



DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

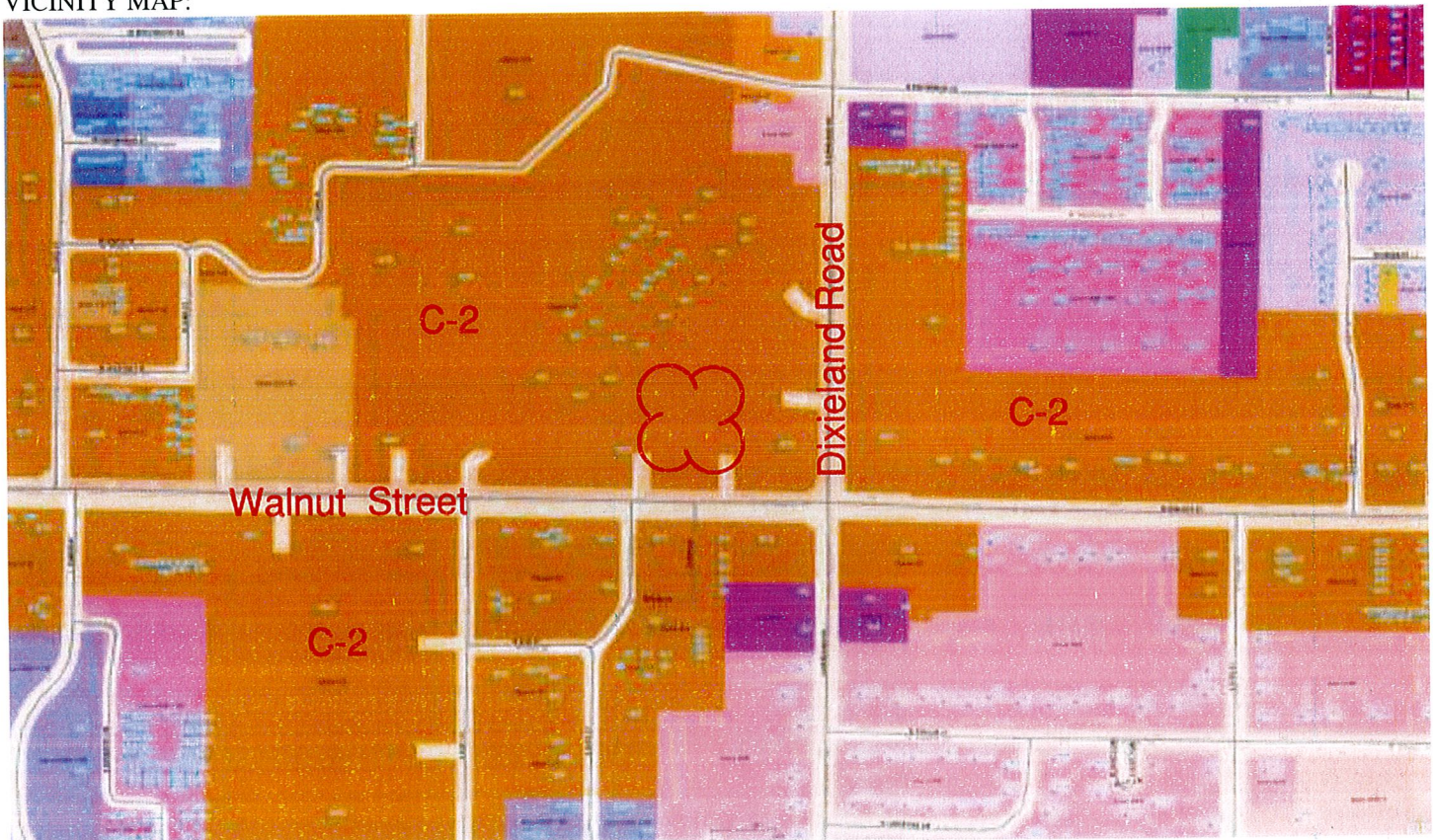
July 27, 2018

TO: PLANNING COMMISSION, LARGE SCALE DEVELOPMENT COMMITTEE

**LSDP, Scooter's Coffee
STAFF SUMMARY REPORT**

LOCATION:	1887 W. Walnut St
LAND OWNER:	Frisco Station LLC
DEVELOPER:	NWA Wire, LLC
APPLICANT/ ENGINEER:	Anderson Engineering
ZONING DISTRICT:	C-2 (Highway Commercial), Overlay District
PLANNED USE:	Restaurant, Fast Food
REQUEST:	Large-Scale Development Project approval
AUTHORITY:	Article III of Chapter 14, Rogers Code of Ordinances
DESCRIPTION:	450-sf coffee shop on .18 acres
WAIVERS:	Yes: Overlay District landscape areas, Overlay District setback, Overlay District trees, minimum right-of-way dedication from the centerline of W. Walnut Street, and required 10' sidepath with 6' greenspace on Pauline Whitaker Parkway

VICINITY MAP:



BACKGROUND

- The applicant intends to build a 450-sf coffee shop on .18 acres at the intersection of W. Walnut St and S. 19th St.
- All adjacent properties to the north, south, east, and west include commercial buildings with C-2 zoning. The development will be located at the site of the Frisco Station Mall.
- Status: the LSDP has gone through the technical review process, and all revisions requested by staff have been completed and approved.

STAFF REVIEW

ENGINEERING REVIEW:

- 1) Access Management: The site meets all requirements for City access management standards per Sec. 14-260.
- 2) Stormwater and Water Quality:
 - a) Stormwater management: No stormwater detention is proposed since the post-development flows decreased compared to predevelopment flows due to added pervious areas.
 - b) Water quality: Water quality is not proposed
- 3) Required Public Improvements:
 - a) Street pavement and condition: The site is located within the Frisco Station Mall parking lot and fronts W. Walnut Street (U.S. 71B). W. Walnut Street is classified on the Master Street Plan as major arterial street and constructed as a 5-lane road with curb and gutter, and sidewalks.
The roadway pavement is not in substandard condition and does not require improvements.
 - b) Streetscape:
 - i) Right-of-Way: The applicant requests a **WAIVER** to Sec. 14-228(30) for minimum required 50' right-of-way dedication from the centerline of W. Walnut Street to remain consistent along W. Walnut Street.
 - ii) Sidewalks and sidepaths: The applicant requests a **WAIVER** to Sec. 14-256(11) for required 10' sidepath with 6' greenspace because a 10' sidepath would not be consistent with the existing sidewalks already installed.
 - iii) Trails: No trail construction is required on this site.
 - iv) Streetlights: One streetlight to be provided.
 - v) Street trees: Street trees to be provided within the right-of-way.
- 4) RECOMMENDATIONS:

The proposed project meets all engineering review requirements for a large-scale development, subject to the waiver requests below.

 - a) **Approve waiver to Sec. 14-228(30) for minimum right-of-way dedication from the centerline of W. Walnut Street.** Per Sec. 14-46(3)d, other available means or factors indicate an absence of need, including future need.
W. Walnut Street has been improved to a 5-lane road with all required streetscape items installed and contained within the existing right-of-way.
 - b) **Approve waiver to Sec. 14-256(11) for 10' sidepath with 6' greenspace on W. Walnut Street.** Per Sec. 14-46(3)d, other available means or factors indicate an absence of need, including future need.
Sidewalks with no greenspace were constructed prior to this development. A 10' sidepath with 6' greenspace would create an isolated section unlikely to connect to a future sidepath.



