

DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

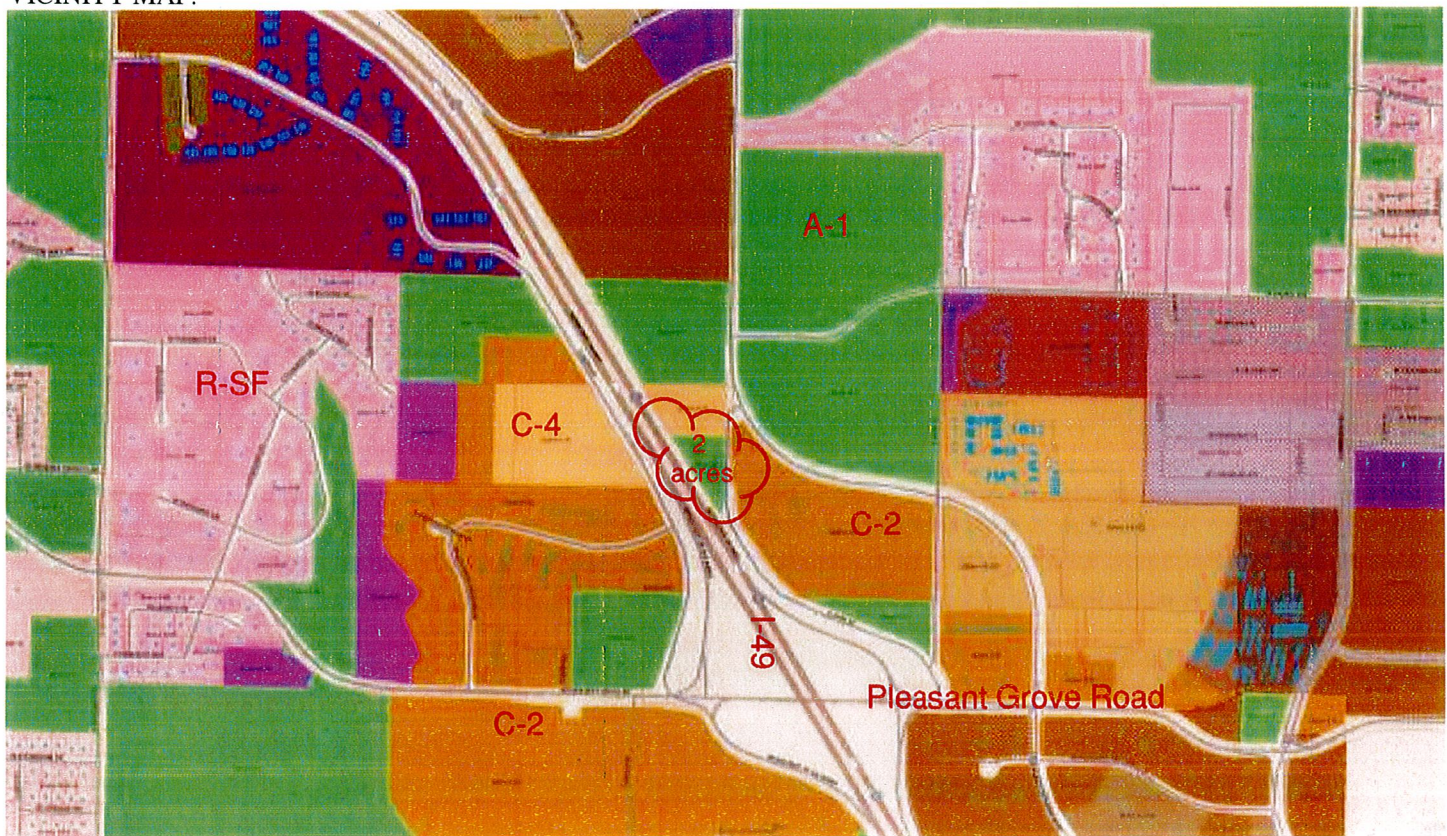
July 27, 2018

TO: PLANNING COMMISSION, LARGE SCALE DEVELOPMENT COMMITTEE

**LSDP, Duluth Trading Co
STAFF SUMMARY REPORT**

LOCATION:	3200 S. 27 th Street
LAND OWNER:	Agg Investments, LLC
DEVELOPER:	Oppidan
APPLICANT/ ENGINEER:	GreenbergFarrow
ZONING DISTRICT:	C2 (Highway Commercial)
PLANNED USE:	Retail Sales
REQUEST:	Large-Scale Development Project approval
AUTHORITY:	Article III of Chapter 14, Rogers Code of Ordinances
DESCRIPTION:	15,656-sf retail building on 2 acres
WAIVERS:	Yes: Overlay District required landscaping areas, Overlay District tree spacing, 18'x18' tree islands, and maximum number of permitted driveways

VICINITY MAP:



BACKGROUND

- The applicant intends to build a 15,656-sf retail building on 2 acres between Interstate 49 and S. 27th Street.
- All adjacent properties include other retail stores, undeveloped parcels, and the interstate.
- Status: the LSDP has gone through the technical review process, and all revisions requested by staff have been completed and approved.

STAFF REVIEW

ENGINEERING REVIEW:

- 1) Access Management: The applicant requests a **WAIVER** to Sec. 14-260(1)E – Number of curb cuts permitted because the applicant states that the second access is needed for circulation and business' operation to successfully function. One driveway is proposed to be a shared access driveway with the property to the north of the applicant's site and a second driveway is for the access to the applicant's site only.
- 2) Stormwater and Water Quality:
 - a) Stormwater management: Stormwater will be managed by a combination of an on-site dry detention pond and underground detention facility.
 - b) Water quality: Water quality will be addressed by a Contech CDS-2015-4 water quality unit.
- 3) Large Scale Development Regulations:
 - a) Tree Islands: The applicant requests a **WAIVER** to Sec. 14-256(14)B(b) – (18'x18') Tree Islands. The applicant has proposed to eliminate two required tree islands and provide one reduced 19'x9' tree island because of the site's unique shape is unable to construct a parking lot with sufficient parking spaces.
- 4) Required Public Improvements:
 - a) Street pavement and condition: The site is located on 27th Place and is classified on the Master Street Plan as minor street and constructed as a 2-lane road.
The roadway pavement is in substandard condition and will be required to be improved to city standards.
 - b) Streetscape:
 - i) Right-of-Way: 25' right-of-way to be dedicated from the centerline of 27th Place.
 - ii) Sidewalks and sidepaths: 5' sidewalk with min. 4.5' greenspace to be provided.
 - iii) Trails: No trail construction is required on this site.
 - iv) Streetlights: No street lights are required on this site.
 - v) Street trees: Street trees to be provided within the right-of-way.
- 5) RECOMMENDATIONS:

The proposed project meets all engineering review requirements for a large scale development subject to the waiver requests below.

 - a) **Deny waiver to Sec. 14-260(1)E – Number of curb cuts permitted.** One (1) curb cut is permitted for 600' or less of street frontage. The site has approximately 330' of street frontage along 27th Place. Staff does not consider the lot size in comparison to the size of the development as a hardship to justify the waiver.
 - b) **Deny waiver to Sec. 14-256(14)B(b) – Tree Islands.** Two tree islands are required based on the proposed parking lot layout. Staff does not consider the lot size in comparison to the size of the development as a hardship to justify the waiver.


DYLAN COBB, Planning Engineer
City of Rogers Engineering Division


NATHAN BECKNELL, City Engineer
City of Rogers Engineering Division

PLANNING REVIEW:

- 1) Land Use: This proposed building meets the definition of "Retail Sales," and is allowed by right in the C-2 (Highway Commercial) District.
- 2) Disposition of Structures: The site plan conforms to all setback and form requirements for this district.
 - a) Landscaping: The applicant requests a **WAIVER** from Overlay District landscaping areas and Overlay District minimum tree spacing stated in Section 14- 285(3). All other landscaping requirements have been met.
 - b) Parking: The site plan has met all vehicle parking requirements stated in Section 14-709 and all bicycle parking requirements

Note: staff recommendations are based on the documentation available at the time of request and may not reflect all information made available to the officials during discussion and consideration.

stated in Section 14-256(16).

- c) Setbacks: The applicant was granted an Overlay District setback reduction from 75' to 55' and a front yard setback reduction from 65' to 45' on April 26, 2018. The applicant was also granted a front yard setback reduction from 45' to 38' on July 26, 2018. The proposed project has met all other the setback requirements, as stated in Section 14-709(d).
- d) Screening: The site plan has met all screening requirements, as stated in Section 17-709(g).
- 3) Views of Others: No supporting or opposing comments have been received by the Planning Division.
- 4) RECOMMENDATIONS:
 - a) The proposed project meets all large-scale land use and disposition requirements. Approve with the following waivers:
 - i) **Approve waiver to Sec. 14-285(3) for required Overlay District landscaping areas.** Staff supports this waiver due to the limited area resulting from the dedication of right-of-way and street improvements.
 - ii) **Approve the waiver to Sec. 14-285(3) for Overlay District minimum tree spacing.** Staff supports this waiver due to this type of business depending on visibility from traffic on I-49.



ELIZABETH TREAT, District Planner
City of Rogers Planning Division



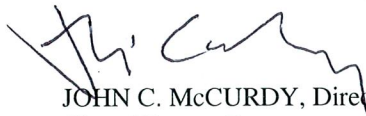
LORI ERICSON, Planning Administrator
City of Rogers Planning Division

ADMINISTRATOR'S SUGGESTED MOTION:

"Motion to approve the Large Scale Development plan with waivers from required Overlay District landscaping areas, Overlay District minimum tree spacing, required 18'x18' tree islands, and maximum number of permitted driveways contingent upon all conditions listed in engineers report."

DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. MCCURDY, Director
City of Rogers Department of Community Development

Tabs:

- 1. Large-Scale Development Plans
- 2. Waiver Letter

Note: staff recommendations are based on the documentation available at the time of request and may not reflect all information made available to the officials during discussion and consideration.

Memorandum

July 27, 2018

To Department of Community Development
Planning Division
301 West Chestnut Street
Rogers, AR 72756
479-621-1186

Project Duluth Trading Company
3200 South 27th Street
Rogers, AR 72758
Waiver Letter
Project# 20180593.0

Dear Planning Commission,

Duluth Trading Company is proposing to construct a 15,360-square foot building with associated parking and landscaping for the site located at 3200 South 27th Street. The project is located between Interstate 49 and South 27th Street. The project was rezoned to a C-2 District on May 8, 2018.

