

DEPT. OF COMMUNITY DEVELOPMENT  
 PLANNING DIVISION  
 301 W. CHESTNUT  
 PHONE: (479) 621-1186  
 FAX: (479) 986-6896

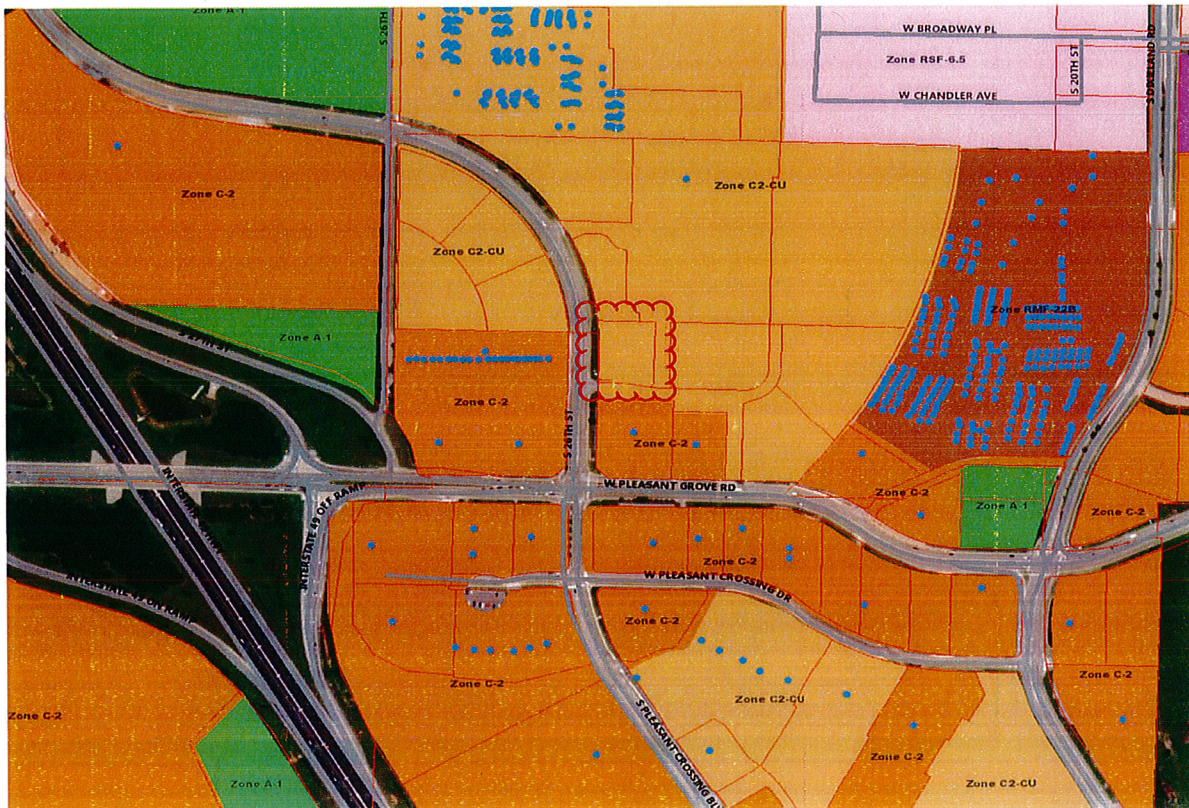
JULY 30, 2018

TO: PLANNING COMMISSION  
 LARGE-SCALE DEVELOPMENT COMMITTEE

### LSDP, BURGER KING STAFF SUMMARY REPORT

LOCATION:	4125 S 26 <sup>th</sup> Street
LAND OWNER:	L.W. Clark Inc.
DEVELOPER:	L.W. Clark Inc.
APPLICANT/ ENGINEER:	Morrison Shipley
ZONING DISTRICT:	C-2 (Highway Commercial)
PLANNED USE:	Fast food restaurant
REQUEST:	LSDP approval
AUTHORITY:	Article III of Chapter 14, Rogers Code of Ordinances
DESCRIPTION:	±2,866 sf new construction with drive-thru service
WAIVERS:	Driveway offset; 10' sidepath with 6' greenspace
FEES-IN-LIEU:	N/A

#### VICINITY MAP:



*Note: staff recommendations are based on technical review of city code and may not reflect all information made available to officials during discussion and public input.*



## BACKGROUND

- The developer intends to build a new fast food restaurant with drive-thru service south of Academy Sports on 26<sup>th</sup> Street.
- The site is located within the Centre Pointe Phase 2 at Pleasant Grove commercial subdivision. All adjacent properties to the north, south, east, and west are zoned commercial.
- Status: the LSDP has gone through the technical review process, and all revisions requested by staff have been completed and approved with the exception of requested waivers.