DYLAN COBB, Planning Engineer
City of Rogers Engineering Division



NATHAN BECKNELL, City Engineer
City of Rogers Engineering Division

PLANNING REVIEW:

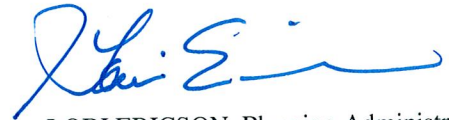
- 1) Land Use: This proposed building meets the definition of "Restaurant, Fast Food," and is allowed by right in the C-2 (Highway Commercial) Zoning District.
- 2) Disposition of Structures:
 - a) Landscaping: The applicant requests a **WAIVER** from the Overlay District required landscape areas and the required Overlay District trees stated in Sec. 14-285(3). All other landscaping requirements have been met.

Note: staff recommendations are based on the documentation available at the time of request and may not reflect all information made available to the officials during discussion and consideration.

- b) Parking: The site plan has met all vehicle parking requirements stated in Section 14-709 and all bicycle parking requirements stated in Sec. 14-256(16).
- c) Setbacks: The applicant requests a **WAIVER** from the Overlay District setback standards, as mentioned in Sec. 14-285(2). The proposed project has met all other the setback requirements, as stated in Section 14-709(d).
- d) Screening: The site plan has met all screening requirements, as stated in Section 17-709(g).
- 3) Views of Others: No supporting or opposing comments have been received by the Planning Division.
- 4) **RECOMMENDATIONS**:
- a) The proposed project meets all large-scale land use and disposition requirements. Approve with the following waivers:
- i) **Approve waiver to Sec. 14-285(3) for Overlay District landscape areas and trees.** Staff supports the waiver to Overlay District landscaping areas because the site is currently 100% impervious and this development will provide more landscaping areas than if this project were not approved. Staff supports the waiver to the Overlay District trees because the applicant is providing more than the required trees and shrubs on other parts of the lease area. The applicant is still providing street trees.
- ii) **Approve waiver to Sec. 14-285(2) for Overlay District setback.** Staff supports this waiver due to this project being compatible with other existing structures in the Frisco Mall parking lot that are located less than 75' away from the right-of-way.



ELIZABETH TREAT, District Planner
City of Rogers Planning Division



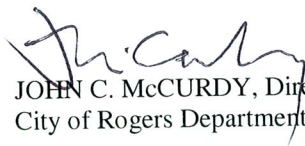
LORI ERICSON, Planning Administrator
City of Rogers Planning Division

ADMINISTRATOR'S SUGGESTED MOTION:

"Motion to approve the Large Scale Development plan with waivers from Overlay District landscape areas, Overlay District setbacks, and Overlay District trees, minimum right-of-way dedication from the centerline of W. Walnut Street, and required 10' sidepath with 6' greenspace on Pauline Whitaker Parkway contingent upon all conditions listed in engineers report."

DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. McCURDY, Director
City of Rogers Department of Community Development

Tabs:

1. Large-Scale Development Plans
2. Waiver Letter

Note: staff recommendations are based on the documentation available at the time of request and may not reflect all information made available to the officials during discussion and consideration.



July 26, 2018

projectno:18AR10003
filename: Waiver Request

City of Rogers

Department of Community Development
Planning Division
301 W. Chestnut St.
Rogers, AR 72756
(479) 621-1186

RE: Scooter's Coffee (New Drive-Thru #291) – Waiver Request
CityView Project # PL201800340



VICINITY MAP
NTS

To Whom it May Concern,

We would like to request a waiver to the landscape requirements for the Highway Overlay District for the proposed Scooter's Coffee located at 1887 W. Walnut Street (Frisco Mall parking lot). Eight (8) trees, a 25' front buffer yard, a 10' side buffer yards and a 10' rear buffer yard is required per Overlay District requirements. Due to the nature of this project, space is very limited and only four (4) trees were able to fit in the available green space. And due to lease lines being taken directly from an existing parking lot, none of the Overlay District buffer yards were able to be implemented. The referenced layout was discussed with City Planning Staff and was determined to be the most efficient use of this land given the intended use. All required street trees were incorporated into this design.

We would also like to request a reduction of the overlay district front building setback requirement from 75' to 65'. This reduction will allow the Scooter's Coffee to be constructed in line with the Arvest Bank to the east and the Payless Shoes to the west. Additionally, the site is limited in depth due to a cross drive in the Frisco Mall parking lot located at the rear (north side) of the leased area limiting the size of an allowable "builder's box" that is not adequate for the building within the current setback requirements.

Finally, we would like to request a waiver for the required street improvements. It is impractical to construct street improvements for only the length of our lease line frontage.

If you have any questions or need additional information, please don't hesitate to call.

Sincerely,


Nathaniel C. Roberts, PLA
Anderson Engineering, Inc.

Franchisee / Tenant:

NWA Wire, LLC
16881 E. Highway 12
Rogers, AR 72756
(402) 587-0311
agstall@yahoo.com

AndersonEngineeringInc.com

5311 W. Village Pkwy, Rogers, Arkansas 72758 • Phone: 479.286.8181 • E-mail: info@andersonengineeringinc.com

CIVIL ENGINEERING • SURVEYING • STRUCTURAL • GIS • MUNICIPAL • GEOTECHNICAL/DRILLING • MATERIALS TESTING

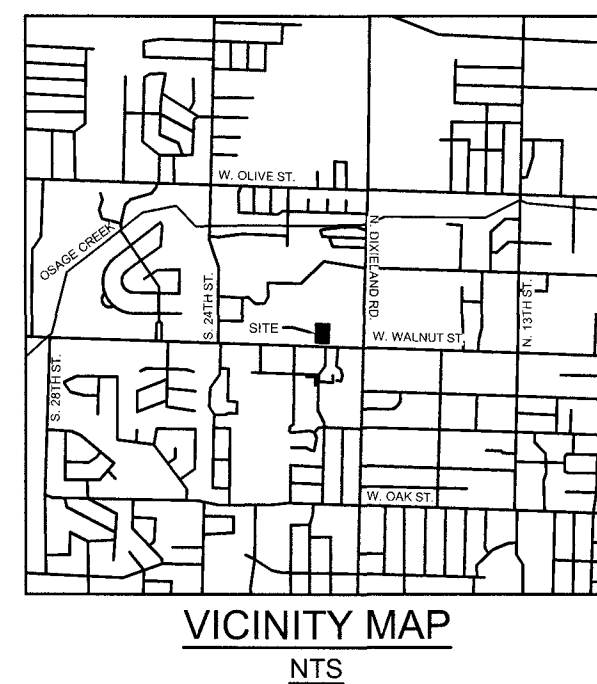
NEW DRIVE-THRU #291

FOR

SCOOTER'S COFFEE

1887 W. WALNUT ST.
ROGERS, BENTON COUNTY, ARKANSAS 72756

LARGE SCALE DEVELOPMENT SUBMITTAL
7/6/18



PROPERTY OWNER / LANDLORD

FRISCO STATION LLC
C/O MICHAEL DEVELOPMENT CORP
11999 SAN VICENTE BLVD. STE 201
LOS ANGELES, CA 90049-5072
AGSTALL@YAHOO.COM

FRANCHISEE / TENANT



NWA WIRE, LLC
16881 E. HIGHWAY 12
ROGERS, AR 72756
(402) 587-0311

AE ANDERSON ENGINEERING
EMPLOYEE OWNED
2045 W. WOODLAND
SPRINGFIELD, MISSOURI 65807
(417) 866-2741
NEIL S. BRADY
NBRADY@ANDERSONENGINEERINGINC.COM

STRUCTURAL ENGINEER

BEC Bergmann Engineering Company
bergengco.com • 417.849.5360
Better Solutions
2021 S. WAVERLY, SUITE 100
SPRINGFIELD, MISSOURI 65804
(417) 849-5360