Per the Large Scale Development Plan review comments (dated July 5, 2018), City Staff requested the site to "Dedicate 25' of right-of-way, from the centerline of S. 27th Street, per the Master Plan Street Plan minor street typical section." Due to this reduction of land adjacent to S. 27th Street, Duluth Trading Company respectfully requests a landscape waiver, based on the following project hardships and site restraints:

- On account of the property's unique shape, the site is unable to construct a parking lot with sufficient parking stall quantities and drive aisle dimensions. This adjusted right-of-way for South 27th Street would significantly alter the proposed site plan and cause the project to eliminate numerous parking stalls, making the site physically and financially unsuitable for development. Additionally, the City has requested half street road improvements on South 27th Street to be completed by Duluth Trading Company. As part of the road improvements, new landscape area/parkway will be planted with trees. We believe the project's landscape request for waiver will not affect or jeopardize the public's health, safety and welfare. Duluth Trading Company respectfully requests that the Planning Commission grant a waiver for a 2-foot landscape setback along South 27th Street due to 25-ft right-of-way dedication. In addition, Duluth Trading Company requested a 4-foot wide sidewalk to be constructed along the west side of the proposed building. The sidewalk was added as a means to protect pedestrian traffic and vehicular movement within the parking lot/drive aisles. Duluth Trading Company respectfully requests that the Planning Commission grant a waiver for a 5-foot landscape setback along Interstate 49.

Per the Large Scale Development Plan review comments (dated July 5, 2018), City Staff would like the site to address this comment, "An 18'x18' tree island is required for every 15-parking spaces, per sec. 14-256(14)b." Duluth Trading Company respectfully requests a tree island waiver, based on the following project hardships and site restraints:

- On account of the property's unique shape, the site is unable to construct a parking lot with sufficient parking stall quantities, therefore, the addition of an 18-foot by 18-foot tree islands would eliminate valuable parking

stalls for a business that is already deficient from their prototypical needs. Since the proposed development is proposing an extensive amount of landscaping improvements to the site's interior planting islands and planting beds, as well as, a significant amount of trees to the site's exterior perimeter, we believe that the project's landscape request for waiver will not affect or jeopardize the public's health, safety and welfare. Duluth Trading Company respectfully requests that the Planning Commission grant a waiver for (1) 9-foot by 19-foot tree island along the site's western parking field.

Per the Large Scale Development Plan review comments (dated July 25, 2018), City Staff would like the project to "Request a Waiver Letter, in order to reduce the number of trees along I-49, which is to be considered the front area for the Overlay District." Duluth Trading Company requests a waiver for a tree reduction along Interstate 49, based on the following project hardships and site restraints:

- On account of the building's signage and proximity to Interstate 49, the site is unable to plant 1-tree for every 20-linear feet. Based on a frontage that is 390-linear feet, the Overlay District would require 20-trees along Interstate 49. This extensive amount of landscaping would significantly block visibility to the site for motorist traveling along Interstate 49, and would obscure the proposed signage letters on Duluth Trading Company's western building elevation. By proposing 10-trees (1-tree for every 35-linear feet), Duluth Trading Company believes that the area along Interstate 49 will be adequately landscaped. Duluth Trading Company respectfully requests the Planning Commission grant a waiver to allow 10-trees along Interstate 49, as opposed to the required 20-trees for a frontage in an Overlay District.

Per the Large Scale Development Plan review comments (dated July 5, 2018), City Staff would like the site to address this comment "Only one driveway is permitted per sec. 14-260(1)e. Please revise or request a waiver from this section of City code." Duluth Trading Company requests a driveway waiver, based on the following project hardships and site restraints:

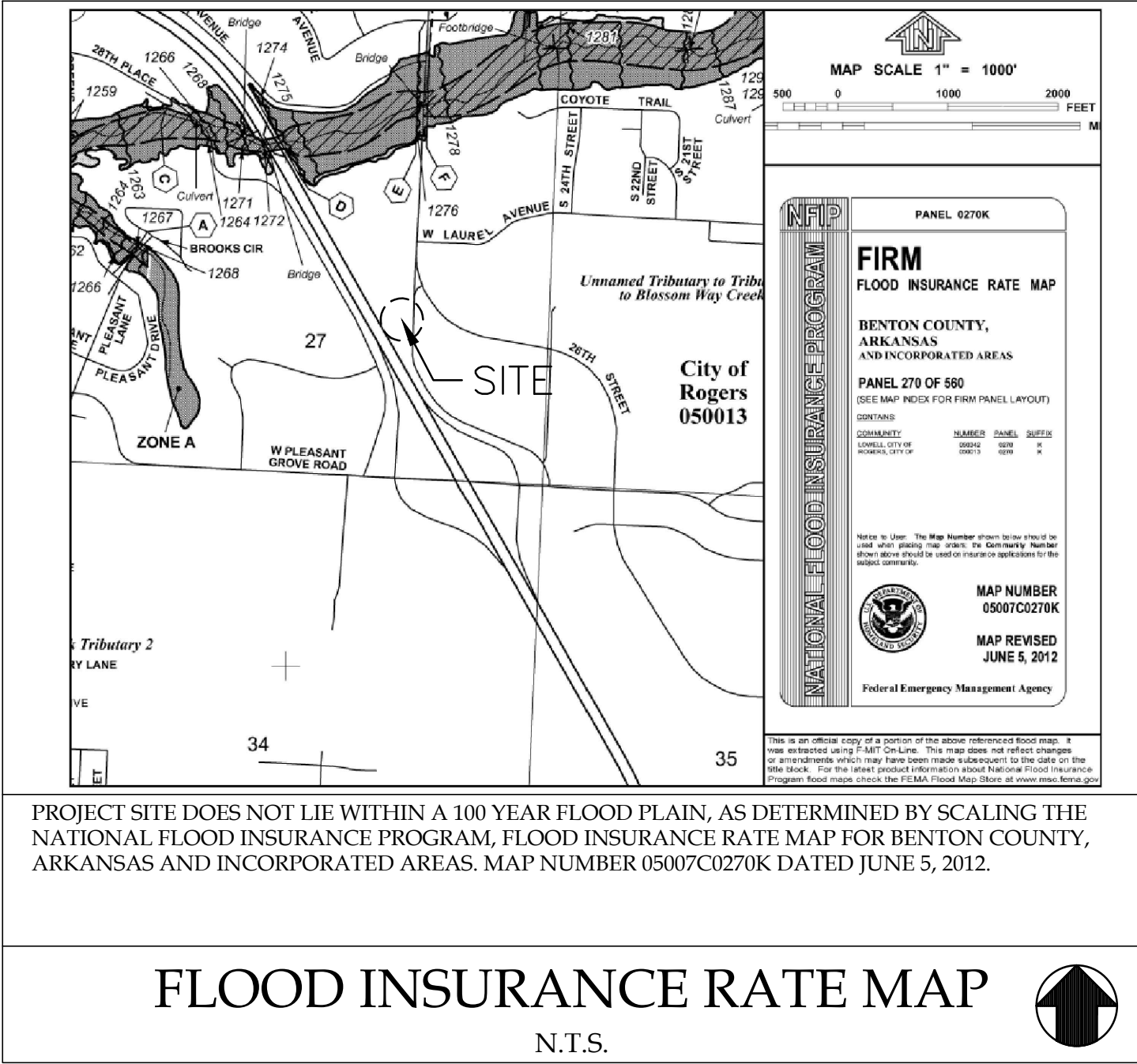
- In order for the development's circulation and business' operation to successfully function, the site will require 2-driveways. Reducing the number of entry drives will significantly alter the project's proposed site plan, in order to accommodate visiting motorist, semi deliveries and trash pick-up, therefore, eliminating additional parking stalls from the development. Also, the proposed development will comply with the City code's driveway distance requirement, which is a minimum of 100-feet between curb cuts. Additionally, Planning Staff has requested that the project propose a 2nd driveway to be located along the northern property line. This 2nd driveway was to be a shared entry drive to for use by Duluth Trading Company and the future development to the north. The two (2) driveways are to be located on a minor street (South 27th Street). Duluth Trading Company believes that an additional curb cut on site will not affect or jeopardize the public's health, safety and welfare. Duluth Trading Company respectfully requests that the Planning Commission grant a waiver for 2 driveways/curb cuts along South 27th Street.

We trust that we have satisfied the submittal requirements and waiver request to the Planning Commission. Please call (781-929-1651) or email (kwilliams@greenbergfarrow.com) with questions or if require additional information.

Sincerely,



Keri Williams, P.E., CFM
Civil Department Manager / Senior Associate



3200 S. 27TH STREET
BENTON COUNTY
ROGERS, AR 72756

ZONING: C-2 HIGHWAY COMMERICAL DISTRICT/ OVERLAY DISTRICT

ACRES: 1.78 AC

PROPOSED USE: RETAIL

CITYVIEW PROJECT # PL201800317

P.N. 02-02087-332, P.N. 02-02087-333 & P.N. 02-02087-334
SURVEY DESCRIPTION.

A PART OF THE NW1/4 OF THE SE1/4 OF SECTION 27, TOWNSHIP 19 NORTH, RANGE 30 WEST, BENTON COUNTY, ARKANSAS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID NW1/4 OF THE SE1/4; THENCE ALONG THE SOUTH LINE OF SAID NW1/4 OF THE SE1/4 N87°02'06"W 36.66 FEET TO A FOUND METAL POST ON THE EASTERLY RIGHT-OF-WAY LINE OF THE INTERSTATE HIGHWAY 49 AND THE POINT OF BEGINNING; THENCE CONTINUING N87°02'06"W 129.19 FEET TO AN IRON PIN FOUND ON SAID EASTERLY RIGHT-OF-WAY LINE; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE N29°58'12"W 390.32 FEET, A FOUND METAL POST BEARS N35°30'46"W 0.24 FEET; THENCE DEPARTING SAID RIGHT-OF-WAY LINE S87°09'05"E PASSING AT A DISTANCE OF 348.26 FEET AN IRON PIN FOUND FOR A TOTAL DISTANCE OF 375.23 FEET TO THE EAST LINE OF SAID NW1/4 OF THE SE1/4; THENCE ALONG SAID EAST LINE S02°27'25"W 274.31 FEET TO A PK NAIL FOUND ON THE EASTERLY RIGHT-OF-WAY LINE OF SAID INTERSTATE HIGHWAY 49; THENCE ALONG SAID EASTERLY RIGHT-OF-WAY LINE N85°26'15"W 26.10 FEET TO AN IRON PIN FOUND; THENCE CONTINUING ALONG SAID EASTERLY RIGHT-OF-WAY LINE S13°29'09"W 55.72 FEET TO THE POINT OF BEGINNING, CONTAINING 2.00 ACRES, MORE OR LESS, SUBJECT TO THE RIGHT-OF-WAY OF S. 27th STREET AND SUBJECT TO ANY EASEMENTS, COVENANTS OR RESTRICTIONS OF RECORD OR FACT.

DEVELOPER:

OPPIDAN

CONTACT: JAY MOORE

400 WATER STREET, SUITE 200

EXCELSIOR, MN 55331

(952) 294-1246

EMAIL: JAY@OPPIDAN.COM>

ENGINEER:

GreenbergFarrow

CONTACT: KERI WILLIAMS, P.E.

21 SOUTH EVERGREEN AVENUE, SUITE 200

ARLINGTON HEIGHTS, ILLINOIS 60005

TEL: (781) 929-1651

EMAIL: KWILLIAMS@GREENBERGFARROW.COM



PROJECT LOCATION MAP
N.T.S.