## STAFF REVIEW

### ENGINEERING REVIEW:

- 1) Access Management: The applicant requests a **WAIVER** to Sec. 14-260(1)D – Offset between opposing non-residential curb cuts in order to provide additional access to the site from S. 26<sup>th</sup> Street.
- 2) Stormwater and Water Quality:
  - a) Stormwater Management: Stormwater will be addressed by utilizing an offsite regional retention pond that has adequate capacity for the proposed improvements.
  - b) Water Quality: Water quality will be addressed through the regional retention facility and will have adequate capacity to treat the site stormwater runoff.
- 3) Required Public Improvements:
  - a) Street Pavement and Condition: The site is located on S. 26<sup>th</sup> Street and is classified on the Master Street Plan as a major arterial street. S. 26<sup>th</sup> Street has been constructed as a 5-lane road with curb and gutter, and sidewalks. The roadway pavement for S. 26<sup>th</sup> Street is not in substandard condition and does not require improvements.
  - b) Streetscape:
    - i) Right-of-Way: Minimum required right-of-way has been dedicated prior to this development.
    - ii) Sidewalks: The applicant requests a **WAIVER** from Sec. 14-256(11) for required 10' sidepath with 6' greenspace because sidewalks already exist along S. 26<sup>th</sup> Street with variable width greenspace.
    - iii) Trails: No trail construction is required.
    - iv) Streetlights: Two streetlights are proposed as part of this development and will be provided by the utility company serving this area.
    - v) Street Trees: Street trees to be provided within the right-of-way.
- 4) RECOMMENDATIONS:

The proposed project meets all engineering review requirements for a large-scale development subject to the following recommendations and waiver requests:

  - a) **Approve waiver to Sec. 14-260(1)D – Offset**. Per Sec. 14-260(3) – "...the characteristics or layout of abutting properties would make development of a unified or shared access and circulation system impractical."  
One opposing non-residential driveway has a separation of approximately 52' instead of the required 75'. The applicant is proposing their driveway curb cut to be a right-in and right-out only to prevent left turn conflicts on S. 26<sup>th</sup> Street and is not expected to be a traffic hazard. The opposing driveway is a delivery access that is rarely used.
  - b) **Approve waiver to Sec. 14-256(11) for required 10' sidepath with 6' greenspace**. Per Sec. 14-46(3)d, other available means or factors indicate an absence of need, including future need.  
The existing sidewalk the site will connect to on S. 26<sup>th</sup> Street have been constructed 6' wide with variable width greenspace and a 10' sidepath would create an isolated section unlikely to connect to a future sidepath.  
The plans indicate that a 5' sidewalk is proposed. Staff recommends that a 6' sidewalk is constructed for context of the area.



DYLAN COBB, Planning Engineer  
City of Rogers Engineering Division



NATHAN BECKNELL, City Engineer  
City of Rogers Engineering Division

### PLANNING REVIEW:

- 1) Land Use: The proposed development meets the definition of "fast food restaurant", and is allowed by right in the C-2 (Highway Commercial) zoning district. This land use is consistent with the current Comprehensive Growth Map which designates the subject location as "Commerce Corridor."
- 2) Development Standards: The site plan conforms to all development standards and requirements per Sec. 14-709.
  - a) Landscaping: All landscaping requirements have been met.



- b) Parking: All vehicle parking requirements have been met.  
c) Setbacks: All building setback requirements have been met.  
d) Screening: All screening requirements have been met.  
3) Views of Others: No supporting or opposing comments have been received by the Planning Division.  
4) RECOMMENDATIONS:  
a) The proposed project meets all zoning requirements for a large-scale development. Approve.



ETHAN HUNTER, Planner III  
City of Rogers Planning Division



LORI ERICSON, Planning Administrator  
City of Rogers Planning Division

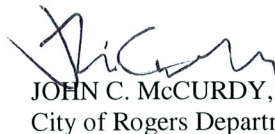
ADMINISTRATOR'S SUGGESTED MOTION:

**Motion to approve the Large-Scale Development project, contingent upon all conditions listed in the engineer's report, and with the following actions for the requested waivers:**

- Approve waiver for maximum driveway offset.
- Approve waiver for 10' sidepath with 6' greenspace and require 6' sidewalk instead of 5' as depicted on the plans.

DIRECTOR'S COMMENTS

- 1) Agree with recommendations and suggested motion.



JOHN C. McCURDY, Director  
City of Rogers Department of Community Development

Tabs:

1. Large-Scale Development Plans
2. Waiver Letter
3. Infrastructure Agreement
4. Maps and photos





# MORRISON SHIPLEY

ENGINEERS • SURVEYORS

June 22, 2018

Dept. of Community Development  
Planning Division  
301 W. Chestnut  
Rogers, AR 72756

**Re: Burger King (PL201800251) – Waiver Letter  
4125 S. 26<sup>th</sup> Street**

Dear Planning Commission,

Morrison-Shipley Engineers, on behalf of L.W. Clark Inc, is requesting a waiver from the following requirement:

Sec. 14-260(D) - Offset. Either the centerline of opposing nonresidential driveways shall align, or shall be offset no less than 75 feet. This condition shall not apply where a permanent median exists without break for these driveways.

The development is currently showing a separation of about 52' from the next south drive on the west side of S. 26<sup>th</sup> Street. The Burger King development is proposing to have a right-in and right-out access drive connecting to S. 26<sup>th</sup> street, which would eliminate the potential conflict with the west drive. A mountable island is being proposed to allow fire access. The drive is being requested so the development has two access points with one being directly on a public road.

If you have any questions or need additional information, please contact me at (479)273-2209. Thank you for your consideration.