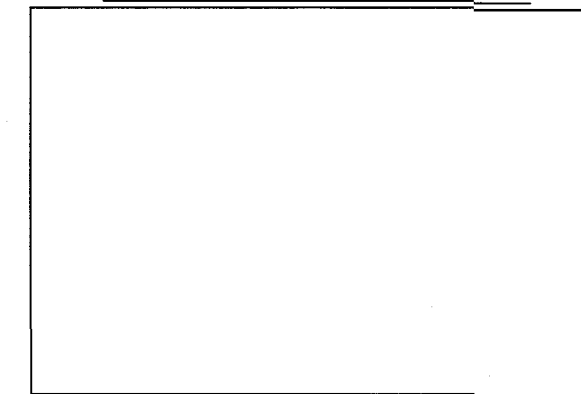
MECHANICAL / ELECTRICAL ENGINEER

CJD
Engineering | Energy | Innovation
2101 W. CHESTERFIELD BOULEVARD, SUITE B-105A
SPRINGFIELD, MISSOURI 65807
(417) 877-1700

ARCHITECT

HOOD-RICH ARCHITECTURE
400 SOUTH AVENUE, SUITE 300
SPRINGFIELD, MISSOURI 65806
(417) 862-4483

CITY APPROVAL STAMP



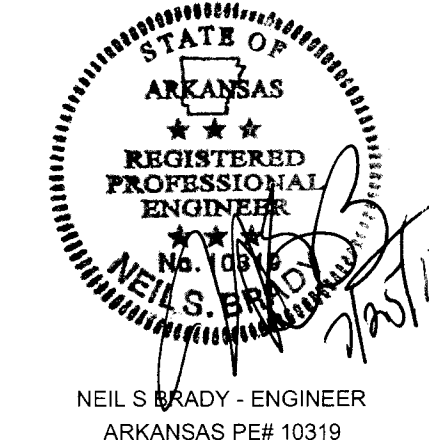
ANDERSON ENGINEERING
EMPLOYEE OWNED
ENGINEERS • SURVEYORS • LABORATORIES • DRILLING
2045 W. WOODLAND • SPRINGFIELD, MISSOURI 65807 • PHONE (417) 866-2741
ANDERSON CO. # 335 • NEIL S. BRADY P.E. #10319
A/E DRAWING NO. WB 111-218

City Approval Stamp



400 South Avenue, Suite 300
Springfield, MO 65806
P: 417.862.4483

Hood-Rich, Inc. ARKANSAS
State Board of Architects #C169



NEIL S. BRADY - ENGINEER
ARKANSAS P.E.# 10319

SHEET INDEX

COVER	CT.1.1	CIVIL COVER SHEET
SURVEY	SV.1.1	BOUNDARY & TOPOGRAPHIC SURVEY
CIVIL	C.1.1	EROSION CONTROL & GRADING PLAN
	C.1.2	SITE DETAILS
ARCHITECTURAL	A1.0	ARCHITECTURAL SITE PLAN
LANDSCAPE	L.1.1	LANDSCAPE PLAN
M.E.P.	ME101	SITE UTILITIES PLAN AND DETAILS
	ME102	ROGERS, ARKANSAS STANDARD WATER AND SEWER DETAILS

BUILDING DATA

CODE:	2012 INTERNATIONAL BUILDING CODE
DESCRIPTION:	THIS IS A NEW DRIVE-THRU RESTAURANT SPECIALIZING IN COFFEE DRINKS. IT WILL BE LOCATED IN THE FRONT PARKING LOT OF AN EXISTING COMMERCIAL SHOPPING CENTER.
USE GROUP:	BUSINESS (B)
CONSTRUCTION TYPE:	5B
FIRE PROTECTION:	NONE
BUILDING AREA:	450 S.F.
ALLOWABLE AREA:	TABULAR: BUSINESS (B) = 9,000 S.F. PER STORY
BUILDING HEIGHT:	1 STORY, 12'-0"
ALLOWABLE HEIGHT:	TABULAR: BUSINESS (B) = 2 STORIES, 40'-0"
OCCUPANT LOAD:	450 S.F. / 100 GROSS = 5 EMPLOYEES
EXITS:	ONE EXIT PROVIDED (SATISFIES REQUIREMENTS)
CORRIDORS:	NO RATINGS REQUIRED
FIRE PARTITIONS:	NO RATINGS REQUIRED
PLUMBING FIXTURES:	ONE (1) WATER CLOSET AND ONE (1) LAVATORY ONE (1) UTILITY SINK NO DRINKING FOUNTAINS REQUIRED

CITY PROJ #:
PL201800340

NEW DRIVE-THRU #291
FOR
SCOOTER'S COFFEE

1887 W. WALNUT ST., ROGERS, BENTON COUNTY, ARKANSAS 72756

Proj. No. 18-139
Date: 07/06/18
revisions:
No. Date
TAC REVIEW 07/24/18
sheet
CT1.1

SETBACK CHART FOR C-2 ZONING DISTRICT:

FRONT YARD:	65 FEET
INTERIOR SIDE YARD:	15 FEET
EXTERIOR SIDE YARD:	45 FEET
REAR YARD:	15 FEET

SITE DATA

LEASED AREA: 0.1820 ACRES +/- (7,930 S.F.)
REQUIRED GREEN SPACE: 1,586 S.F. (20% OF SITE AREA)

THIS NEW DEVELOPMENT IS LOCATED ON EXISTING IMPERVIOUS PAVEMENT IN A LARGER PARCEL OF LAND. THE TOTAL SITE IMPERVIOUS AREA WILL NOT BE INCREASED.

GREEN SPACE REMOVED: 0 S.F.
GREEN SPACE ADDED: 1,146 S.F.
NET GREEN SPACE ADDED: 1,146 S.F. - THIS FALLS SLIGHTLY BELOW THE 20% MINIMUM FOR THE LEASED PARCEL AREA BUT SINCE THIS FITS WITHIN A LARGER DEVELOPMENT, WE BELIEVE THE GREEN SPACE IMPROVEMENTS PROVIDED MEETS THE INTENTION OF THE DEVELOPMENT CODE.

ZONING: HIGHWAY COMMERCIAL (C-2)

OFF-STREET PARKING: REQUIRED PARKING: ONE (1) SPACE PER EACH 4 OCCUPANTS AND ONE (1) SPACE PER EMPLOYEE BASED ON THE LARGEST SHIFT. THERE ARE 8 SEATS PROVIDED ON THE PATIO AND THE LARGEST SHIFT IS 4 EMPLOYEES. SIX (6) SPACES ARE REQUIRED.

PROVIDED PARKING: THIRTEEN (13) SPACES ARE PROVIDED ADJACENT TO THIS DEVELOPMENT. THIS INCLUDES ONE VAN-ACCESSIBLE PARKING STALL.

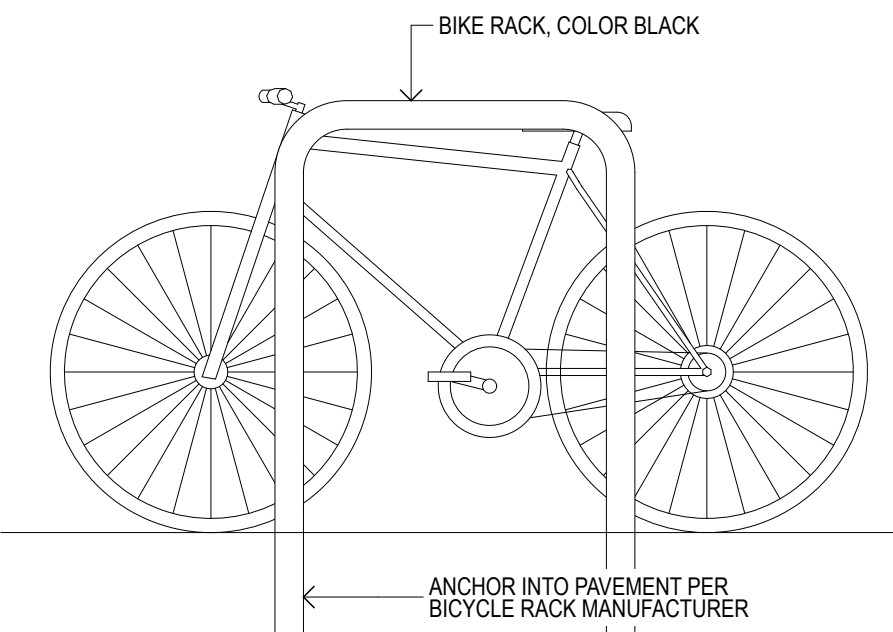
REMOVED PARKING: SEVEN (7) EXISTING PARKING STALLS ARE BEING REMOVED FOR THIS DEVELOPMENT.