SHEET INDEX:

- C0.0 COVER
- C1.0 GENERAL NOTES
- C2.0 SITE PLAN
- C3.0 GRADING AND DRAINAGE PLAN
- C3.1 EROSION CONTROL PLAN
- C3.2 EROSION CONTROL PLAN
- C4.0 OVERALL UTILITY PLAN
- C4.1 UTILITY PLAN
- C4.2 UTILITY PLAN
- C4.3 WATER MAIN PLAN & PROFILE
- C4.4 WATER MAIN PLAN & PROFILE
- C4.5 STORM SEWER PLAN & PROFILE
- C4.6 SANITARY SEWER PLAN & PROFILE
- C4.7 SANITARY SEWER PLAN & PROFILE
- C5.0 DETAILS
- C5.1 DETAILS
- C5.2 DETAILS
- C5.3 DETAILS
- C5.4 DETAILS
- C5.5 DETAILS
- C5.6 DETAILS
- C5.7 DETAILS
- C5.8 SANITARY FORCEMAIN SPECIFICATIONS
- C5.9 SANITARY FORCEMAIN DETAILS
- C5.10 SANITARY FORCEMAIN DETAILS

ATTACHMENTS

- ALTA/NSPS LAND TITLE SURVEY WITH TOPOGRAPHIC DATA
- PHOTOMETRIC PLAN

- L1.0 LANDSCAPE PLAN
- L2.0 LANDSCAPE NOTES AND DETAILS

GreenbergFarrow

COAF:
21 South Evergreen Avenue
Suite 200
Arlington Heights, IL 60005
t: 847 788 9200 f: 847 788 9537

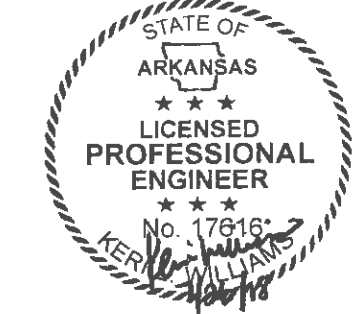
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ISSUE/REVISION RECORD

DATE	DESCRIPTION
06/21/18	CITY SUBMITTAL
07/12/18	RWO SUBMITTAL
07/19/18	CITY SUBMITTAL
07/25/18	RWO SUBMITTAL
07/27/18	CITY SUBMITTAL

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE

KERI WILLIAMS
PROFESSIONAL ENGINEER
LICENSE NO. 17616

PROJECT MANAGER
KERI WILLIAMS

QUALITY CONTROL
ED GOSS

DRAWN BY
ERIC CARRANZA

PROJECT NAME

DULUTH
TRADING
COMPANY

ROGERS
ARKANSAS

3200 S. 27TH STREET
ROGERS, AR 72756

PROJECT NUMBER
20180593.0

SHEET TITLE

COVER

SHEET NUMBER

C0.0



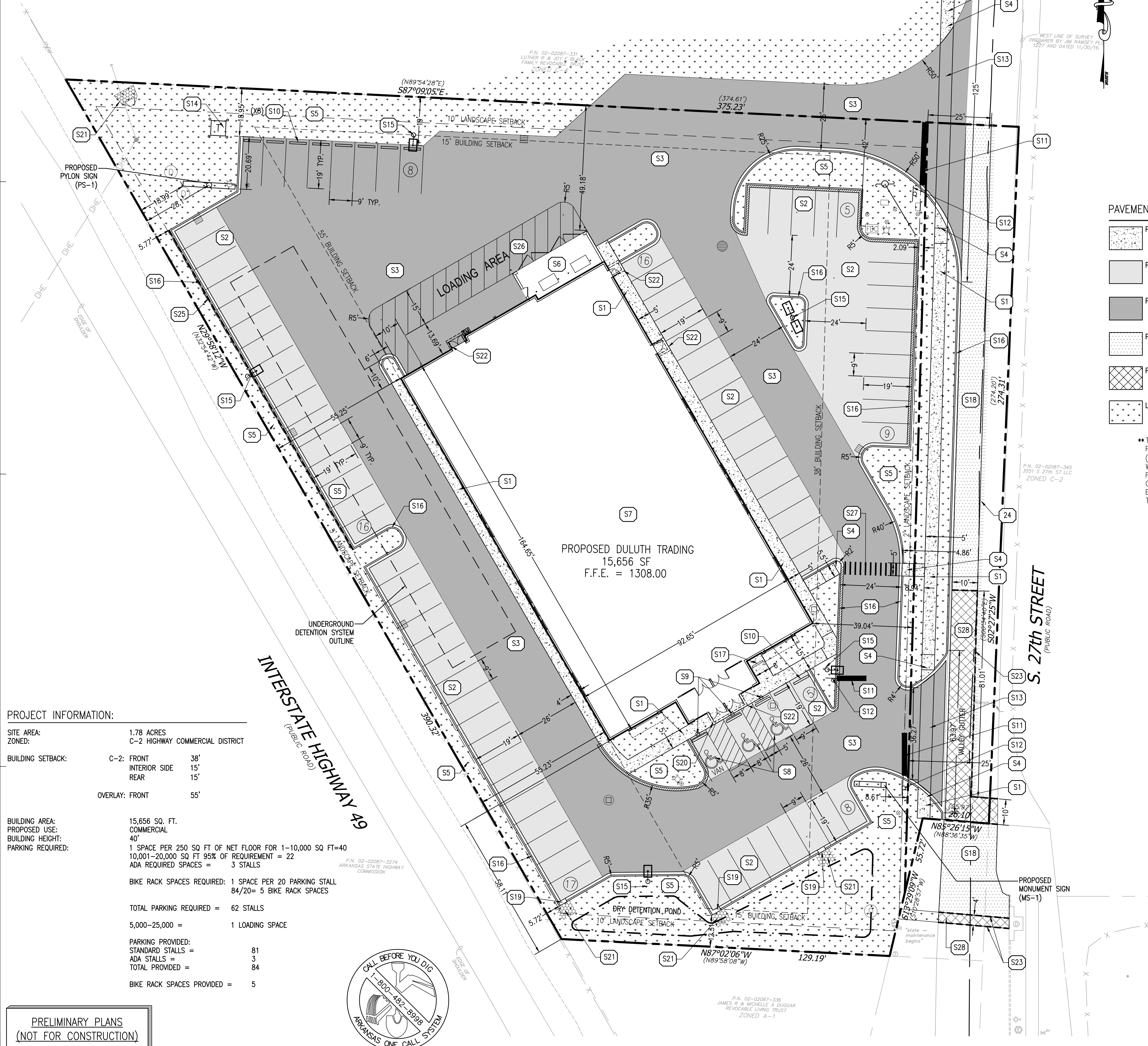
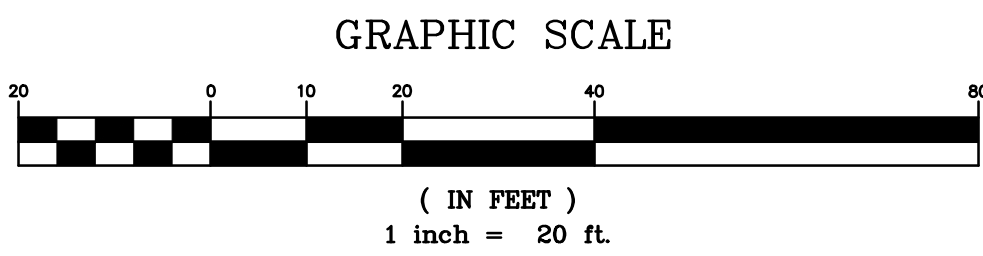
GEOTECHNICAL
ENGINEER:

GTS, INC.

1915 NORTH SHILOH DRIVE, SUITE 1
FAYETTEVILLE, ARKANSAS 72704

TEL: (479) 521-7645

PROJECT NO. 18-15088



GENERAL SITE NOTES:

1. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING SAFE AND ADEQUATE WORKING CONDITIONS THROUGHOUT THE DURATION OF CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL SITE SETBACKS, EASEMENTS AND DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE LATEST STATE AND LOCAL GOVERNMENT CONSTRUCTION STANDARDS AND SPECIFICATIONS.
5. ALL HANDICAP ACCESSIBLE SITE IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND REQUIREMENTS.
6. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED BY THE CONTRACTOR AFTER SUCH A DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
7. CONTRACTOR SHALL COORDINATE ALL SITE IMPROVEMENTS WITH ARCHITECTURAL PLANS. ARCHITECTURAL PLANS SHALL BE USED FOR BUILDING STAKEOUT.
8. CONTRACTOR SHALL COORDINATE ALL LANDSCAPE IMPROVEMENTS, INCLUDING NEW PLANTINGS AND TURF AREA RESTORATION REQUIREMENTS, WITH LANDSCAPE PLANS.
9. CONSTRUCTION SURVEY AND STAKEOUT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
10. ALL DIMENSIONS SHOWN ARE MEASURED FROM FACE OF CURB TO FACE OF CURB OR EDGE OF PAVEMENT TO EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
11. ALL CURB RADII ARE MEASURED AT THE FACE OF CURB UNLESS OTHERWISE NOTED.
12. ALL NEW ASPHALT AND/OR CONCRETE PAVING SHALL MATCH EXISTING PAVEMENT'S FLUSH.
13. CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS OUTSIDE OF CONSTRUCTION LIMITS TO ORIGINAL CONDITION OR BETTER.
14. CONTRACTOR SHALL REPAIR AT HIS EXPENSE ANY DAMAGE TO EXISTING ASPHALT, CONCRETE, CURBS, SIDEWALKS, ETC. RESULTING FROM CONSTRUCTION TRAFFIC AND/OR OPERATIONS. REPAIRS SHALL BE MADE TO THE SATISFACTION OF THE OWNER AND/OR ENGINEER.
15. ALL DETECTABLE WARNING PLATES SHALL BE PREFORMED PLASTIC INSERTS UNLESS OTHERWISE NOTED.
16. SEE GENERAL NOTES SHEET FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
17. ALL HVAC AND OTHER EQUIPMENT MUST BE SCREENED.
18. ALL CIVIL PLANS ON SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.
19. EASEMENT PLAT IS REQUIRED PRIOR TO CERTIFICATE OF OCCUPANCY.

PAVEMENT HATCH LEGEND:

- PROPOSED CONCRETE SIDEWALK
5.5" PORTLAND CEMENT CONCRETE (4,000 PSI)
4" BASE COURSE (CLASS 7)
- PROPOSED LIGHT DUTY CONCRETE PAVEMENT **
5.5" PORTLAND CEMENT CONCRETE (4,000 PSI)
4" BASE COURSE (CLASS 7)
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT **
8" PORTLAND CEMENT CONCRETE (4,000 PSI)
4" BASE COURSE (CLASS 7)
- PROPOSED ROAD IMPROVEMENT
1.5-INCH MILL AND OVERLAY
WITH 2 FT BUTT JOINT
- PROPOSED ROAD IMPROVEMENT
FULL DEPTH PAVEMENT REMOVAL
(MATCH EXISTING PAVEMENT SECTION)
- LANDSCAPE

** THE ABOVE PROPOSED HEAVY/LIGHT DUTY CONCRETE PAVEMENT SECTIONS MAY BE REDUCED BY 2 INCHES (BASE COURSE) IF A CBR OF 8 CAN BE ACHIEVED WITH THE FILL MATERIAL. A CBR OF 5 IS MINIMUM FOR CURRENT PROPOSED PAVEMENT SECTIONS. CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER FOR ADDITIONAL INFORMATION. CONTRACTOR TO PROVIDE ALTERNATIVE BID.