Sincerely,

***Morrison-Shipley Engineers, Inc.***

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Patrick Foy, PE  
Project Manager

2407 SE Cottonwood Street | Ste 1  
Bentonville, AR 72712  
479.273.2209



Issued For Review - 07.23.18

# July 2018

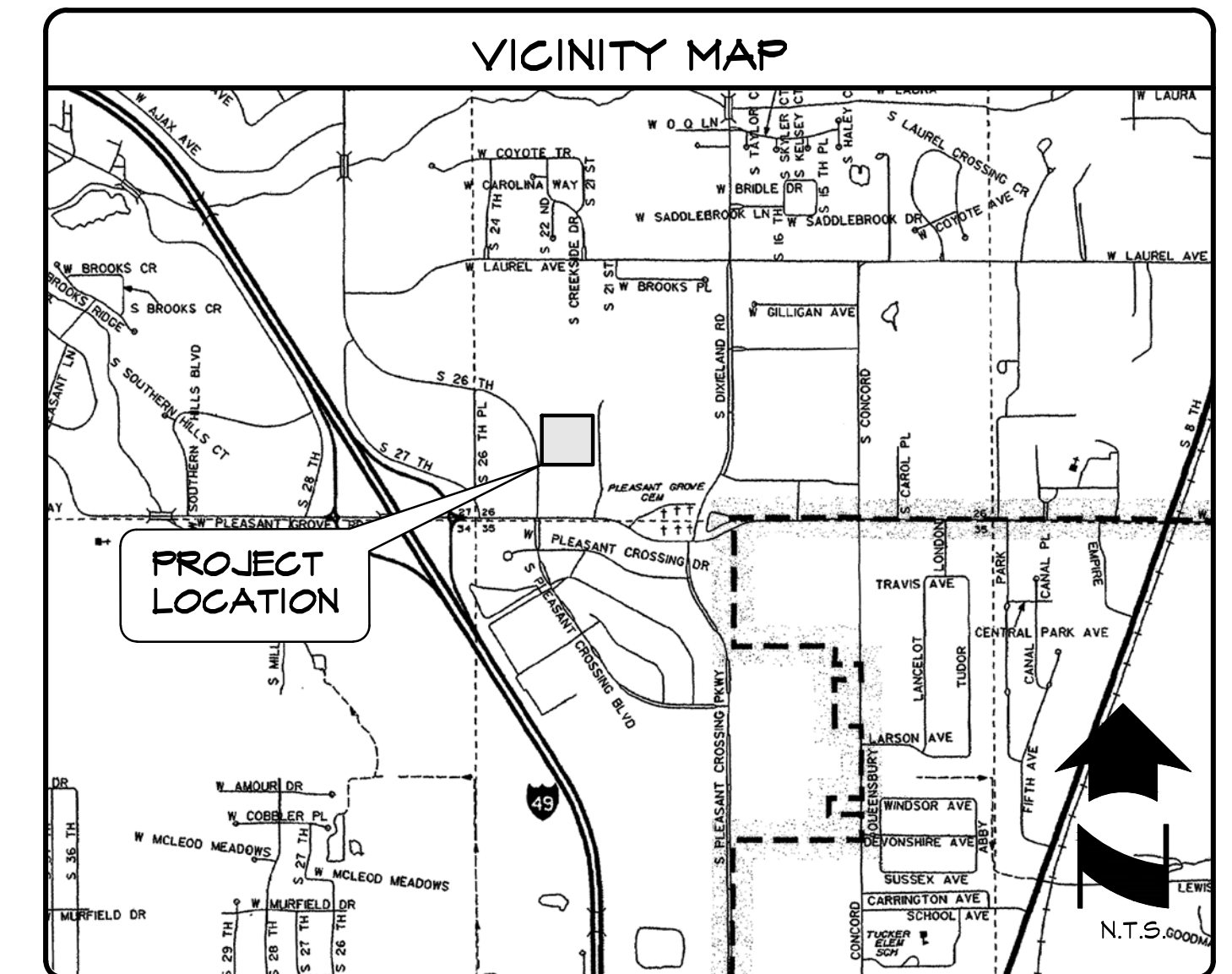
# Large Scale Development Plans

for



**BURGER KING**  
**CORPORATION**  
ty View: PL201800251

4125 S. 26th St.  
Rogers, Benton County, Arkansas



## INDEX OF SHEETS

1. Cover Sheet, Vicinity Map, & Index of Sheets
2. Site Dimension Plan
3. Erosion Control Plan
4. Erosion Control Details
5. Grading Plan
6. Drainage Profiles
7. Utility Plan
8. Waterline Plan & Profile
9. Landscape Plan
10. Landscape Details
11. Drainage Details
- 12-15. Miscellaneous Details
16. Rogers City Details

- \* Rogers Water and Sewer Details
- \*\* Photometric Plan

## SITE UTILITY CONTACTS CITY OF ROGERS, AR

**Natural Gas**  
Black Hills Energy  
Contact: Kenneth Peters  
1255 N. 13th Street  
Rogers, Arkansas 72756  
Telephone: (479) 636-1759 \*6021

Telephone  
AT&T  
Contact: John Hill  
627 White Road  
Springdale, Arkansas 72766  
Telephone: (479) 442-1963

**Cable Television**  
Cox Communications  
Contact: Larry Alexander  
4901 S. 48th Street  
Springdale, Arkansas  
Telephone: (479) 871-7606

**Electric**  
AEP-SWEPCO  
415 W. Stribbling Drive  
Rogers, AR 72756  
Contact: Mark Beasley  
Telephone: (479) 986-1004

## GOVERNING AGENCIES

City Of Rogers  
301 W Chestnut  
Rogers, Arkansas 72756  
City Of Rogers Planning &  
Transportation Department  
Telephone: (479) 621-1186  
Planning: Lori Ericson  
Engineering: Lance Jobe

City Of Rogers Street Dept.  
Contact: Frankie Guyll  
Telephone: (479) 644-5008

Department Of Health  
Arkansas Department Of Health  
Division Of Engineering, Slot 37  
4815 W. Markham  
Little Rock, Arkansas 72205  
Telephone: 501-661-2623

