREET ROGERS ARKANSAS					
LANDSCAPE PLAN		REV. DATE 10/26/18 REV-2	SHEET NO. C9		



CEI Engineering Associates, Inc.

ENGINEERS ■ SURVEYORS ■ LANDSCAPE ARCHITECTS ■ PLANNERS

3108 SW Regency Parkway, Suite 2
Bentonville, AR 72712
(479) 273-9472 Fax (479) 273-0844
www.ceieng.com

TAB 2

November 27, 2018

Rogers Planning Commission
301 W. Chestnut Street
Rogers, AR 72756

**RE: Eight Centre Waiver Requests
South 8th Street, City of Rogers Cityview Project # PL201800730
CEI Project # 29886**

Dear Rogers Planning Commissioners,

On behalf of Honey Creek Land & Cattle, LLC, CEI respectfully requests the following waivers as part of the development of land along south 8th Street in Rogers.

Waiver of Chapter 14, Article V, Division 3, Section 14-604c Lot and Block Standards:

The text below provides the requirements of the ordinance and our response in bold to each of the sections in consideration of the waiver request.

(c) Connectivity Standards. A proposed development shall provide multiple direct connection in its minor and collector on-site street system to and between local destination, such as park, schools, and shopping, without requiring the use of arterial streets.

- 1) Each development shall incorporate and continue all collector or minor streets stubbed to the boundary of the development plan by previously approved but unbuilt development, or existing development. For any commercial, high density residential, or mixed use development, the interior minor and collector street system, including those along the development's perimeter, shall grid the development in a linear orientation that aligns with adjacent and nearby existing or potential city streets.

The surrounding properties have not provided any collector or minor streets stubbed to the boundary of this lot. This portion of the ordinance would not apply. Cross connectivity to the north developed lot is proposed and shown to be accomplished by cross access easement internal to the development. Further, we do not believe the intent of the ordinance is to allow commercial traffic through a residential area.

- 2) To ensure future street connections to adjacent developable parcels, a proposed development shall provide local street (stub out) connections along each boundary that abuts potentially developable or re-developable land so that local cross streets exist spaced at intervals not to exceed 660 feet and not less than 200 feet along each boundary that abuts potentially developable or re-developable land.

The property to the west of this development consists of undevelopable floodway in the northwest corner, and an established residential neighborhood. While "re-developable land" is subjective, we present that the surrounding properties are developed to the extent possible and unlikely to redevelop. The applicability of this section of the ordinance appears to rely on "developable or re-developable land" and would therefore not apply to this proposed development.

- 3) To ensure future street connections to adjacent streets, a proposed development shall provide minor street connections at intervals not to exceed 660 feet and not less than 200 feet along

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existing streets. New minor streets shall align with existing nearby streets to the extent practicable.

The property proposed for development is in an established commercial district with existing arterial and collector streets on two sides of the lot. The east side of South 8th Street does not have an existing street stub nor is a proposed street indicated on the master street plan for this area. Furthermore, the existing railroad tracks between South 8th Street and the property to the east would likely prohibit any minor street from being installed if that property were to be developed. Access easements are being provided to cement access to each of the buildings on site and cross access to the property on the north. See exhibit A attached for clarity of easements proposed.

Waiver of Chapter 14, Article V, Division 3, Section 14-260f Distance Between Curb Cuts:

The text below provides the requirements of the ordinance and our response in bold to each of the sections in consideration of the waiver request.

Distance between curb cuts required to be 250 feet for a 45mph travel speed.

The proposed development intends to utilize two of the existing four curb cuts along the 8th Street frontage. The two existing curb cuts are currently being used for the two operational buildings on the property. The curb cut on the south side, closest to the intersection of Post, is proposed to be closed in response to the requirement for driveway separation from that intersection. The remaining curb cut in the center of the property is requested to remain as an access to the asphalt parking lot and will be addressed at the time of future development of that part of the property.

This waiver request is submitted to allow three of the four existing driveways to remain with this development. The northernmost driveway sits approximately 206 feet from the offsite driveway to the north. The center driveway sits approximately 280 feet from the northern driveway, and the southern driveway sits approximately 204 feet from the center drive. The southern driveway requested to be retained is the only means of access to the existing parking lot on the south side of the property which will be addressed at the time of future development of that area. See attached exhibit for clarification of this request.