PROPOSED LEGEND:

- PROPERTY LINE
- PROPOSED RETAINING WALL
- PROPOSED CONCRETE CURB AND GUTTER
- PROPOSED REVERSE PITCH CURB AND GUTTER
- PROPOSED SAW-CUT LIMITS
- PROPOSED BUTT-JOINT
- PROPOSED PARKING STALL COUNT
- PROPOSED SIGN
- PROPOSED LIGHT POLE
- PROPOSED STORM SEWER STRUCTURES
- PROPOSED SANITARY SEWER STRUCTURES
- PROPOSED FIRE HYDRANT
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED TAPPING SLEEVE AND VALVE
- PROPOSED WATER METER AND VAULT
- PROPOSED GATE VALVE AND VALVE BOX
- FIRE SERVICE AND DOMESTIC METER VAULT
- PROPOSED TRANSFORMER PAD AND STEEL BOLLARDS
- PROPOSED GAS METER
- DETECTABLE WARNING PLATE

SITE KEY NOTES

- S1 PROPOSED CONCRETE SIDEWALK. SEE DETAIL SHEETS.
- S2 PROPOSED LIGHT DUTY CONCRETE PAVEMENT (SEE PAVEMENT SECTION DETAILS)
- S3 PROPOSED HEAVY DUTY CONCRETE PAVEMENT (SEE PAVEMENT SECTION DETAILS)
- S4 PROPOSED SIDEWALK RAMP @ 8.33% MAX SLOPE (TYP. PER ADA AND LOCAL REQUIREMENTS) WITH DETECTABLE WARNING DOMES & DEPRESSED CURB AND GUTTER WITH 2 FEET TRANSITION. SEE DETAIL SHEET.
- S5 PROPOSED LANDSCAPE AREA (SEE LANDSCAPE PLAN).
- S6 PROPOSED DUMPSTER PAD WITH ENCLOSURE (PER ARCHITECTURAL PLANS FOR DETAILS).
- S7 PROPOSED BUILDING (PER ARCHITECTURAL PLANS).
- S8 PROPOSED HANDICAP ACCESSIBLE PARKING STALL STRIPING AND SYMBOL PER LOCAL CODE (TYP.)
- S9 PROPOSED HANDICAP ACCESSIBLE PARKING SIGN PER LOCAL CODE WITH PROTECTIVE BOLLARD (TYP.)
- S10 PROPOSED WHEEL STOPS. SEE DETAIL SHEETS.
- S11 PROPOSED STOP BAR, 24", WHITE
- S12 PROPOSED STOP SIGN. SEE DETAIL SHEETS.
- S13 PROPOSED PEDESTRIAN CROSSWALK STRIPING PER CITY STANDARDS.
- S14 TRANSFORMER PAD. CONTRACTOR SHALL COORDINATE DIRECTLY WITH ELECTRIC COMPANY PRIOR TO CONSTRUCTION TO DETERMINE FINAL LOCATION AND SIZE.
- S15 PROPOSED LIGHT POLE LOCATION (TYP.). SEE PHOTOMETRIC PLAN.
- S16 PROPOSED CURB AND GUTTER. SEE DETAIL SHEETS.
- S17 PROPOSED 5 SPACE BIKE RACK.
- S18 PROPOSED 1.5-INCH MILL AND OVERLAY ROAD IMPROVEMENT.
- S19 3FT WIDE CURB CUT
- S20 PROPOSED DETECTABLE WARNING PLATE
- S21 PROPOSED TURF REINFORCEMENT MAT
- S22 PROPOSED CONCRETE PAD WITH WING WALL TO FROST DEPTH SEE ARCHITECTURAL DRAWINGS
- S23 PROPOSED SAW-CUT
- S24 PROPOSED BUTT JOINT
- S25 PROPOSED MODULAR BLOCK RETAINING WALL
- S26 PROPOSED LOADING AREA STRIPING PER LOCAL CODE.
- S27 PROPOSED PEDESTRIAN CROSSING PER LOCAL CODE.
- S28 PROPOSED FULL DEPTH PAVEMENT REMOVAL

PROJECT INFORMATION:

SITE AREA: 1.78 ACRES
ZONED: C-2 HIGHWAY COMMERCIAL DISTRICT

BUILDING SETBACK: C-2: FRONT 38'
INTERIOR SIDE 15'
REAR 15'

OVERLAY: FRONT 55'

BUILDING AREA: 15,656 SQ. FT.
PROPOSED USE: COMMERCIAL
BUILDING HEIGHT: 40'
PARKING REQUIRED: 1 SPACE PER 250 SQ FT OF NET FLOOR FOR 1-10,000 SQ FT=40
10,001-20,000 SQ FT 95% OF REQUIREMENT = 22
ADA REQUIRED SPACES = 3 STALLS

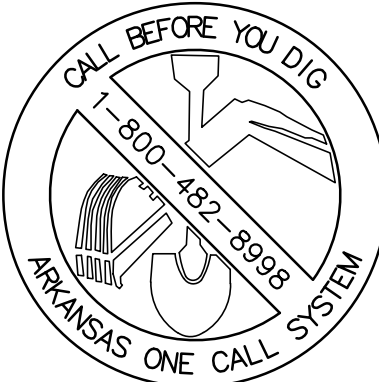
BIKE RACK SPACES REQUIRED: 1 SPACE PER 20 PARKING STALL
84/20= 5 BIKE RACK SPACES

TOTAL PARKING REQUIRED = 62 STALLS
5,000-25,000 = 1 LOADING SPACE

PARKING PROVIDED:
STANDARD STALLS = 81
ADA STALLS = 3
TOTAL PROVIDED = 84

BIKE RACK SPACES PROVIDED = 5

PRELIMINARY PLANS
(NOT FOR CONSTRUCTION)



GreenbergFarrow

21 South Evergreen Avenue
Suite 200
Arlington Heights, IL 60005
t: 847 788 9200 f: 847 788 9537

CITY APPROVAL STAMP

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07/25/18	RW SUBMITTAL
07/27/18	CITY SUBMITTAL



PROFESSIONAL IN CHARGE
KERI WILLIAMS
PROFESSIONAL ENGINEER
LICENSE NO. 17616

PROJECT MANAGER
KERI WILLIAMS

QUALITY CONTROL
ED GOSS

DRAWN BY
ERIC CARRANZA

PROJECT NAME

DULUTH
TRADING
COMPANY

ROGERS
ARKANSAS

3200 S. 27TH STREET
ROGERS, AR 72756

PROJECT NUMBER
20180593.0

SHEET TITLE

SITE
PLAN

SHEET NUMBER

C2.0

DATE	DESCRIPTION
06/21/18	CITY SUBMITTAL
07/12/18	RWJ SUBMITTAL
07/19/18	CITY SUBMITTAL
07/25/18	RWJ SUBMITTAL
07/27/18	CITY SUBMITTAL



PROFESSIONAL IN CHARGE
KERI WILLIAMS
PROFESSIONAL ENGINEER
LICENSE NO. 17616

PROJECT MANAGER
KERI WILLIAMS

QUALITY CONTROL
ED GOSS

DRAWN BY
ERIC CARRANZA

PROJECT NAME

**DULUTH
TRADING
COMPANY**

**ROGERS
ARKANSAS**

**3200 S. 27TH STREET
ROGERS, AR 72756**

PROJECT NUMBER
20180593.0

SHEET TITLE

**OVERALL
UTILITY PLAN**

SHEET NUMBER

C4.0

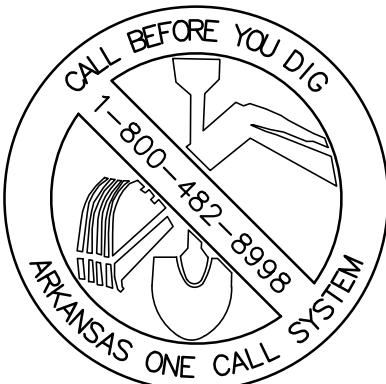
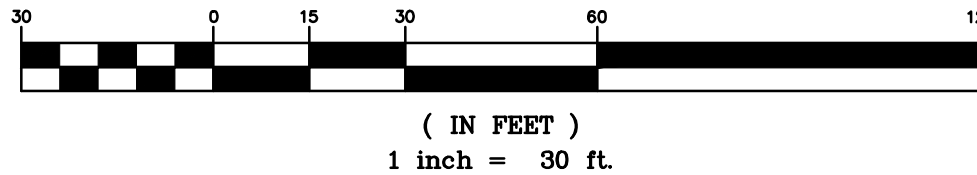
GENERAL UTILITY NOTES:

- CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTY-EIGHT (48) HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED SITE IMPROVEMENTS SHOWN ON THE PLANS.
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- CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ALL EXISTING SEWER SYSTEMS DURING CONSTRUCTION OPERATIONS AS NECESSARY TO PREVENT SILT OR DEBRIS ACCUMULATION.
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- CONTRACTOR SHALL PROVIDE AS-BUILT PLANS FOR STORM, SANITARY, AND WATER.
- CONTRACTOR SHALL PRESSURE TEST AND CHLORINATE WATER PIPING AS FOR LOCAL ORDINANCE.
- CONTRACTOR SHALL FURNISH AND PROVIDE ALL THRUST BLOCKING AS PER LOCAL ORDINANCE.
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PROPOSED LEGEND:

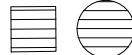











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2"W	PROPOSED 2" DOMESTIC WATER SERVICE
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G	PROPOSED GAS SERVICE LINE
T	PROPOSED TELEPHONE SERVICE LINE
OHE	PROPOSED OVERHEAD ELECTRICAL LINE
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[Symbol]	PROPOSED REMOTE FIRE DEPARTMENT CONNECTION (FDC)
[Symbol]	PROPOSED LIGHT POLE
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[Symbol]	PROPOSED TRANSFORMER
[Symbol]	PROPOSED FLARED END SECTION
[Symbol]	RELOCATED UTILITY POLE

GRAPHIC SCALE



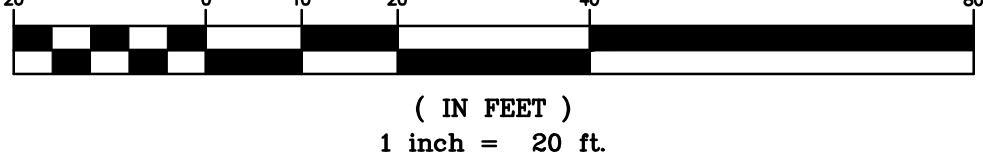
PRELIMINARY PLANS
(NOT FOR CONSTRUCTION)

4. CONTRACTOR IS SPECIFICALLY CAUTIONED

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— STM —>—	PROPOSED STORM SEWER
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	PROPOSED FLARED END SECTION
	RELOCATED UTILITY POLE