City Of Rogers Fire Department  
201 North First Street  
Rogers, Arkansas 72756  
Contact: Bill Rumsey  
Telephone: (479) 621-1117

Water & Sewer  
Rogers Water Utilities  
601 S. 2nd St.  
Rogers, Arkansas 72757  
Contact: Stephen Ponder  
Telephone: (479) 621-1156

Owner/Developer

Name: L.W. Clark Inc  
Contact: Terry Clark  
Address: 1509 Wesley Ave, Springdale, AR 72764  
Phone: (479) 756-1179  
Email: tclark2263@gmail.com

Project Engineer

Name: Morrison Shipley Engineers, Inc  
Contact: Patrick Foy  
Address: 2407 SE Cottonwood St, Bentonville, AR 72712  
Phone: (479) 273-2209  
Email: pfoy@morrisonshipley.com

## FLOOD CERTIFICATION:

Based Upon Review Of FEMA Firm: Benton County, Arkansas And Incorporated Areas, And By Graphic Plotting Only, The Subject Property Is Determined To Be In Zone X, Or Areas Determined To Be Outside The 0.2% Annual Chance Floodplain.

Map Number: 05007C0270K

Effective Date: June 5, 2012

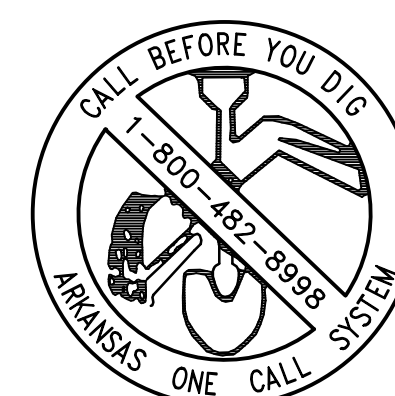
Total Site Area: 1.02 Acres

Development Usage:  
Fast Food Restaurant

C-2 - HIGHWAY COMMERCIAL DISTRICT MINIMUM SETBACK REQUIREMENTS (Ft.)			
Front	Side		Rear
	Interior	Exterior	
65'	15'	45'	15'

C-2 ZONING REGULATIONS:  
Maximum Building Height: 150' (65' Max Within 300' Of  
Residential Zone)

Maximum Building Coverage: 60%  
Maximum Impervious Area: 80%



**MORRISON SHIPLEY**  
ENGINEERS • SURVEYORS

2407 SE Cottonwood Street ■ Bentonville, AR 72712 ■ 479.273.2209 ■ [morrisonshopley.com](http://morrisonshopley.com)

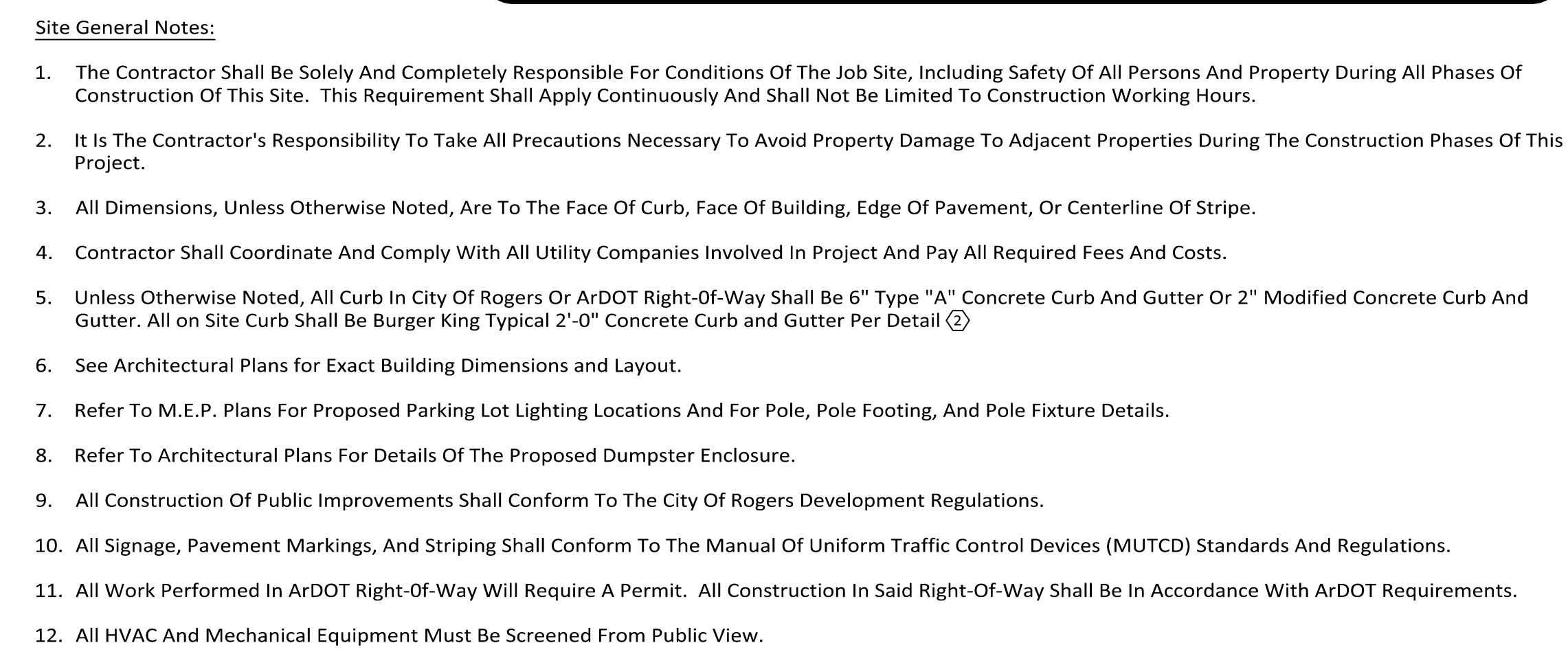
Legal Description:

Legal Description:  
Lot 10 of Centre Pointe Phase II at Pleasant Grove, a Subdivision to the City of Rogers, Benton County, Arkansas, as Shown in Plat of Records in Plat Book 2009 at Page 596, Plat Records of Benton County, Arkansas

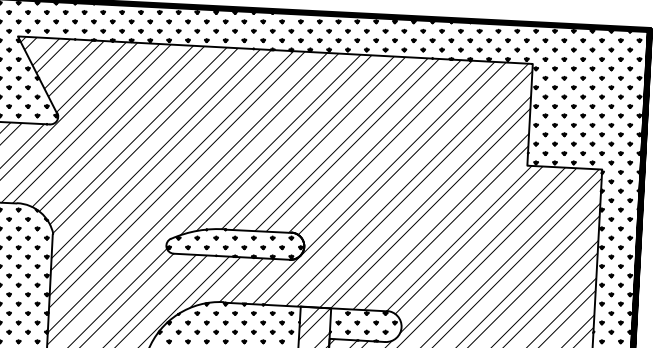
All Civil Plans Used on Site Must Include Most Current Stamp from Rogers Planning

CITY ATLAS PAGE #446





### Site Area Calculations:



The diagram is a site plan of a rectangular building. The building's footprint is outlined in black. The interior of the building is filled with diagonal hatching. The area immediately surrounding the building footprint is filled with a stippled pattern. The area outside this stippled zone is white. A key map to the right of the diagram identifies the hatching as 'Impervious Area' and the stippling as 'Green Space'. The diagram is titled 'Site Area Calculations:' and includes a list of area calculations.

Total Site Area: 44,220 S.F.

Proposed Impervious Area: 29,581 S.F.

Total Green Space Required: 8,844 S.F. (20%)

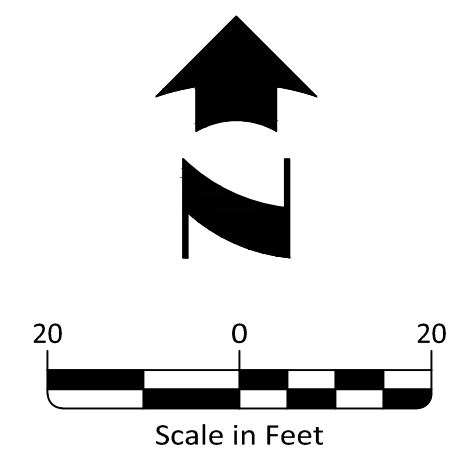
Proposed Green Space: 15,820 S.F. (36%)

Total Building Area: 2,856 S.F. (6%)

Key Map  
Not To Scale

\*Includes Accessible Spaces  
\*\*Includes Van Accessible Spaces





1. Existing Utilities Across Or Along The Line Of The Proposed Work Are Shown Only In An Approximate Location On These Plans. The Contractor Shall Call The State One-call System Prior To Construction @ 1-800-482-8998. The Contractor Shall, On His Own Initiative And At No Additional Cost, Locate All Underground Lines And Structures As Necessary. The Contractor Shall Verify And Calculate All Points Of Connection And All Utility Crossings And Inform Morrison-Shipley Engineers, Inc. And/or The Owner Of Any Conflicts Or Required Deviations From The Plans. Morrison-shipley Engineers, Inc. Shall Be Held Harmless In The Event The Contractor Fails To Make Such Notification.
2. All Electric, Telephone, And Gas Extensions Including Service Lines Shall Be Installed To The Appropriate Utility Company Specifications And Requirements. All Utility Company Disconnections Shall Be Coordinated With The Designated Utility Company.
3. It Shall Be Distinctly Understood That Failure To Specifically Indicate Work Which Is Required To Complete This Project Shall Not Relieve The Contractor Of His Responsibility To Perform Such.
4. All Utilities Shall Terminate Five (5) Feet Outside The Building Unless Otherwise Noted. The End Of All Service Lines Shall Be Tightly Capped Or Plugged And Marked Until Such Time As Connections Are Made Inside The Building. Coordinate All Entrances To The Building With The Architectural Plans And M.E.P. Plans.
5. All Private Water And Sewer Materials And Construction Shall Be In Accordance With Local, State, And Federal Plumbing Code.
6. All Necessary Inspections And/or Certifications Required By Codes And/or Utility Service Companies Shall Be Performed Prior To Final Connection Of Utility Services.
7. It Is The Responsibility Of The Property Owner To Obtain All Utility Easements That Are Necessary For The Installation And Maintenance Of All Proposed Utilities. The Easements Must Be Obtained Prior To Beginning Any Public Utility Installation.
8. The Domestic Water Service Line Shall Include An Internal RP Type Backflow Preventor. Provisions Shall Be Provided For Thermal Expansion And Drainage With The Domestic Water Service Line To The RP2. Refer To M.E.P. Plans.
9. The Irrigation Systems Shall Be Protected By An RP Type Backflow Preventor. Irrigation System To Be Designed By Others.
10. Backflow Prevention Assemblies Installed On Super Shall Be Protected By An Enclosure Which Complies With The Standards And Specifications Set Forth By The American Society Of Sanitary Engineering (ASSE) Code 1060.
11. The Owner/ Developer Will Be Responsible For All Costs Associated with the Electrical Extension to the Proposed Building, in Accordance with Carroll Electric & Extension Policy.