LOADING SPACES: THE BUILDING IS ONLY 450 S.F. AND THERE ARE NO LOADING SPACES REQUIRED.

FIVE (5) QUEUING SPACES ARE PROVIDED BETWEEN THE PICK UP WINDOW AND THE MENU BOARD.

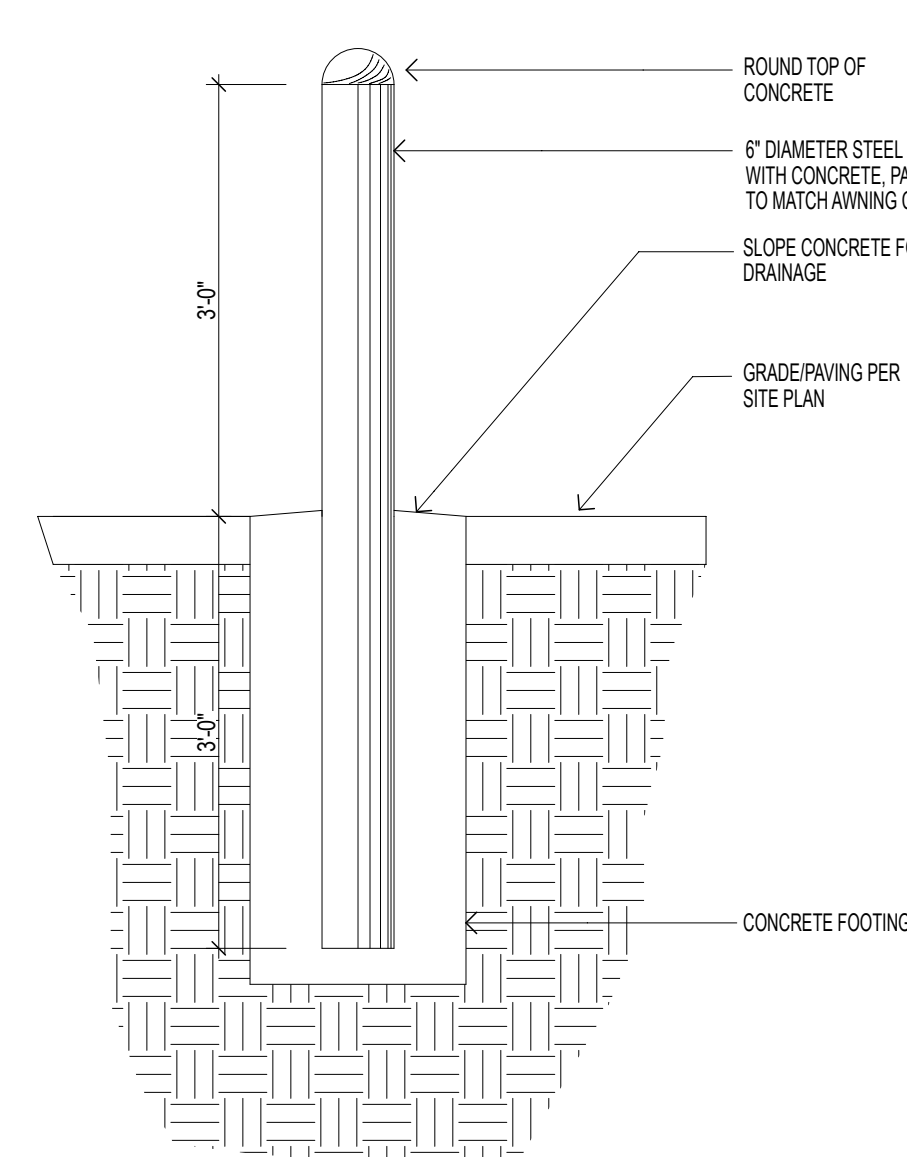
TWO NEW BICYCLE SPACES ARE PROVIDED TO HELP OFFSET THE LOSS OF EXISTING UNUSED PARKING SPACES.

SCREENING: ALL HVAC AND OTHER EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW.



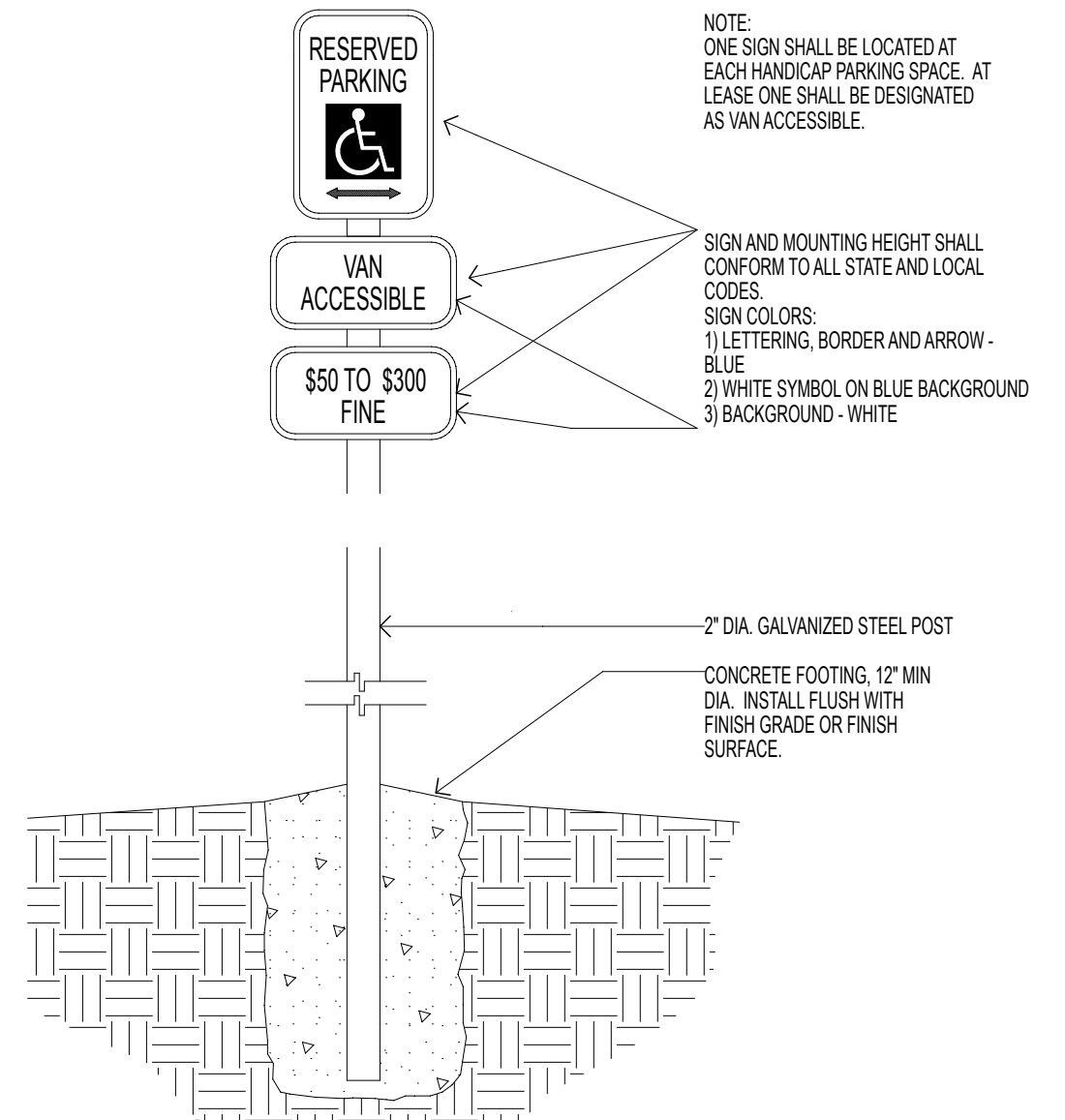
BIKE RACK DETAIL 5

SCALE: 3/4" = 1'-0"