SHEET C4.2

30 40



▲ 2008 年 11 月 1 日

1	TOP OF SANITARY = 1301.51 BOTTOM OF STORM = 1303.47
2	BOTTOM OF STORM = 1302.31 TOP OF WATER MAIN = 1300.85
3	BOTTOM OF STORM = 1302.93 TOP OF WATER MAIN = 1301.43
4	BOTTOM OF WATER = 1300.06 TOP OF FORCE MAIN = 1298.42
5	BOTTOM OF STORM = 1301.62 TOP OF WATER MAIN = 1300.78 (CONTRACTOR SHALL LOCATE TOP EXISTING WATERMAIN PRIOR TO CONSTRUCTION)

PRELIMINARY PLANS
(NOT FOR CONSTRUCTION)



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PROFESSIONAL ENGINEER
LICENSE NO. 17616

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GENERAL UTILITY NOTES:

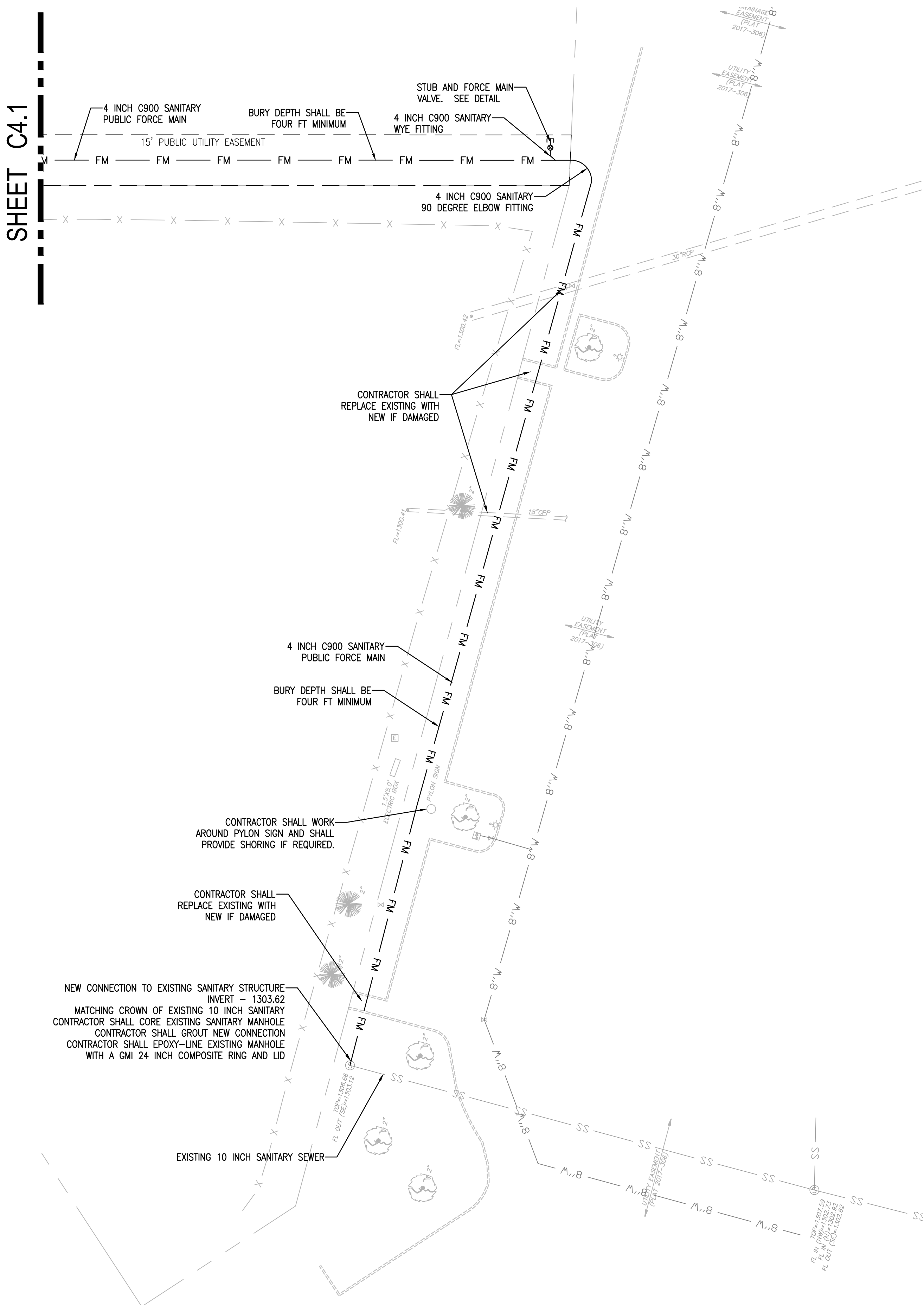
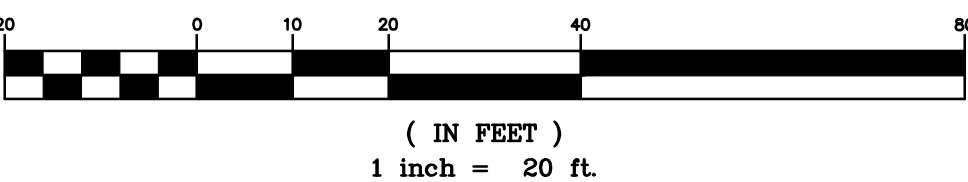
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	PROPOSED TRANSFORMER
	PROPOSED FLARED END SECTION
	RELOCATED UTILITY POLE



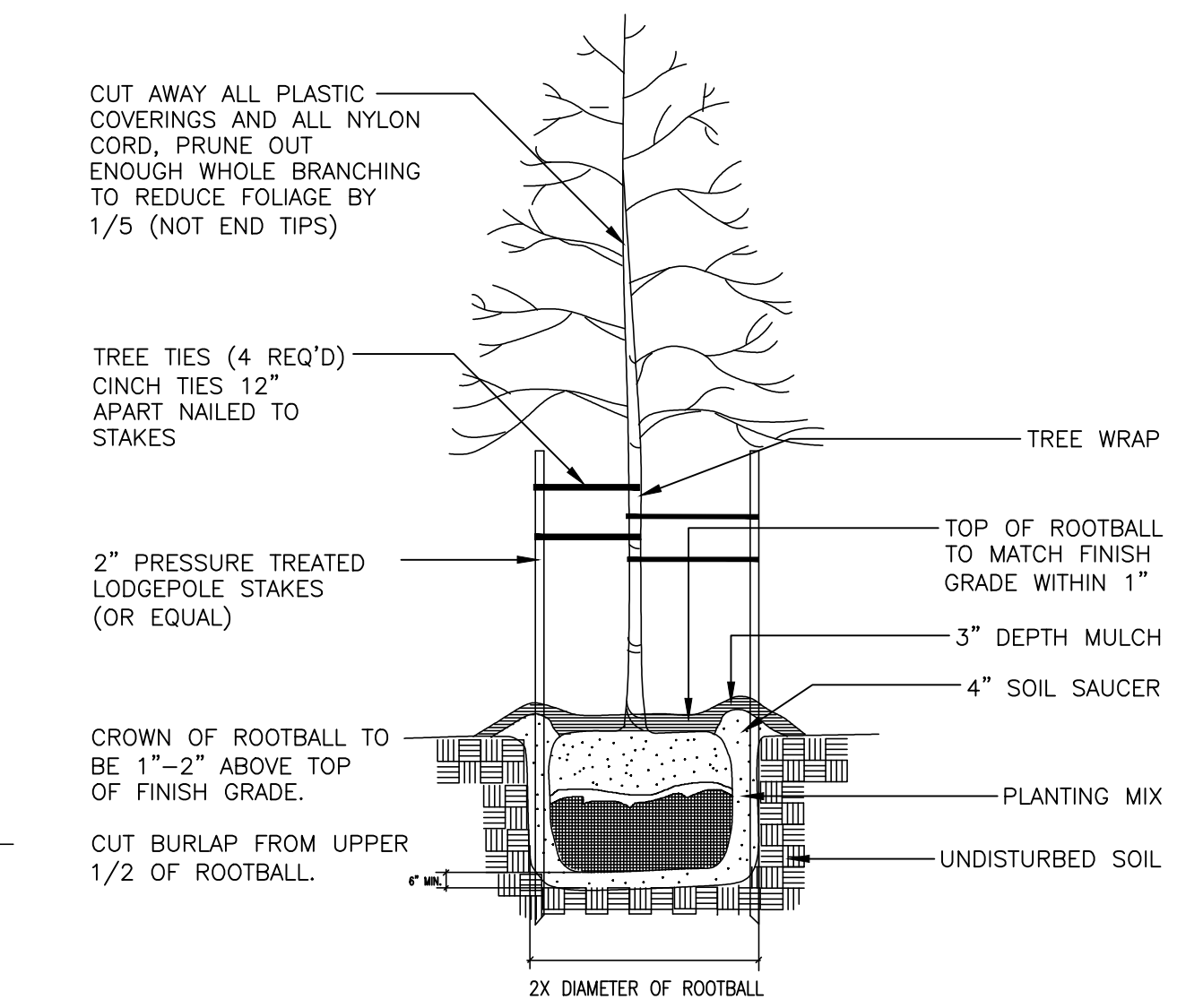
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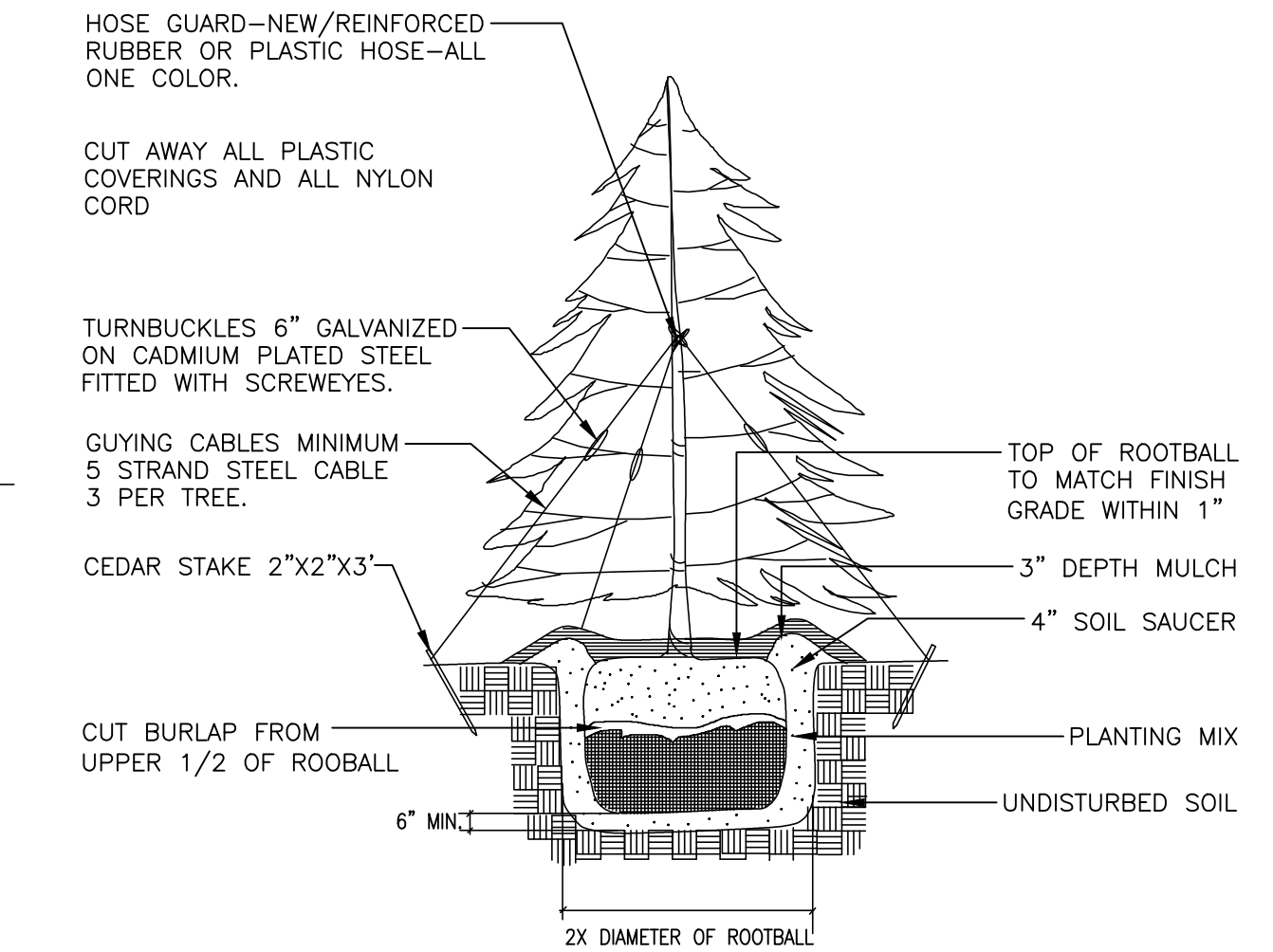
SHEET C4.1