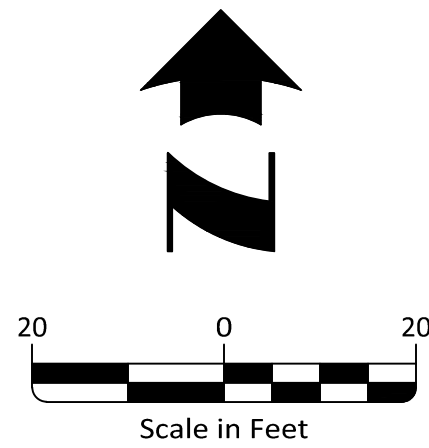
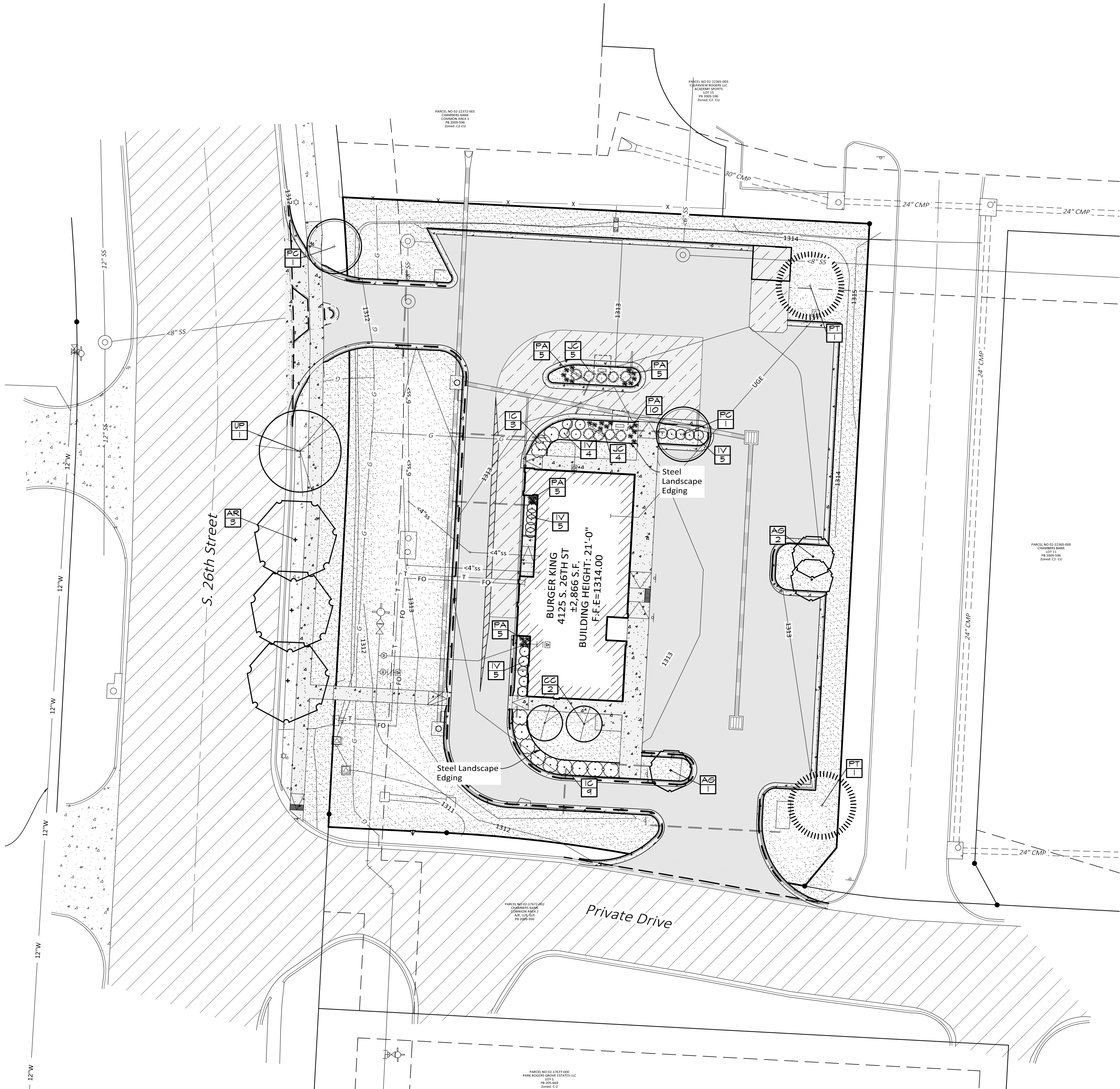
Water Notes:

1. The Contractor Shall Not Tap Or Otherwise Penetrate Existing Water Mains.
2. All Connections To Existing Water Mains Are Made By Rogers Water Utilities On A Cost Plus Basis. Any Tap(s)/connection(s) At Existing Water Mains (or 8" Plugged Gate Valves) Shall Be Made By Rogers Water Utilities At The Developer's Expense. The Water Main Point Of Connection Shall Be Field Verified And The Connection Shall Be Coordinated With Rogers Water Utilities.
3. Water Meters Will Be Set By Rogers Water Utilities At The Developer's Expense.
4. Contractor Shall Not Operate Valves On Existing Water Mains. Rogers Water Utilities Operates All Water Valves.
5. All Necessary Inspections And/or Certifications Required By Codes And/or Utility Service Companies Shall Be Performed Prior To The Permanent Connection Of Services.
6. All Inline Gate Valves Shall Be Placed No More Than 5 Feet From Fire Hydrant.
7. All Fire Hydrants Shall Be Located In Accordance With Rogers Water Utilities Details And Specifications.
8. All Drives With Operating Nuts Deeper Than 4' Below Finished Grade Require Extension In Accordance With Rogers Water Utilities Requirements. The Water Service Line Between The Water Main And The Water Meter Shall Be 2" Seamless Copper Tubing (Type "K" Soft Copper).
10. Maintain 10' Horizontal Separation (Minimum) Between Water Mains And Sanitary Sewer Mains.
11. Maintain 10' Horizontal Separation (Minimum) Between Water Services And Sanitary Sewer Services.
12. Electric Transformers Shall Not Be Installed Across Water Main Trenches Or Sanitary Sewer Main Trenches.
13. All Thrust Blocking Shall Be Installed In Accordance With R.W.U. Details.
14. The Estimated Peak Water Demand For The Proposed Water Meter Is 45 G.P.M.; Re: M.E.P. Plans.

Sanitary Sewer Notes:

1. Sanitary Sewer Service Lines Under 7" Of Depth Shall Be Schedule 6" PVC SDR-26. Sanitary Sewer Service Lines 14" Deep Or Greater Shall Be 6" Ductile Iron Class 51 With Required Coating. All Sanitary Sewer Services Shall Be Connected To Sanitary Sewer Manholes Per Rogers Water Utilities Specifications.
2. All Sanitary Sewer Appurtenances Shall Comply With Rogers Water Utilities Specifications And The Arkansas Department Of Health.
3. Any Adjustment To Existing Sanitary Sewer Manholes Due To Changes In Surrounding Grades Shall Be Made In Accordance With Rogers Water Utilities Details And Specifications.
4. Sanitary Sewer Service Lines Greater Than 4" Diameter Must Connect To A Sanitary Sewer Manhole, In Accordance With Rogers Water Utilities Regulations.
5. All Connections To Existing Sanitary Sewer Lines Or Manholes Are Made By Rogers Water Utilities On A Cost Plus Basis.
6. All Necessary Inspections And/or Certifications Required By Codes And/or Utility Service Companies Shall Be Performed Prior To Permanent Connection Of Services.
7. Maintain 5' Minimum Horizontal Clearance Between Gas Lines, Electric Lines, And Transformers Where They Run Parallel To Sanitary Sewer Mains And Water Mains.





LEGEND		
	Proposed Property Line	
	Proposed Easement	
	Proposed Building	
	Proposed Asphalt Pavement With 6" Type "A" Curb & Gutter	
	6" Type "A" Conc. Curb & Gutter	
	Proposed Light Duty Concrete Pavement	
	Proposed Black Concrete	
	Proposed Sod	
	Proposed Light Duty Concrete Paving/Sidewalk	
	Proposed Handicap Ramp, Type "A" W/Detectable Warning Devices	
	Proposed Handicap Ramp, Type "B"	
	Proposed Sign, See Plan For Type	
	Proposed Water Meter	
	Proposed Backflow Preventer	
	Proposed PVC Water Line W/Size (AWWA C900 Class 200)	
	Proposed Underground Electric	
	Proposed Underground Telephone	
	Proposed PVC Sanitary Sewer Line W/Size (SDR-26)	
	Proposed Cleanout	
	Proposed Gas Service	
	Existing Asphalt Pavement With Conc. Curb & Gutter	
	Existing Concrete, As Noted	
	Existing Electric Transformer	
	Existing Fire Hydrant	
	Existing Sign (As Noted)	
	Found Rebar, As Noted	
	Existing Storm Drain W/Size&Type	
	Existing Storm Drain Inlet/Junction Box	
	Existing Water Line W/Size	
	Existing Water Valve	
	Existing Sanitary Sewer Line W/Size	
	Existing Sewer Manhole	
	Existing Underground Electric	
	Existing Telephone Line	
	Existing Gas Line	
	Existing Fence	

Landscape Plan General Notes:

- The Contractor Shall Furnish All Labor, Materials, Tools, Equipment, And Related Items Required For The Complete Installation Of Landscape.
- All Plant Material Shall Be Nursery Grown. Plant Material Sizes And Grading Shall Comply With The Latest Edition Of American Standards For Nursery Stock, Published By The American Nursery And Landscape Association.
- All Plant Material Shall Be Healthy And Free From All Visible Signs Of Disease Or Pest Infestation.
- Contractor Shall Ascertain Location Of All Utilities Prior To Excavation. Prior To Commencing With Any Work, Contact The State One-call.
- No Changes To Approved Plant Schedule (If Any) Will Be Allowed Without The Approval Of The City Of Rogers And The Owner's Representative.
- The Contractor Shall Provide A Three Year Minimum Warranty Or A Letter Of Credit Posted For All Proposed Plant Materials And Installation From The Date Of Acceptance In Accordance With City Of Rogers Regulations.
- The Contractor Shall Spoil Any Excess Topsoil Located On The Site That Is Not Required To Perform Landscape Operations. If Sufficient Topsoil Is Not Present On Site, The Contractor Shall Import Topsoil To The Site In Order To Complete The Landscape Operations. The Contractor Shall Perform A Soil Test On The Existing And Imported Topsoil And Apply Lime And Fertilizer As Recommended By The Testing Agency.
- All Trees Shall Be Installed, Mulched, Guyed, And Staked Per The Details. All Shrubs Shall Be Installed And Mulched Per The Details. Refer To Detail Sheets.
- Hardwood Mulch, A Minimum Of 2" Depth, Shall Be Applied To All Planting Beds Shown On This Plan.
- In All Planting Beds, Sod Shall Be Removed Entirely And Soil Shall Be Amended With Twelve Inches Of Topsoil And A Minimum Of Six Inches Of Compost Tilled Into The Beds.
- The Proposed Irrigation System Shall Be Designed By Others And Installed during Landscape Installation.
- The Irrigation Systems Shall Be Protected By An RP Type Backflow Preventer. Irrigation System To Be Designed By Others.
- Backflow Prevention Assemblies Installed Outdoor Shall Be Protected By An Enclosure Which Complies With The Standards And Specifications Set Forth By The American Society Of Sanitary Engineering (ASSE) Code 1060.