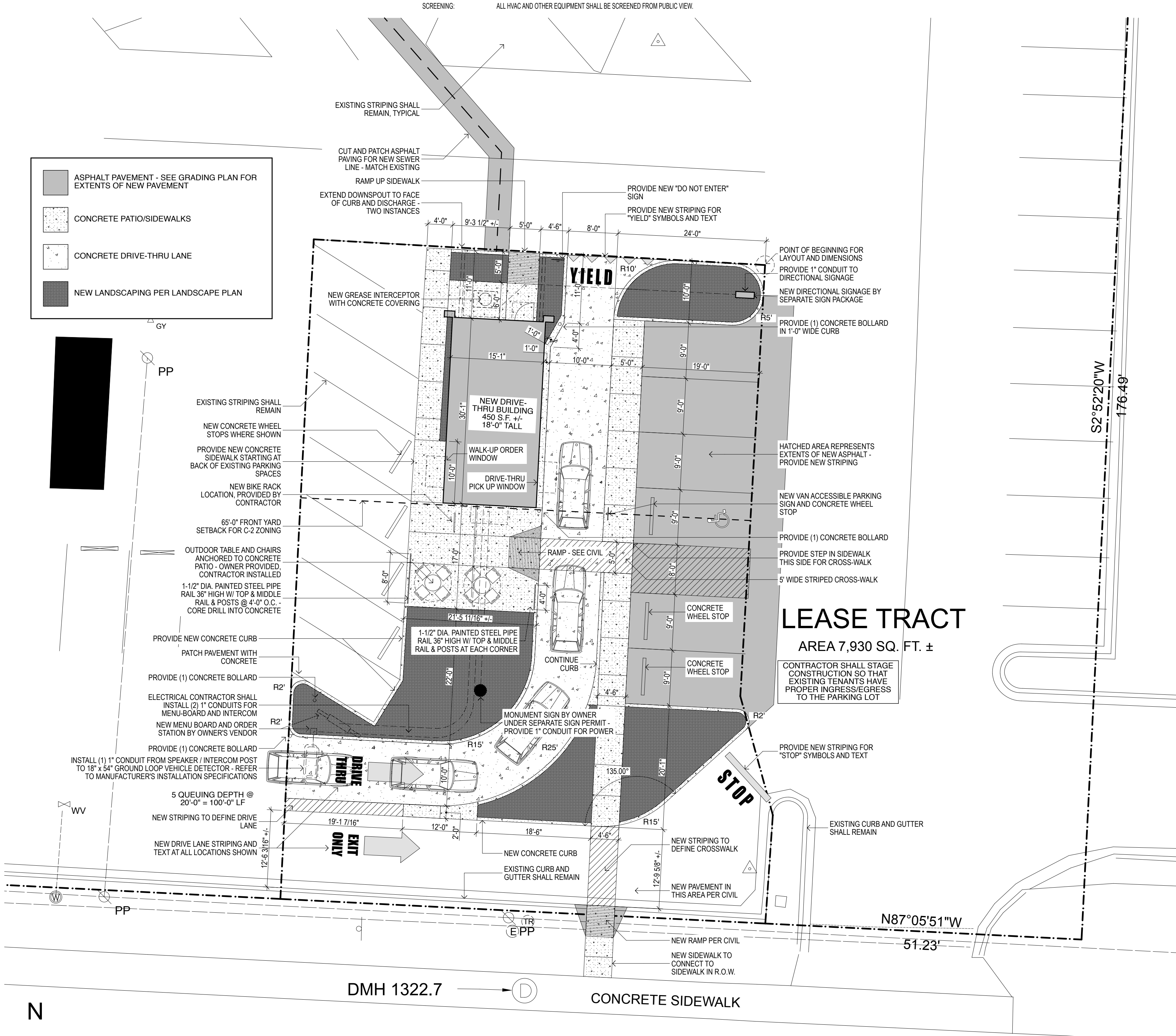
BOLLARD DETAIL 4

SCALE: 3/4" = 1'-0"



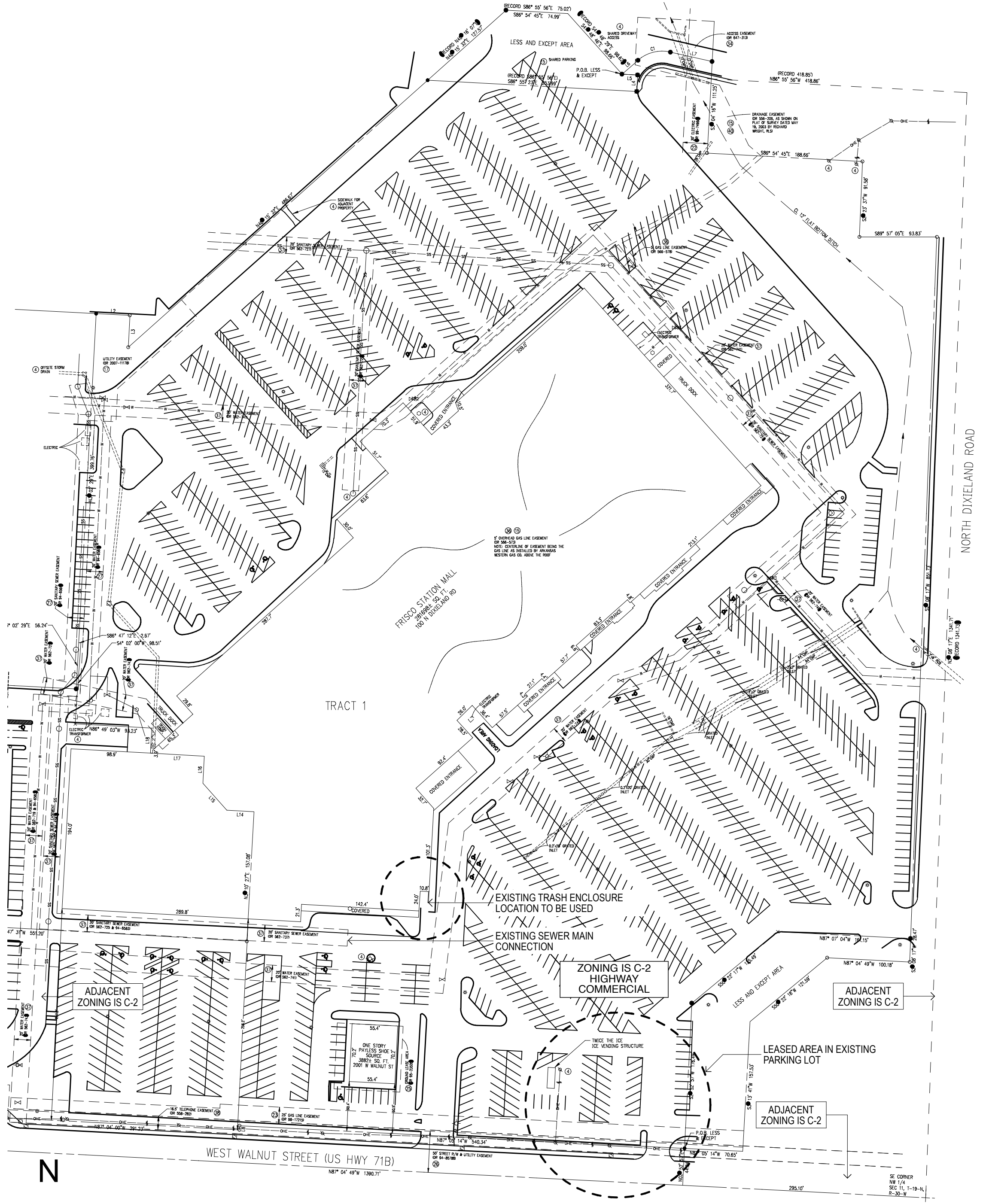
PARKING SIGN DETAIL 3

SCALE: 3/4" = 1'-0"