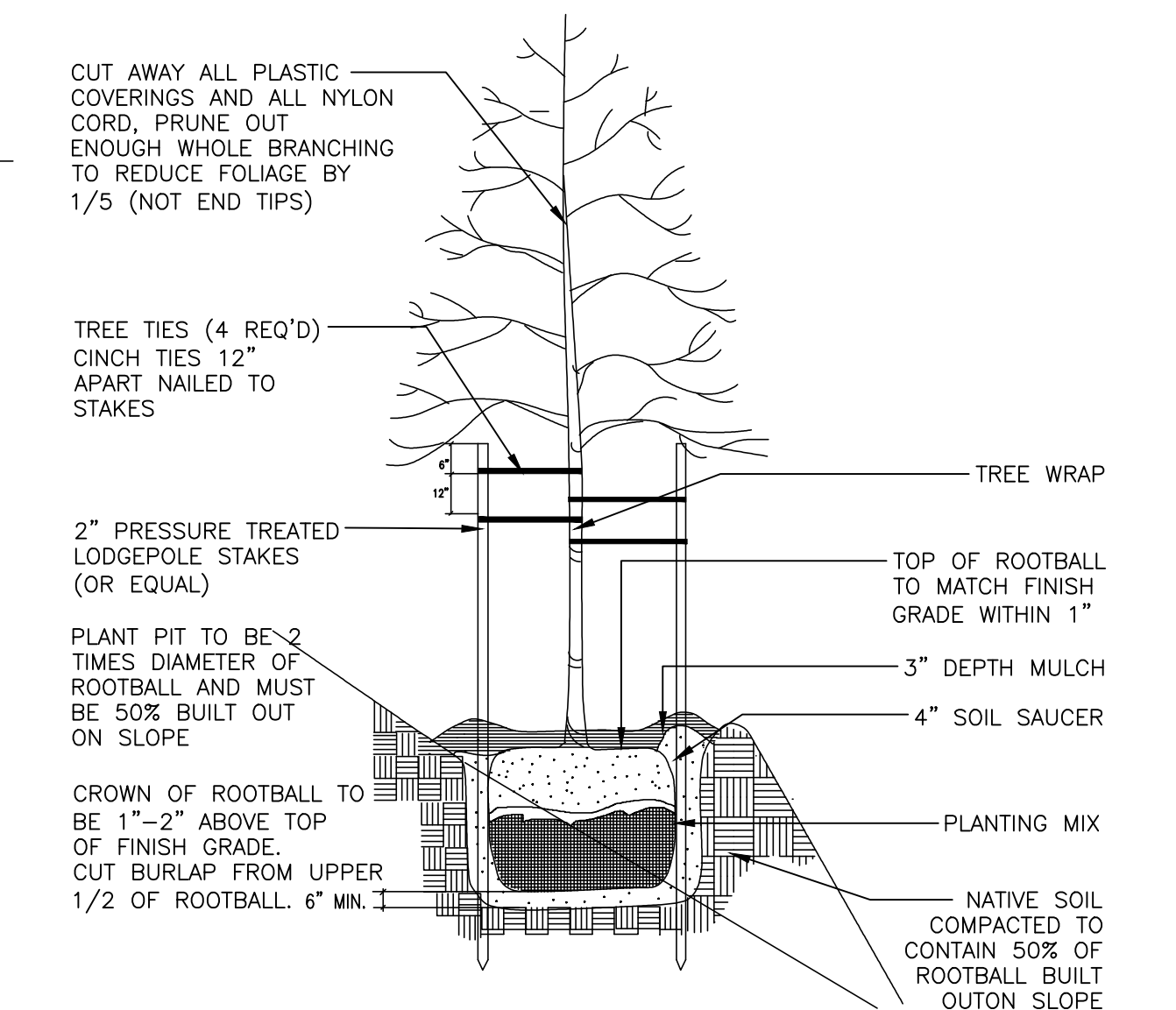
PRELIMINARY PLANS
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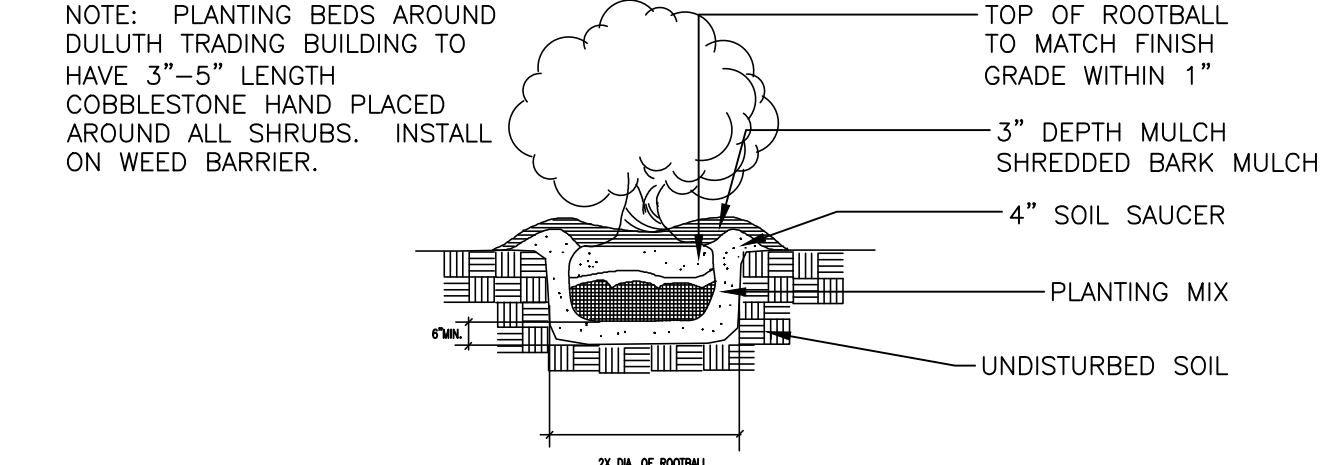
1 TREE PLANTING DETAIL
NOT TO SCALE 329343.39-01



2 EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE 329343.46-01



3 TREE PLANTING DETAIL (SLOPE)
NOT TO SCALE 329343.39-02



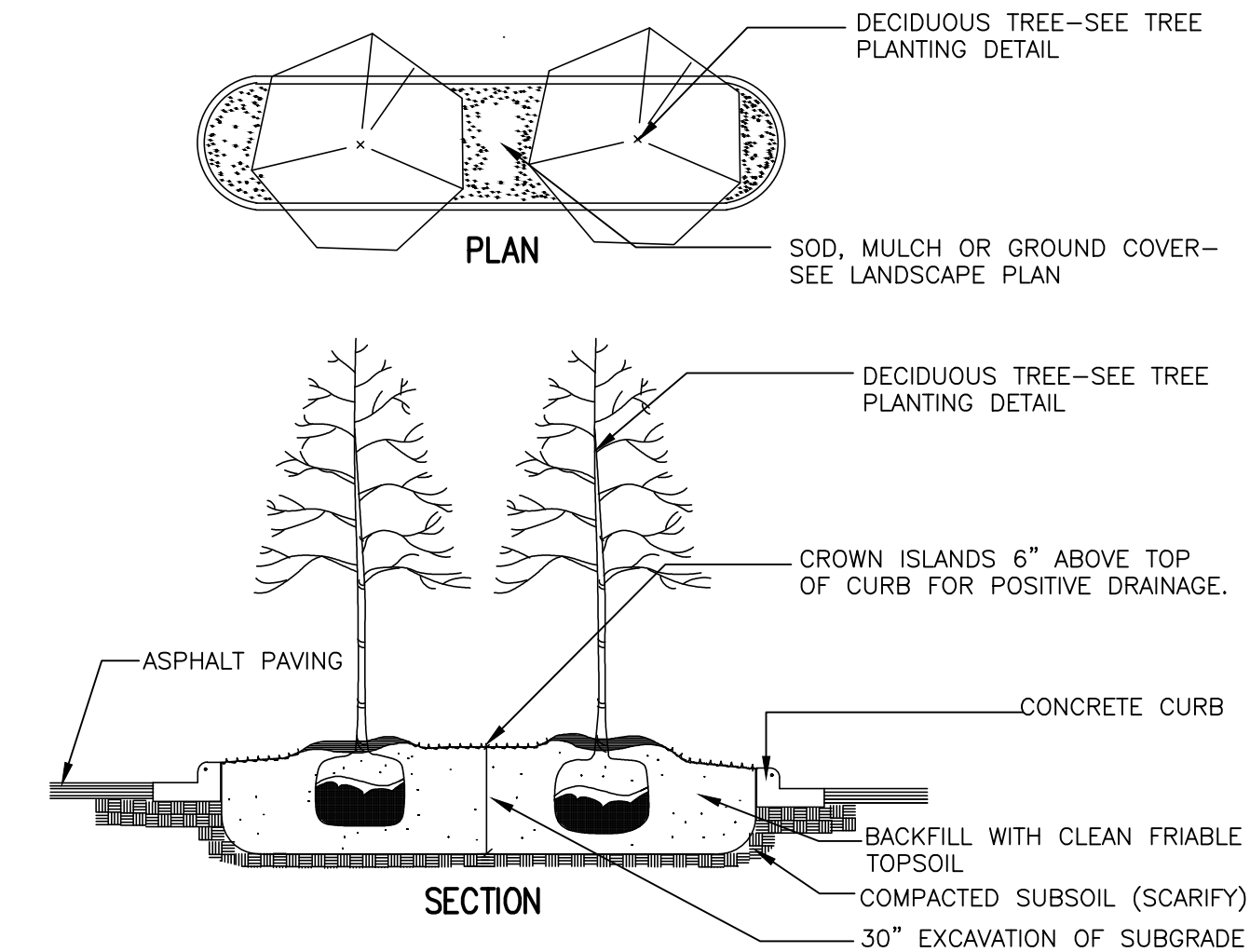
4 SHRUB PLANTING DETAIL
NOT TO SCALE 329333.16-01