Waiver of Chapter 14, Article V, Division 3, Section 14-285(3) Design Standards within overlay districts:

The text below provides the requirements of the ordinance and our response to each of the sections in consideration of the waiver request.

Required landscape areas along the frontage of the highways and primary corridors designated in section 14-284(b) shall be no less than 25 feet deep exclusive of the right-of-way. Within this area the developer will plant trees at 20-foot spacing for the full width of the frontage.

The development proposes to meet the required 25' of greenspace along the street frontage in fulfillment of this requirement. However; due to existing overhead power lines, water mains, and underground telecom and gas lines, the required overlay frontage trees cannot all be planted as specified in this code. The proposed plan incorporates the required trees in the overlay area where possible and elsewhere in the site as a compromise to this requirement consistent with the allowable provisions in that section. To wit: "...where the requirements conflict with existing public utilities, the Planning Commission may vary from the ordinance."

Waiver of Chapter 14, Article V, Division 3, Section 14-256(14)g Street Trees:

The text below provides the requirements of the ordinance and our response in bold to each of the sections in consideration of the waiver request.

Street Trees are in addition to other landscaping requirements.

The proposed development is required to provide street trees within the street right of way in accordance with the master street plan section for Arterial street. The number and spacing of trees varies based on the size of trees proposed. However, based on the location of overhead power along the street and requirements for 15' offset from Carroll Electric, even the smallest trees cannot be planted in the right of way without violation of the required offset. Developer proposes to incorporate the required street trees within the development instead of in the street right of way. The number of required street trees will be provided in addition to interior plantings. See Landscape Plan for clarification of this request.

Waiver of Chapter 14, Article V, Division 3, Section 14-256(11)b.1 Sidewalks:

The text below provides the requirements of the ordinance and our response in bold to each of the sections in consideration of the waiver request.

Sidewalks shall be placed as shown on the street typical sections.

The proposed development contains one structure that was recently improved with a LSDP which included construction of 6-foot sidewalk along the portion of the project that fronts 8th Street. The 6' sidewalk was set 6 feet off the existing back of curb. This waiver requests that the existing sidewalk be allowed to remain instead of replacement with the 10-foot side path that is shown on the Major Arterial street section. New sidewalk along the frontage of the existing building to the north of this development is also shown to be installed at 6 feet wide in deviation from the master street plan section.