ENLARGED SITE PLAN 2

SCALE: 1" = 10'



SITE VICINITY MAP 1

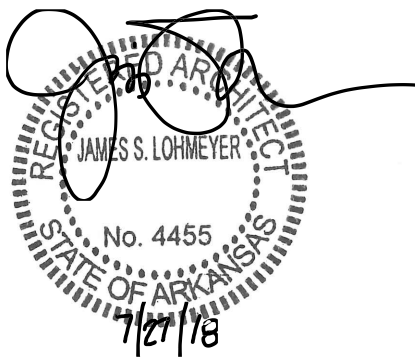
SCALE: 1" = 100'

City Approval Stamp



400 South Avenue, Suite 300
Springfield, MO 65806
P: 417.862.4483

Hood-Rich, Inc. ARKANSAS
State Board of Architects #C169

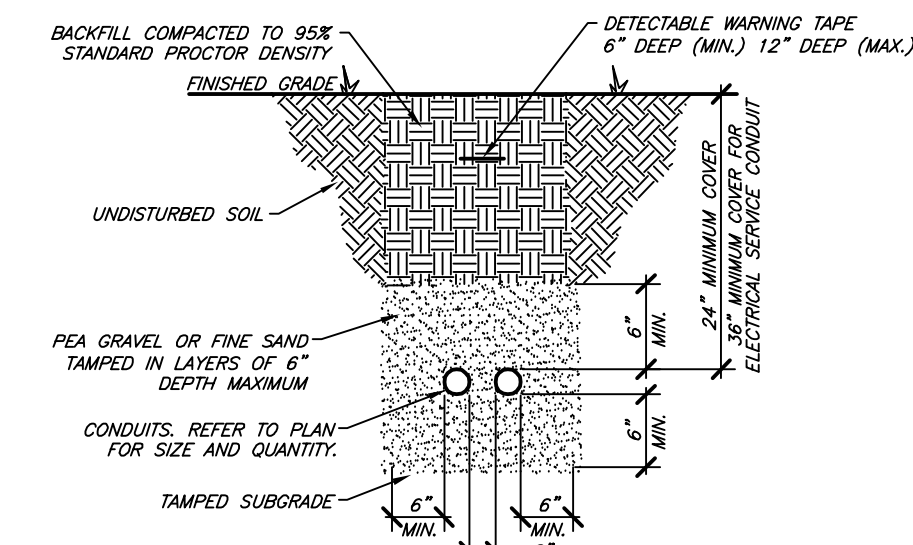
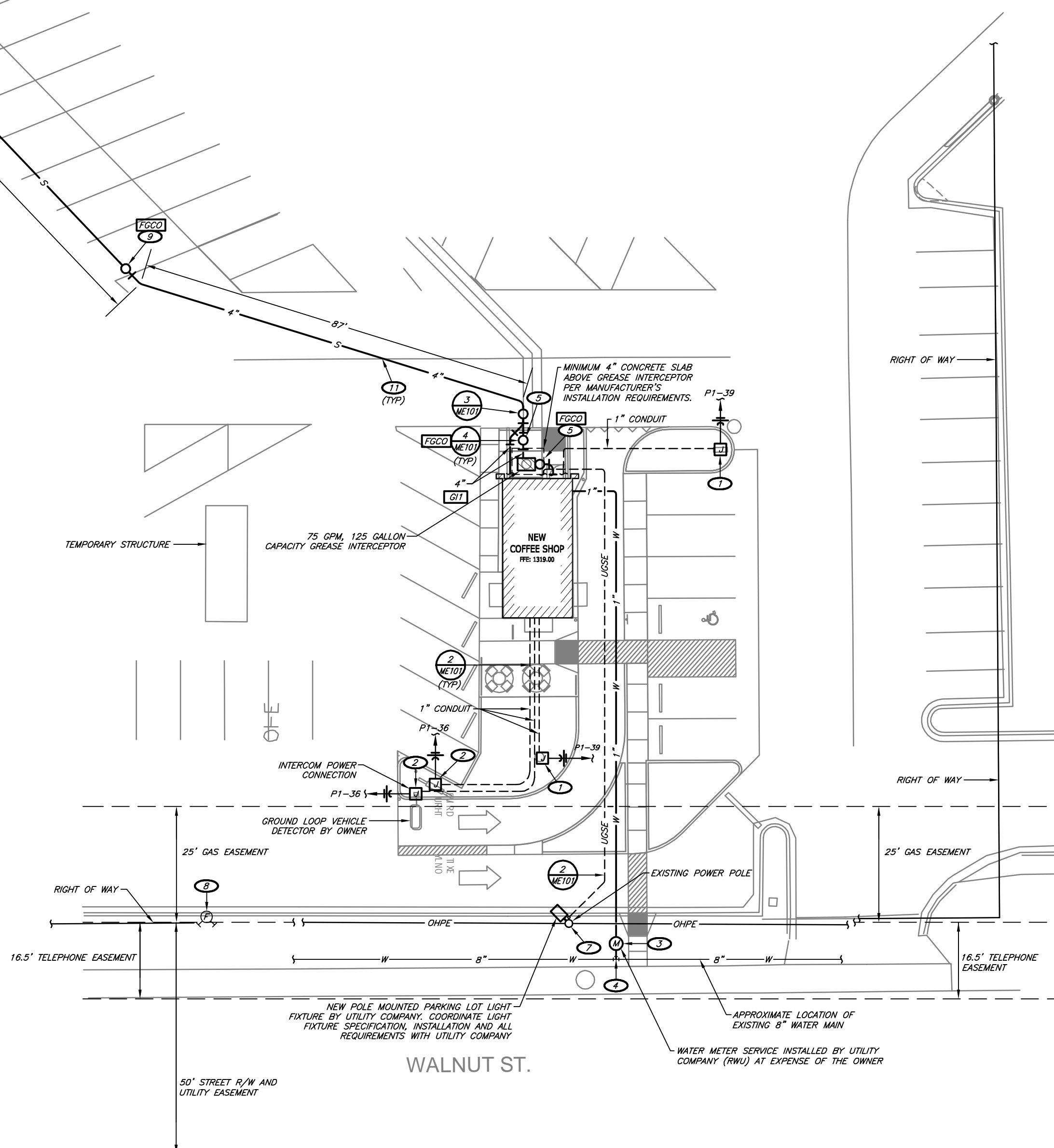
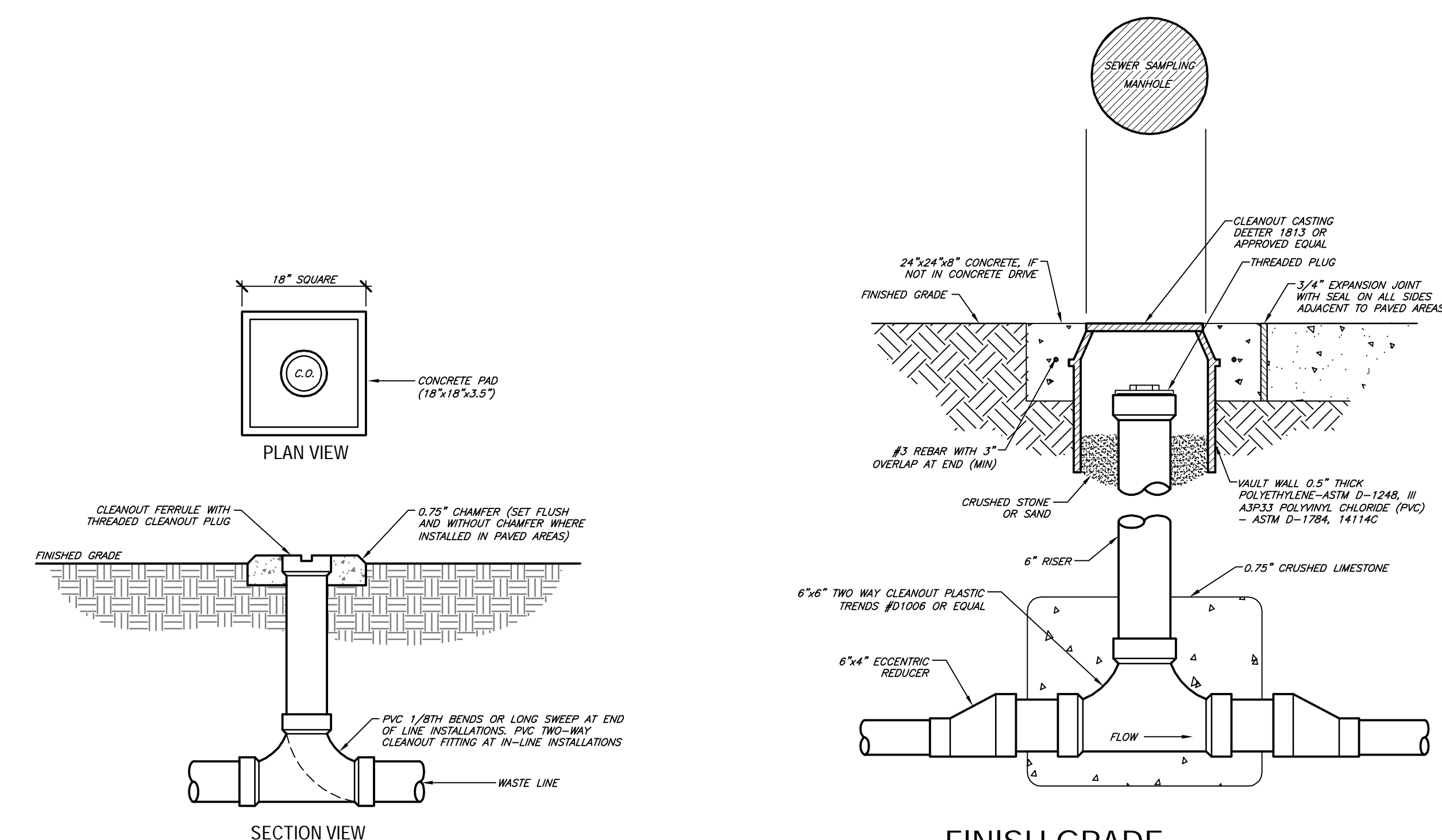