GROUND COVER TO BE PLANTED ON EQUIDISTANT TRIANGULAR GRID

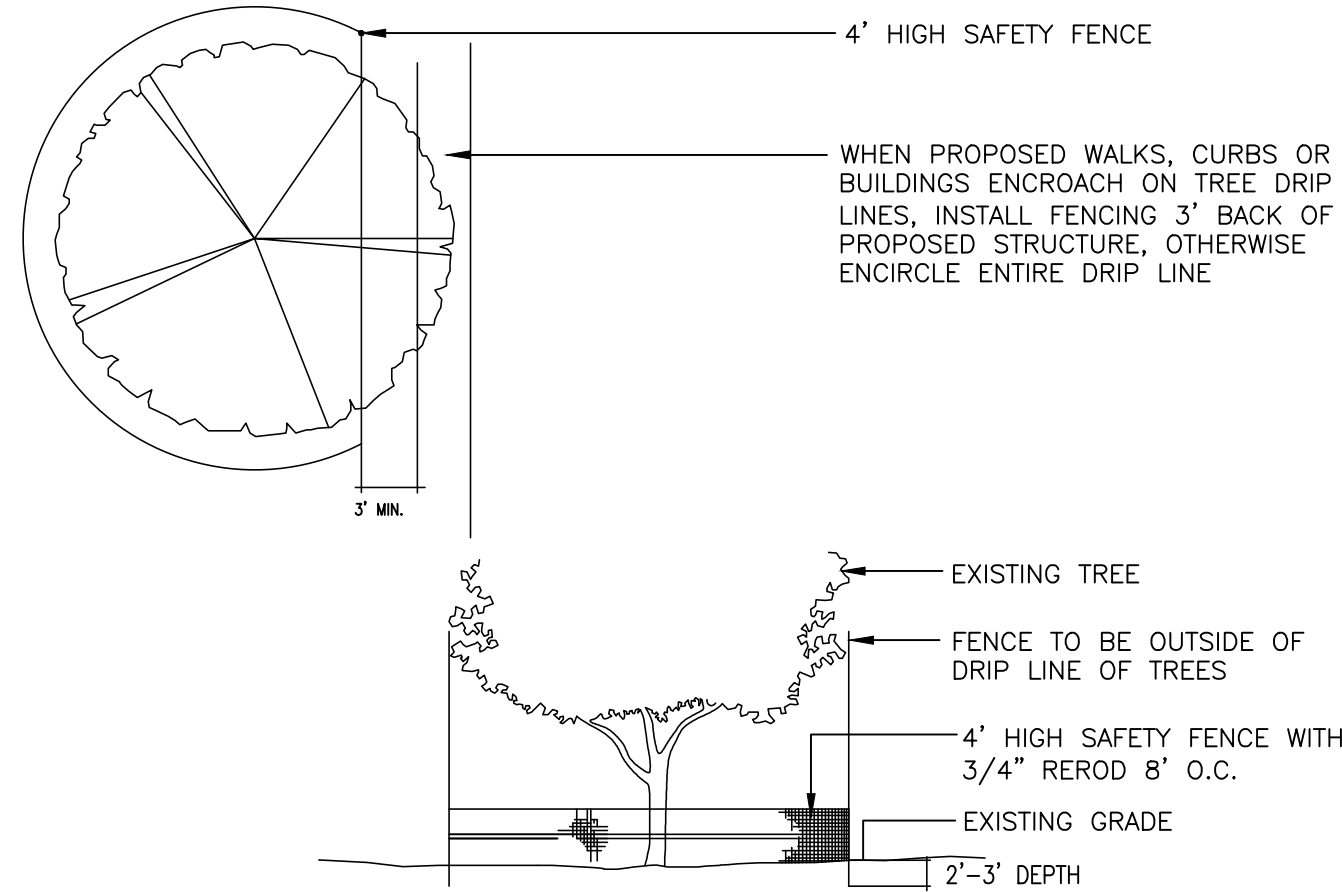
**SEE PLAN FOR REQUIRED SPACING

SPACING "D"	ROW WIDTH "A"	NO. OF PLANTS/SF
6" O.C.	5.20"	4.61
8" O.C.	6.93"	2.60
10" O.C.	8.66"	1.66
12" O.C.	10.44"	1.15
15" O.C.	13.00"	.738
18" O.C.	15.60"	.512
24" O.C.	20.80"	.330

5 GROUND COVER PLANTING DETAIL
NOT TO SCALE 329333.83-01

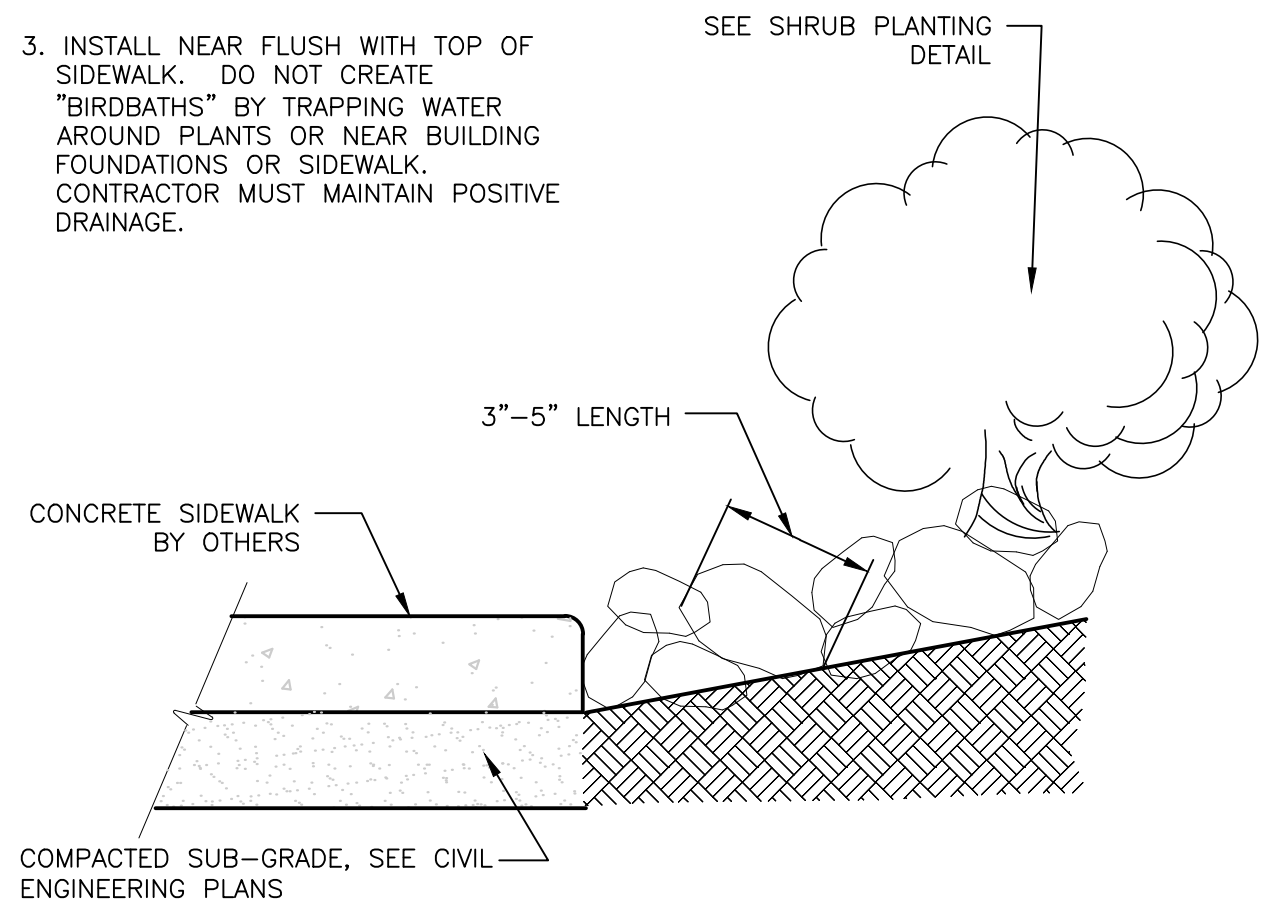


6 TYPICAL ISLAND PLANTING DETAIL
NOT TO SCALE 329343.69-01



7 TREE PROTECTION DETAIL
NOT TO SCALE 329343.67-01

1. INSTALL 3"-5" LENGTH RIVER ROCK COBBLE, ON WEED BARRIER.
2. HAND-PLACE COBBLE AROUND PLANT MATERIAL TO AVOID DAMAGE.
3. INSTALL NEAR FLUSH WITH TOP OF SIDEWALK. DO NOT CREATE "BIRDBATHS" BY TRAPPING WATER AROUND PLANTS OR NEAR BUILDING FOUNDATIONS OR SIDEWALK. CONTRACTOR MUST MAINTAIN POSITIVE DRAINAGE.



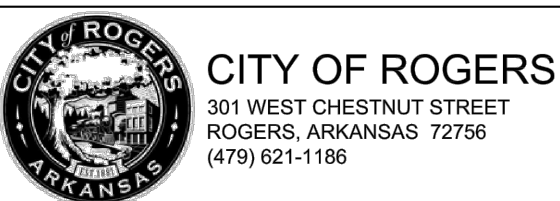
8 3'-5" LENGTH RIVER ROCK COBBLE DETAIL
NOT TO SCALE 321313.13-11

APPROVED STREET TREES

50' tall ≥4' from curb or sidewalk	30-50' tall ≥3' from curb or sidewalk	<20' tall ≥2' from curb or sidewalk
<ul style="list-style-type: none">* Fruitless Kentucky Coffee TreeGinkgo (male only)* HackberryJapanese Zelkova (Green Vase)Lacebark Elm (Allee)Littleleaf Linden (Greenspire)London planetreeOak<ul style="list-style-type: none">* Black* Northern RedShingle* Shumard* Southern Red* Swamp WhiteWhite* Willow* River Birch* Shortleaf PineSilver Linden* Sugarberry (Sugar Hackberry)Turkish Filbert	<ul style="list-style-type: none">* American HophornbeamAmerican HollyChinese PistacheEnglish OakHawthornsKousa DogwoodPersian Ironwood* Scarlet OakThornless Honeylocust (Shademaster)* Yellowwood	<ul style="list-style-type: none">* American SmoketreeAmur MapleCrabappleHedge MapleMagnolia (Little Gem)Nellie Stevens hollyPossumhaw* RedbudShadlow serviceberryYaupon Holly

* - DENOTES A NATIVE SPECIES
() - DENOTES A RECOMMENDED VARIETY

1. SHALLOW ROOTED TREES SUCH AS MAPLE, ASH, SWEETGUM, TULIP TREE, PIN OAK AND POPLAR SHALL NOT BE PLANTED WITHIN 10' OF A CURB OR SIDEWALK.
2. USE OF ANY TREE NOT SHOWN ON THIS LIST REQUIRES APPROVAL BY CITY STAFF.
3. CRITERIA FOR TREES SHALL MATCH THOSE SHOWN IN THE LARGE SCALE DEVELOPMENT ORDINANCE SECTION 14-258.
4. TREE SPACING SHALL BE 30' FOR TREES LESS THAN 20' TALL, 40' FOR TREES 30-50' TALL AND 50' FOR TREES 50' OR TALLER OR AS REQUIRED BY ORDINANCE 18-259. TREE HEIGHTS ARE MATURE TREE HEIGHTS.
5. ONLY TREES ON THE <20' TALL LIST MAY BE USED NEAR OR UNDER OVERHEAD UTILITIES.
6. TREES SHALL NOT BE PLANTED WITHIN 20' OF LIGHT POLE.
7. TREES SHALL BE CENTERED IN THE GREENSPACE.