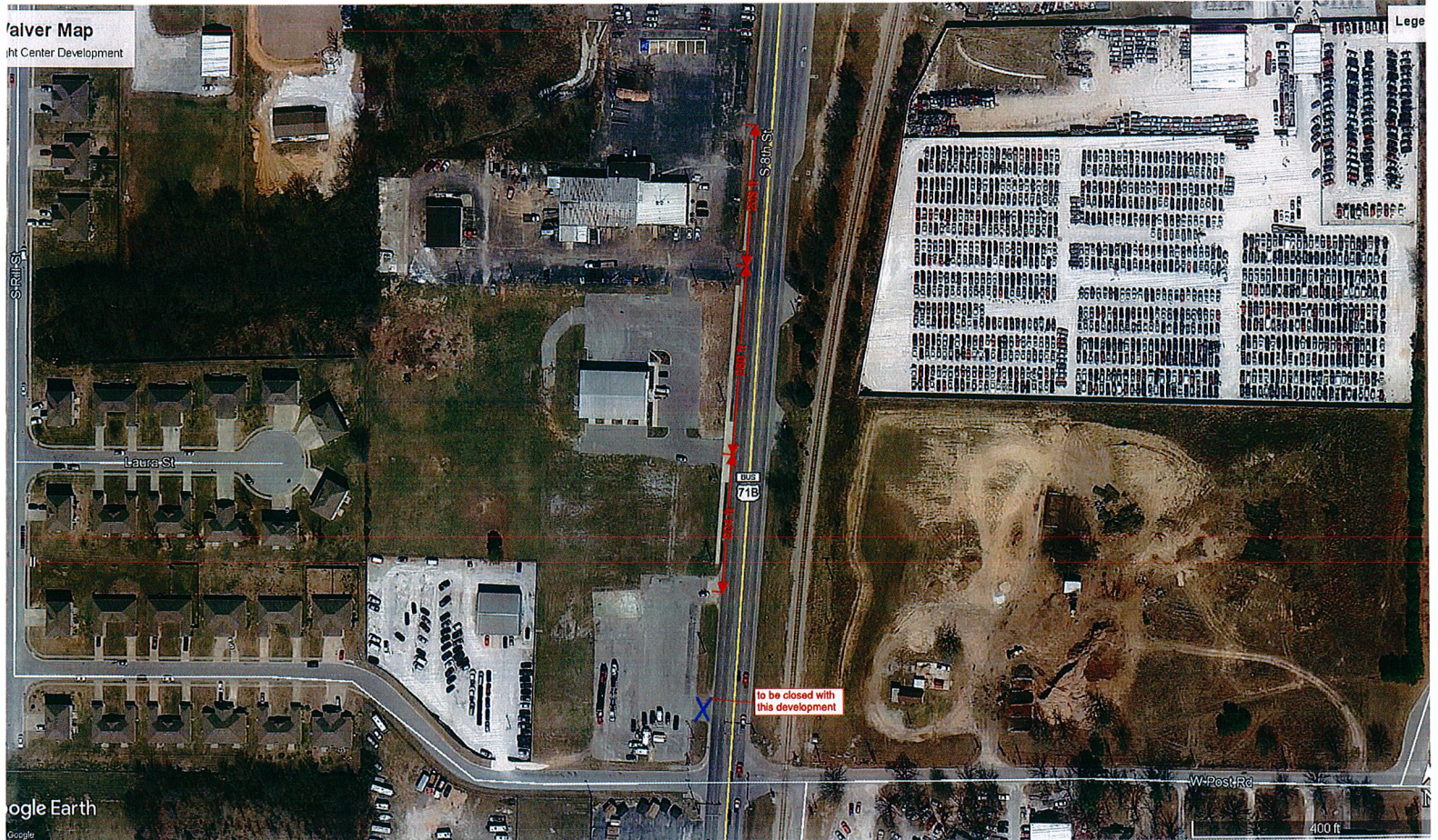
Furthermore, this waiver requests the commission waive street improvement requirement along the south part of the project designated by "future phases" on the site plan. This area is not included as part of the proposed project and would be addressed at the time of development for that part of the property.

We appreciate your consideration of our requests and look forward to discussing any questions you may have. Contact me at your convenience in the office at 479-273-9472, or by email: nbachelor@ceieng.com for further discussion as needed.

Respectfully requested,



Nate Bachelor, PE
Project Manager





DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

Infrastructure Improvement Agreement

Pursuant to A.C.A. § 14-56-417 and A.C.A. § 14-56-103(a)(3)(B)(v)

Project: Eight Centre Office City Project #: PL201800730

On-site city infrastructure improvements associated with project: Provide 6' sidewalks with 6' greenspace, street lights provided by the utility company serving this area, street trees along the back of the sidewalk. Said improvements would apply only along the boundary of the project phase on S. 8th Street as shown in the approved plans.

Off-site city infrastructure improvements associated with project: None

Agreement on construction and/or financial arrangement:

☒ All city infrastructure required with project approval will be constructed by developer.

☐ City infrastructure to be bonded by developer and constructed at a later date:

Amount: _____

Amount: _____

Amount: _____

☐ A fee-in-lieu to be paid by developer toward future city project:

Amount: _____

Amount: _____

Amount: _____

An engineer’s estimate (signed and sealed) must be approved by the Department of Community Development, and a copy must accompany this form for performance bonds or fees-in-lieu.

City statement of rationale for option chosen: The infrastructure improvements meet the requirements for a
large scale development per Sec. 14-228(30).

The parties signing below agree the improvements listed have a reasonable nexus to the legitimate interest of the city and are reasonably proportional to the impacts of the project.

Project: Eight Centre Office

Date agreement entered: _____

Signature of Owner/Developer

City of Rogers Engineer

Print Name and Title

Director of Community Development