JAMES LOHMEYER - Architect
ARKANSAS #4455
The Professional Architects seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this architect, and this architect expressly disclaims any and all responsibility for such plans, drawings or documents not exhibiting this seal.

NEW DRIVE-THRU #291
FOR
SCOOTER'S COFFEE
1887 W. WALNUT ST., ROGERS, BENTON COUNTY, ARKANSAS 72756

Proj.No. 18-139
Date: 7/6/18
revisions:
TAC REVIEW 7/24/18
TAC REVIEW 7/27/18

sheet
A1.0



- KEYNOTES:

- ① POWER CONNECTION FOR SIGNAGE, VERIFY POWER REQUIREMENTS WITH SIGNAGE PROVIDER AND LOCATION WITH ARCHITECT/OWNER.
- ② 1" CONDUIT FOR POWER AND 1" CONDUIT WITH PULL-WIRE FOR COMMUNICATIONS FOR DRIVE THROUGH EQUIPMENT (MENUBOARD AND INTERCOM). VERIFY EXACT LOCATION WITH ARCHITECT.
- ③ 2" DOMESTIC WATER SERVICE PIPING WITH 5/8" METER. APPROXIMATE DEMAND: 30-50 GPM. LOCATE METER IN GREENSPACE.
- ④ CONNECT NEW WATER SERVICE TO EXISTING WATER MAIN, FIELD VERIFY/COORDINATE EXACT LOCATION WITH UTILITY COMPANY.
- ⑤ 4" WASTE UP TO FINISH GRADE CLEANOUT.
- ⑥ EXISTING SANITARY MANHOLE:
RM ELEV: 1315.1'
FL IN: 1309.9' (EAST)
FL IN: 1310.6' (SOUTH)
FL OUT: 1309.9' (WEST)
- ⑦ POLE MOUNTED TRANSFORMER BY UTILITY COMPANY, EXACT LOCATION SHALL BE FIELD COORDINATED/DETERMINED.
- ⑧ EXISTING FIRE HYDRANT LOCATED APPROXIMATELY 175' WEST OF PROPERTY LINE.
- ⑨ LOCATE FINISH GRADE CLEANOUTS EVERY 100'.
- ⑩ CONNECT NEW 6" SANITARY SEWER TO EXISTING CLEANOUT, COORDINATE WITH UTILITY COMPANY FOR EXACT CONNECTION REQUIREMENTS AND LOCATION.
- ⑪ PATCH AND REPAIR EXISTING PARKING LOT SURFACE AS REQUIRED.

- ## GENERAL NOTES:
1. UTILITY ROUTINES ARE DIAGRAMATIC. ADJUST EXACT ROUTING TO ACCOMMODATE FIELD CONDITIONS.
 2. MINIMUM SLOPE FOR 4" AND 6" SANITARY SEWER PIPING SHALL BE 1/8" PER FOOT.
 3. THE CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANY AND ARRANGE FOR ELECTRICAL SERVICES AS INDICATED ON DRAWINGS. THE CONTRACTOR SHALL INCLUDE ALL FEES, CHARGES, ETC. INCURRED BY THE UTILITY COMPANY INTO BID. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AS REQUIRED BY THE LOCAL AUTHORITIES FOR SERVICE INSTALLATION. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANY AND VERIFY THAT THE EXISTING DOMESTIC WATER SERVICE AND METER CAN BE RE-USED FOR THIS PROJECT. THE CONTRACTOR SHALL INCLUDE ALL FEES, CHARGES, ETC. INCURRED BY THE UTILITY COMPANY INTO BID. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AS REQUIRED BY THE LOCAL AUTHORITIES FOR SERVICE INSTALLATION/MODIFICATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.
 5. THE CONTRACTOR SHALL CONTACT LOCAL UTILITY COMPANY AND VERIFY THAT THE EXISTING SANITARY SEWER SERVICE CAN BE REUSED FOR THIS PROJECT. THE CONTRACTOR SHALL INCLUDE ALL FEES, CHARGES, ETC. INCURRED BY THE UTILITY COMPANY INTO BID. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS AS REQUIRED BY THE LOCAL AUTHORITIES FOR SERVICE INSTALLATION/MODIFICATIONS. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF LOCAL AUTHORITIES.