Landscape Requirements:

Overall Site Landscaping  
Required: Minimum 20% Green Space 8,844 S.F.  
Provided: 36% Green Space 15,820 S.F.  
Total Site Area Disturbed: 35,490 S.F.  
Plant Units Required: 35 Units  
Plant Units Provided: 35 Units

Street Trees: 122 L.F. / 30 = 4 Street Trees  
Street Trees Required: 4 Street Trees  
Street Trees Provided: 4 Street Trees

Interior Parking Lot Landscaping  
1 Landscape Island Per 15 Parking Spaces  
Total Parking Spaces Proposed: 30 Spaces  
Total Landscape Islands Required: 2 Trees  
Total Landscape Islands Provided: 3 Trees

Site Sodding Note:

All Disturbed Areas To Be Sodded Shall Be Topsoiled To A Minimum Depth Of 4", Fertilized At A Rate Of 250 Pounds Per Acre, And Sodded With Bermuda Grass. If Located On Slopes 20% Or Greater, The Corners Of The Sod Must Be Pinned. The Contractor Shall Water And Maintain The Grass Until A Healthy Permanent Stand Is Established.

PLANT SCHEDULE

Key	COMMON NAME	Botanical Name	Size	Species	Spacing	Quantity
PA	DWARF FOUNTAIN GRASS	Pennisetum Alopecuroides 'Hamelii'	3 Gallon	Ornamental, Grass	4' O.C.	30
JC	BLUE SARGENT JUNIPER	Juniperus Chinensis Sargentii 'Glaucia'	5 Gallon	Evergreen, Shrubs	5' O.C.	9
IV	DWARF YALPON HOLLY	Ilex vomitoria 'Nana'	5 Gallon	Evergreen, Shrubs	4' O.C.	19
IC	DWARF BURFORD HOLLY	Ilex cornuta 'Dwarf Burford'	5 Gallon	Evergreen, Shrubs	6' O.C.	12
AR	SHUMARD OAK	Quercus shumardii	2-1/2" Cal. 6', B&B	Deciduous, Shade Tree	30' O.C.	3
PT	LOBLOLLY PINE	Pinus 'Taeda'	2-1/2" Cal. 8', B&B	Evergreen, Shade Tree	As Shown	2
CC	OKLAHOMA REDBUD	Cercis canadensis 'Oklahoma'	2" Cal. 6', B&B	Deciduous, Ornamental	As Shown	2
UP	LACEBARK ELM	Ulmus Parvifolia	2-1/2" Cal. 6', B&B	Deciduous, Shade Tree	As Shown	1
AG	AMUR MAPLE	Acer ginnala	2-1/2" Cal. 8', B&B	Evergreen, Shade Tree	As Shown	3
PC	CHINESE PISTACHE	Pistachia Chinesis	2-1/2" Cal. 8', B&B	Evergreen, Shade Tree	As Shown	2

Deciduous Trees Shall Be A Minimum Height Of 6', Evergreens Trees Min. Height Of 8' At Time Of Planting, Per City Of Rogers.

LANDSCAPE PLAN

MORRISON SHIPLEY  
ENGINEERS • SURVEYORS  
2407 BE Oakwood Blvd • Bentonville, AR 72715 • 479-278-2208 • morrisonshipley.com

Issued For Review: 07.23.18

RESTAURANT FOR:



BURGER KING  
CORPORATION

© 1998, BURGER KING CORPORATION. ALL MODIFICATIONS OF THESE PLANS ("PLANS") SHALL BECOME THE SOLE AND EXCLUSIVE PROPERTY OF BURGER KING CORPORATION. THESE PLANS ARE BEING DELIVERED TO YOU FOR USE TO CONSTRUCT A SPECIFIC BURGER KING RESTAURANT. THE PLANS MAY NOT BE RE-USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BURGER KING CORPORATION. BURGER KING CORPORATION IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. BURGER KING CORPORATION IS NOT A LICENSED ARCHITECT OR ENGINEER. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BURGER KING CORPORATION. THESE PLANS MAY NOT COMPLY WITH ALL FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BURGER KING CORPORATION. THESE PLANS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF BURGER KING CORPORATION.

DRAWN BY: KEL CHECKED BY: PRF DATE: 05/18/18

NO.	DATE	REVISION	BY
1	6/22/18	REVISIONS PER CITY COMMENTS	KEL
2	7/23/18	REVISIONS PER CITY COMMENTS	KEL