CITY OF ROGERS
301 WEST CHESTNUT STREET
ROGERS, ARKANSAS 72766
(479) 621-1186

TYPICAL STREET SECTIONS

8 OF 6

NOT TO SCALE

JULY 14, 2015

NOTES:

LANDSCAPE PLANTING

1. THE LANDSCAPE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE CONDITIONS AND VERIFY THEM TO HIS SATISFACTION. THE LANDSCAPE CONTRACTOR SHALL ACCEPT THE SITE CONDITIONS AND DO THE WORK SPECIFIED WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN.
2. PRIOR TO CONSTRUCTION THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING CONSTRUCTION. SHOULD THE LANDSCAPE CONTRACTOR CAUSE DAMAGE TO ANY UTILITIES HE SHALL MAKE NECESSARY REPAIRS AS QUICKLY AS POSSIBLE WITHOUT ADDITIONAL COMPENSATION.
3. ALL PLANT MATERIAL SIZES AND MEASUREMENTS, INCLUDING TRUNK, HEAD, AND SPREAD SIZES, CONTAINER AND ROOTBALL SIZES, QUALITY AND CONDITION SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT ISSUE OF, "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1).
4. ALL PLANT MATERIAL ARE SUBJECT TO THE APPROVAL BY THE OWNER, AND MAY BE INSPECTED AT THE PLACE OF GROWTH OR ON SITE PRIOR TO PLANTING. LANDSCAPE ARCHITECT RETAINS THE RIGHT TO REJECT ANY PLANT MATERIAL WHICH IS NOT TO HIS SATISFACTION.
5. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING, IN FULL, ALL LANDSCAPE PLANTING WORK (INCLUDING WATERING, SPRAYING FOR INSECTS AND DISEASE, MULCHING, MOWING, FERTILIZING, CULTIVATING, EDGING AND WEEDING) FOR A PERIOD OF 90 DAYS AFTER ACCEPTANCE BY THE OWNER.
6. THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL LANDSCAPE PLANTING WORK AND MATERIALS FOR A PERIOD OF ONE (3) FULL YEAR FROM THE DATE THE WORK HAS BEEN APPROVED BY THE OWNER AS INSTALLED. ALL PLANT MATERIAL NOT HEALTHY GROWING CONDITION SHALL BE REMOVED IMMEDIATELY AND REPLACED AS SOON AS POSSIBLE WITH LIKE KIND AND SIZE AT NO CHARGE TO THE OWNER.
7. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SOIL SAMPLES FROM SOIL AND NATIVE OR FILL SOILS AT THE SITE AND SUBMITTING THEM TO AN APPROVED SOIL TESTING LABORATORY, AND OBTAIN ANALYSES AND RECOMMENDATIONS FOR AMENDING THESE SOILS AND FERTILIZATION OF SPECIFIED PLANT MATERIAL AT A MINIMUM ALL PLANTING AREAS SHALL BE FERTILIZED WITH 12 LBS. /1000 SF OF 10-10-10 FERTILIZER.
8. ALL PLANTING AREAS, SHRUB BEDS AND TREES SHALL BE MULCHED WITH A MINIMUM COMPACTED DEPTH OF THREE (3) INCHES OF MULCH AS SPECIFIED. PRIOR TO MULCHING APPLY A PRE-EMERGENT HERBICIDE (APPROVED BY OWNER) AS RECOMMENDED BY THE MANUFACTURER, TO PREVENT RECURRING WEED AND GRASS GROWTH.
9. PLANT BEDS ADJACENT TO DULUTH TRADING BUILDING ARE TO HAVE 3-5" LENGTH COBBLESTONE INSTALLED ON WEED BARRIER. STONES TO BE HAND PLACED SO AS NOT TO DAMAGE PLANT MATERIAL DURING INSTALLATION.
10. CONTRACTOR IS TO TAKE SPECIAL CARE WHEN INSTALLING NEW PLANT MATERIAL SO AS NOT TO DISTURB ANY EXISTING PLANTINGS DESIGNATED TO REMAIN. ANY EXISTING PLANT MATERIAL DAMAGED BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPLACED WITH LIKE MATERIAL OF SIMILAR SPECIES AND SIZE AT THE CONTRACTOR'S EXPENSE AND NO ADDITIONAL COST TO OWNER.

TURF AND LAWNS

1. TALL DISTURBED AREAS SHALL RECEIVE 4" MINIMUM OF TOPSOIL (COMPACTED) AND GRASSED WITH SOD OR SEED AS INDICATED ON PLAN. LANDSCAPE CONTRACTOR TO COORDINATE HIS/HER WORK WITH OTHER TRADES REGARDING FINISH GRADING. IF AVAILABLE CONTRACTOR IS TO USE STOCKPILED TOPSOIL, ON SITE. IF NOT AVAILABLE THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR IMPORTING THE TOPSOIL NECESSARY TO MEET FINISH GRADE.
2. TOPSOIL, SHALL BE FERTILE, FRIABLE AND REPRESENTATIVE OF LOCAL PRODUCTIVE SOIL, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH AND FREE OF CLAY LUMPS, SUBSOIL, NOXIOUS WEEDS OR OTHER FOREIGN MATTER SUCH AS STONES, ROOTS, STICKS AND OTHER EXTRANEEOUS MATERIALS: NOT FROZEN OR MUDDY. PH OF TOPSOIL TO RANGE BETWEEN 5.5 AND 7.5.
3. SODDED AREAS SHALL BE GRASSED KENTUCKY BLUEGRASS SOD. SOD SHALL BE LAID WITH CLOSE, TIGHT FITTING JOINTS, WHICH SHALL BE LAID IN ROWS PARALLEL TO THE CONTOUR LINES. ALL SODDED AREAS SHALL BE ROLLED TO ACHIEVE A SMOOTH, UNIFORM LAWN.
4. SEEDDED AREAS SHALL BE GRASSED WITH KENTUCKY 31 TALL FESCUE AT A RATE OF (8) POUNDS PER 1000 SQ. FT. OF GRASSED AREA. SEED MAY BE APPLIED EITHER BY A MECHANICAL SPREADER OR HYDROSEEDING. WHICHEVER METHOD IS CHOSEN A THICK STAND OF GRASS SHALL BE ACHIEVED WITHIN 21 DAYS OR A SECOND OVERSEEDING WILL BE REQUIRED.
5. FERTILIZATION AND SOIL AMENDMENTS FOR ALL GRASSED AREAS SHALL BE AS PER LABORATORY ANALYSIS. HYDROSEEDING MAY BE SUBSTITUTED FOR MECHANICAL SEEDING BY MIXING SEED, FERTILIZER AND PULVERIZED MULCH IN WATER, USING EQUIPMENT SPECIFICALLY DESIGNED FOR HYDROSEED APPLICATION. MIX UNTIL UNIFORMLY BLENDED INTO HOMOGENEOUS SLURRY SUITABLE FOR HYDRAULIC APPLICATION. APPLY UNIFORMLY AT A RATE AS REQUIRED TO OBTAIN SPECIFIED SEEDING RATE.
6. ANY EXISTING LAWN AREA DISTURBED BY CONSTRUCTION IS TO BE REPAIRED TO ITS ORIGINAL CONDITION BY SEEDING AT NO ADDITIONAL COST TO THE OWNER.
7. REFER TO THE LATEST CIVIL PLANS FOR DISTURBED AREAS TO BE RESTORED. ADDITIONAL RESTORATION MAY BE NEEDED DUE TO FIELD CONDITIONS. SEE CIVIL SITE PLAN.

TREES AND SHRUBS

1. ALL TREES LOCATED IN GRASSED AREAS SHALL BE PLANTED AS PER DETAIL AND MULCHED WITH AT LEAST FOUR (4) FOOT DIAMETER OF SHREDDED BARK MULCH, TO A MINIMUM 3" DEPTH.
2. SHRUB BEDS SHALL BE MOUNDED WITH TOPSOIL A MINIMUM OF 6" ABOVE TOP OF CURB AND SHALL BE MULCHED WITH A 3" DEPTH OF SHREDDED BARK MULCH.
3. TREES SHALL BE PLANTED NO CLOSER THAN FIVE (5) FEET FROM BACK OF SIDEWALK OR BUILDING STRUCTURE.
4. LOCATION AND LAYOUT OF ALL SHRUBS AND TREES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
5. ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.
6. ALL TREES ARE TO BE STAKED AND GUYED PER PLANTING DETAILS.

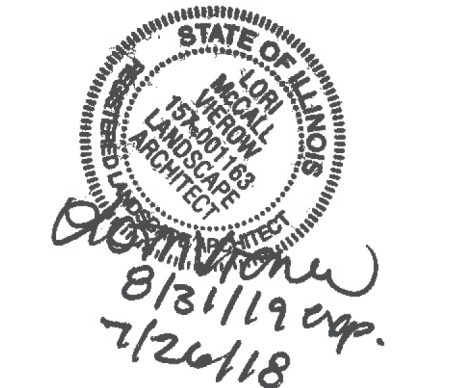
PROJECT TEAM

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ISSUE/REVISION RECORD

DATE	DESCRIPTION
06/22/18	CITY SUBMITTAL
07/13/18	RWO SUBMITTAL
07/18/18	CLIENT REVIEW
07/19/18	CITY SUBMITTAL
07/27/18	CITY SUBMITTAL

PROFESSIONAL SEAL



PROFESSIONAL IN CHARGE

LORI VIERO
PROFESSIONAL ARCHITECT
LICENSE NO. 157-001163

PROJECT MANAGER

KERI WILLIAMS

QUALITY CONTROL

SARAH DREIER

DRAWN BY

JEAN SHI

PROJECT NAME

DULUTH TRADING COMPANY

ROGERS ARKANSAS

**S. 26TH STREET
ROGERS, AR 72756**

**PROJECT NUMBER
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