400 South Avenue, Suite 300
Springfield, MO 65806
P: 417.862.4483
www.hoodrich.com

CJD ENGINEERING ARKANSAS
Certificate of Authority 800094966



RYAN S. JONES - ENGINEER
PE-16638

The Professional Engineer's seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this engineer, and this engineer expressly disclaims any and all responsibility for such plan, drawings or documents not exhibiting this seal.

NEW DRIVE-THRU #291
FOR
SCOOTER'S COFFEE
T ST., ROGERS, BENTON COUNTY, AR

1887 W. WALNUT ST., ROGERS, BENTON COUNTY, ARKANSAS 72756

Proj.No.	18-141
----------	--------

Date: JULY 17, 2018
revisions

No.	date
TAC REVIEW	7/24/18

sheet

ME101

Copyright © 2018 Hood-Rich Inc.

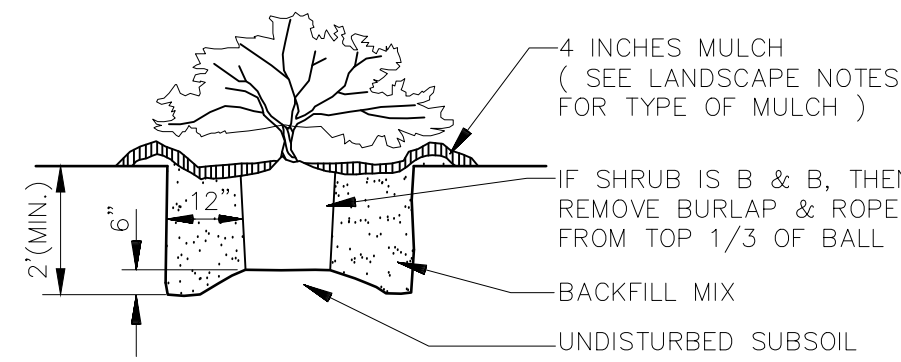
CITY OF ROGERS STREET TREE REQUIREMENTS			
LANDSCAPE AREA	REQUIREMENT	REQUIRED	PROVIDED
STREET TREES	REQUIRED LANDSCAPE AREAS ALONG THE FRONTAGE OF THE HIGHWAYS AND PRIMARY CORRIDORS DESIGNATED IN 14-284 (B) SHALL BE NO LESS THAN 25 FEET DEEP EXCLUSIVE OF THE RIGHT-OF-WAY. WITHIN THIS AREA, THE DEVELOPER WILL PLANT TREES AT 20-FOOT SPACING FOR THE FULL WIDTH OF THE FRONTAGE.	4 STREET TREES (OUTSIDE THE 25' SITE VISIBILITY TRIANGLE)	4 STREET TREES (OUTSIDE THE 25' SITE VISIBILITY TRIANGLE)

A LETTER FROM THE OWNER/DEVELOPER IS REQUIRED THAT GUARANTEES TO MAINTAIN AND/OR REPLACE THE LANDSCAPING FOR A PERIOD OF THREE YEARS.

CITY OF ROGERS HIGHWAY OVERLAY DISTRICT LANDSCAPE REQUIREMENTS			
LANDSCAPE AREA	REQUIREMENT	REQUIRED	PROVIDED
OVERLAY DISTRICT	IF THE TOTAL CURRENT DEVELOPMENT AREA IS LESS THAN TWO ACRES, AT LEAST ONE NEW TREE OR SHRUB MEETING THE PLANTING CRITERIA HEREIN MUST BE PROVIDED FOR EACH 1,000 SQUARE FEET OF THE TOTAL LAND AREA FOR DEVELOPMENTS UP TO TWO ACRES.	8 TREES/SHRUBS FOR 7,930 S.F. OF TOTAL LOT AREA	4 TREES AND 8 SHRUBS FOR 7,930 S.F. OF TOTAL LOT AREA. WAIVER REQUESTED.

SYM.	KEY	QTY	COMMON NAME	SIZE SPACING COMMENTS
			Botanical Name	
—	MH	1	MAIDENHAIR TREE Ginkgo biloba	B&B, 2.5" CAL, MIN. 6' TALL, SHADE TREE
—	HL	1	THORNLESS HONEYLOCUST Gleditsia triacanthos inermis	B&B, 2.5" CAL, MIN. 6' TALL, SHADE TREE
—	SM	1	SOUTHERN MAGNOLIA Magnolia grandiflora	B&B, 2.5" CAL, MIN. 8' TALL, EVERGREEN
—	RB	5	EASTERN REDBUD Cercis canadensis	B&B, 2" CAL, MIN. 6' TALL, ORNAMENTAL

1. H: HEIGHT, CP: CALIPER, C: CONTAINER, MT: MULTI-TRUNK, B&B: BALLED & BURLAPPED ROOT BALL
2. O.C.: INDICATES APPROXIMATE SPACING. SHALL BE CONSIDERED GENERAL GUIDELINE ONLY AND MAY BE MODIFIED TO SUIT ON-SITE CONDITIONS.



N.T.S.

AE-L2

1. THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT (LA) OR DESIGNATED REPRESENTATIVE (DR) REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOTIFY (LA) OR (DR) OF ANY LAYOUT DISCREPANCIES PRIOR TO ANY PLANTING.
3. THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
4. THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
5. THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DIGGING A SHARP SHOOTER SPAD 18" (INCHES) INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 18 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE HOLE RETAINS WATER, THE SOIL IS DETERMINED TO BE TOO POOR FOR PLANTING CONDITIONS. TO REMEDY POOR SOIL CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
6. ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.
7. PLANT MATERIAL:

The Professional Engineer seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this architect, and this architect expressly disclaims any and all responsibility for such plan, drawings or documents not exhibiting this seal.

SCOOTER'S COFFEE

1887 W. WALNUT ST., ROGERS, BENTON COUNTY, ARKANSAS 72756

Date:	07/06/18
revisions:	
No.	Date
TAC REVIEW	7-24-18

L1.1

N.T.S.

5'0" tall ≥4' from curb or sidewalk	30-50' tall ≥3' from curb or sidewalk	<20' tall ≥2' from curb or sidewalk
<ul style="list-style-type: none"> * Fruitless Kentucky Coffee Tree Ginkgo (male only) * Hackberry Japanese Zelkova (Green Vase) Lacebark Elm (Allee) Littleleaf Linden (Greenspire) London planetree Oak <ul style="list-style-type: none"> * Black * Northern Red Shingle * Shumard * Southern Red * Swamp White White * Willow * River Birch * Shortleaf Pine Silver Linden * Sugarberry (Sugar Hackberry) Turkish Filbert 	<ul style="list-style-type: none"> * American Hophornbeam American Holly Chinese Pistache English Oak Hawthorn Kousa Dogwood Persian Ironwood * Scarlet Oak Thornless Honeylocust (Shademaster) * Yellowwood 	<ul style="list-style-type: none"> * American Smoketree Amur Maple Crabapple Hedge Maple Magnolia (Little Gem) Nellie Stevens holly Possumhaw * Redbud Shadlow serviceberry Yaupon Holly

CONTRACTOR SHALL INSTALL AN AUTOMATIC POP-UP AND/OR DRIP IRRIGATION SYSTEM THAT PROVIDES SUFFICIENT WATERING FOR ALL PLANTS AND TURF TO SUSTAIN HEALTHY GROWTH. THE IRRIGATION SYSTEM SHALL BE IN COMPLIANCE WITH ALL CITY, COUNTY AND/OR STATE REQUIREMENTS. CONTRACTOR SHALL ENSURE ALL PLANTS AND TURF ARE MAINTAINED IN HEALTHY GROWING CONDITION FOR ONE FULL GROWING SEASON.

users/dillykimmons/propox/scooters/lottee/291-18ub28.pin-monday, july 2, 2018-3:38 PM